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HERMANTOWN
INDUSTRIAL
PREPARED FOR
HARMONY GROUP
LLC

HERMANTOWN
MINNESOTA

SHEET NUMBER
C001

KHA PROJECT
161333002

DATE
08/15/2025

SCALE AS SHOWN

DESIGNED BY JDS

DRAWN BY KLSC

CHECKED BY BMW

DRAWING INDEX

Kimley»Horn

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No.

REVISIONS

DATE

BY

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS OF THE LOCAL JURISDICTION AND STATE DEPARTMENT OF TRANSPORTATION AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
3. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE NECESSARY MATERIALS & LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE APPROVING AUTHORITIES.
4. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
5. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CIACSE 38/02, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE FHA. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION. THE CONTRACTOR SHALL BE REGARDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
12. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
13. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
15. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.
16. CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES.

THIRD PARTY SUPPLEMENTAL INFORMATION

KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS
CONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS.

1. **BOUNDARY & TOPOGRAPHIC SURVEY**
PERFORMED BY: EGAN, FIELD, & NOWAK, INC., ERIC ROESER, P.L.S.
ADDRESS: 475 OLD HIGHWAY 4 NW, SUITE 200, NEW BRIGHTON, MN 55112
PHONE: 612-466-3300
DATED: 03/05/2025

2. **GEOTECHNICAL EVALUATION REPORT**
PERFORMED BY: BRAUN INTERTEC CORPORATION, RYAN BENSON, P.E.
ADDRESS: 11001 HAMPSHIRE AVENUE S, MINNEAPOLIS, MN 55438
PHONE: 612-384-5954
DATED: 12/20/2024

3. **CONSTRUCTION TESTING**
TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:
 - DENSITY TEST REPORTS
 - BACTERIOLOGICAL TESTS OF WATER SYSTEM
 - PRESSURE TEST OF WATER/SEWER
 - LEAK TESTS ON SEWER SYSTEM AND GREASE TRAP
 - ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFFSITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.
6. BMP'S SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5-INCH OR GREATER RAINFALL EVENT.
7. EROSION & SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:
 - 7.1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - 7.2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO VERIFY THAT A HEALTHY STAND OF VEGETATION IS MAINTAINED. SEEDED AREAS SHOULD BE FERTILIZED, WATERED AND RE-SEEDED AS NEEDED. REFER TO THE LANDSCAPE PLAN AND PROJECT SPECIFICATIONS.
 - 7.3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
 - 7.4. THE ROCK CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC ADDITIONS OF ROCK TOP DRESSING AS CONDITIONS DEMAND.
 - 7.5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC ADDITIONS OF TOP DRESSING IF THE TEMPORARY PARKING CONDITIONS DEMAND.
 - 7.6. PERFORM ALL MAINTENANCE OPERATIONS IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

PAVING AND STRIPING NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CITY OR COUNTY SPECIFICATIONS AND STANDARDS, OR THE STATE DOT SPECIFICATIONS AND STANDARDS IF NOT COVERED BY LOCAL CITY OR COUNTY REGULATIONS.
2. ALL SIGNS, PAYMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A.), GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5% . IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL ACCESSIBLE ROUTES (GATEWAY) COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

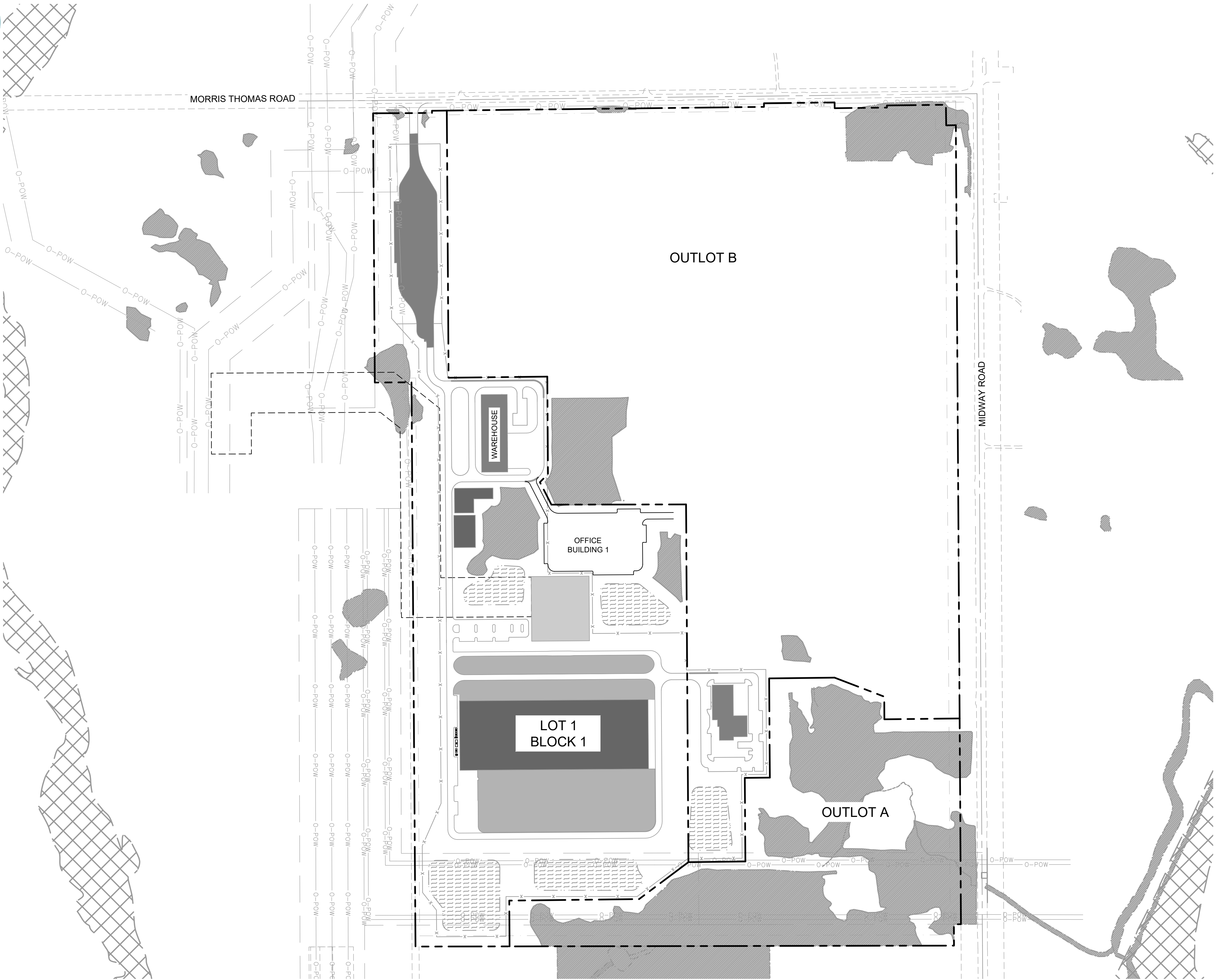
GRADING AND DRAINAGE NOTES

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED, AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MNDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL GROWTH IS ESTABLISHED TO MINIMUM COVERAGE OF 70% IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MNDOT SPECIFICATIONS.
17. PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SITE SPECIFIC GEOTECHNICAL EVALUATION REPORT AND CITY & MNDOT SPECIFICATIONS.
18. SPOT ELEVATIONS REPRESENT THE FINISHED SURFACE GRADE OR FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
22. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

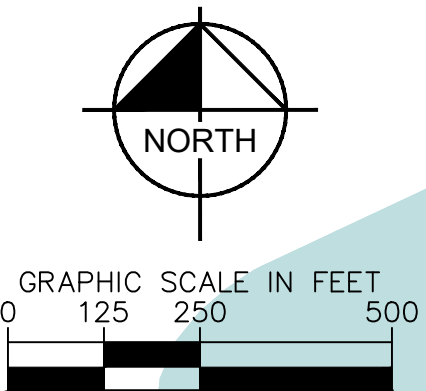
SHEET NUMBER					
C100					
HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC			MINNESOTA HERMANTOWN		
GENERAL NOTES					
KHA PROJECT 161333002					
DATE 08/15/2025					
SCALE AS SHOWN					
DESIGNED BY JDS					
DRAWN BY KLSC, JN					
CHECKED BY BMW					
HERMANTOWN INDUSTRIAL LLC			KIMLEY-HORN & ASSOCIATES, INC.		
2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM			KIMLEY-HORN		
No.	REVISIONS	DATE	BY		

HERMANTOWN INDUSTRIAL - PLATTING EXHIBIT

HERMANTOWN, MN
ST. LOUIS COUNTY



SITE LEGEND	
PROPERTY BOUNDARY	_____
EXISTING EASEMENT	-----
PROPOSED EASEMENT	-----

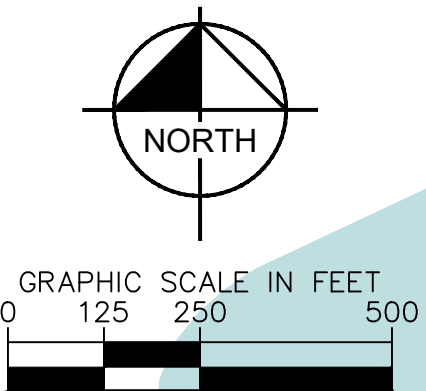


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HERMANTOWN, MN
ST. LOUIS COUNTY



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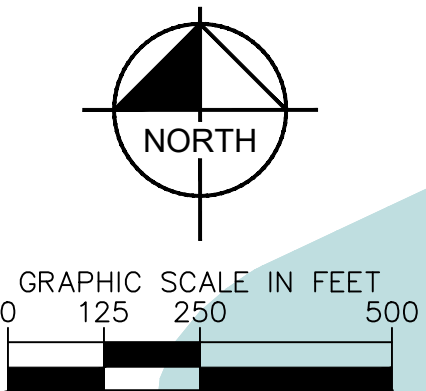


HERMANTOWN INDUSTRIAL - PLATTING EXHIBIT

HERMANTOWN, MN
ST. LOUIS COUNTY



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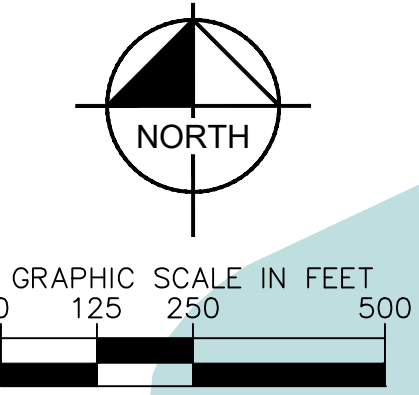


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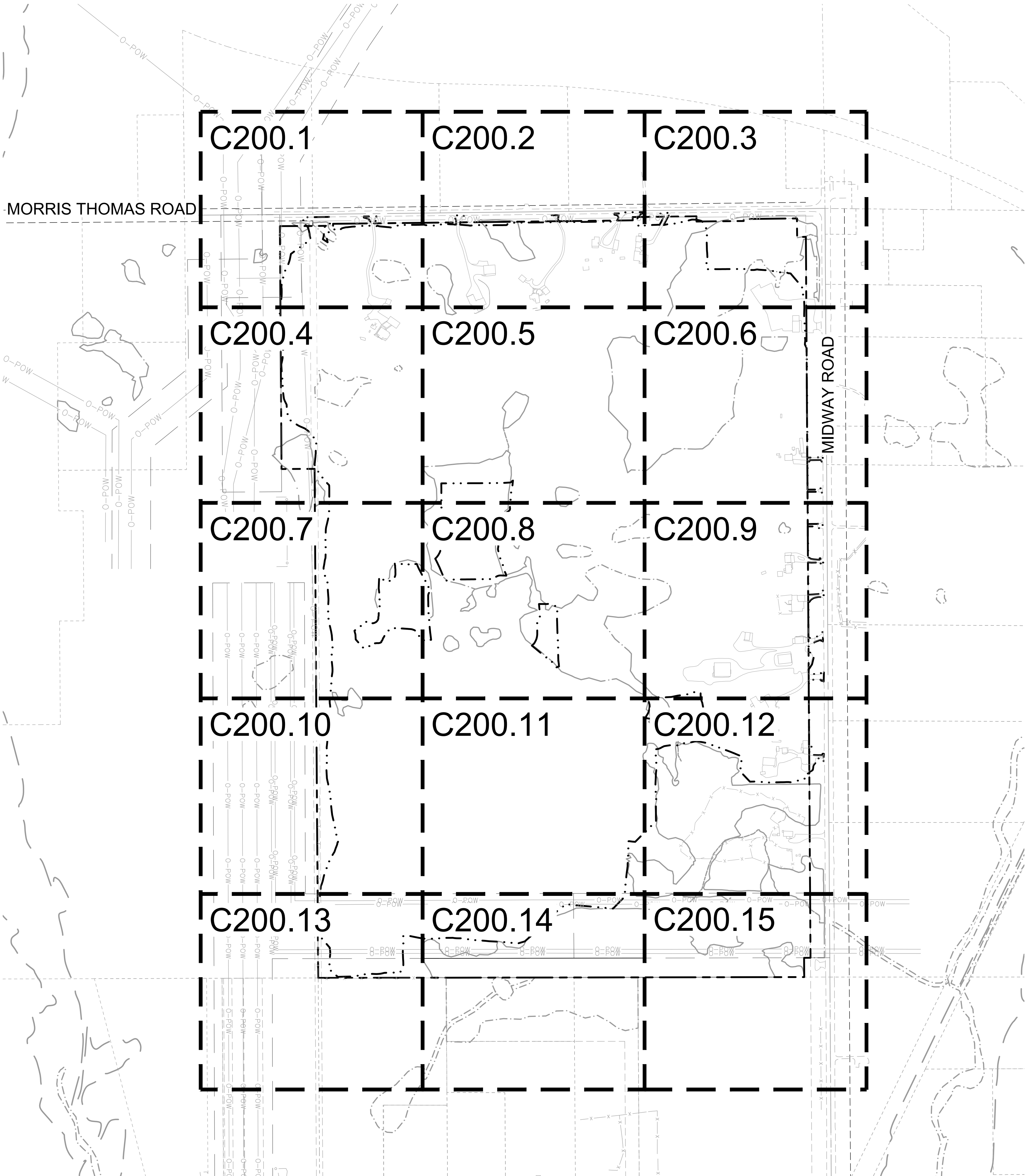
HERMANTOWN, MN
ST. LOUIS COUNTY



SITE LEGEND	
PROPERTY BOUNDARY	---
EXISTING EASEMENT	- - - - -
PROPOSED EASEMENT	- - - - -



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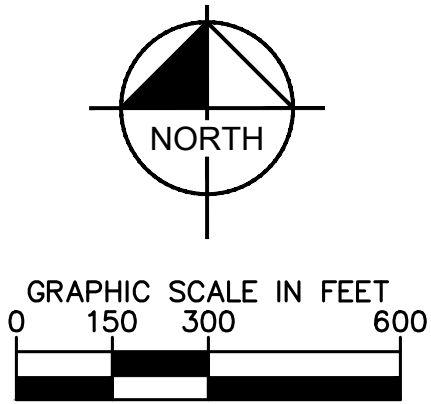
LEGEND

- PROPERTY LINE
- REMOVE BITUMINOUS SURFACE
- REMOVE CONCRETE SURFACE
- REMOVE BUILDING
- REMOVE GRAVEL
- CLEARING & GRUBBING
- WETLAND PROTECTION
- WETLAND IMPACT
- FULL DEPTH SAWCUT
- REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION
- EXISTING OVERHEAD POWER LINE
- EXISTING WIRE FENCE
- EXISTING CHAINLINK FENCE
- EXISTING WOODEN FENCE
- EXISTING J-BARRIER
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING WELL
- EXISTING AUTOMATIC SPRINKLER
- EXISTING ROOF DRAIN
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING METAL COVER
- EXISTING ELECTRICAL METER
- EXISTING AIR CONDITIONER
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE BOX
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE

DEMOLITION PLAN NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
- THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
- EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PRECEEDING WITH THE PROPOSED WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINILE IS ENCOUNTERED ON SITE; ACTIVE DRAINILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
- IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.

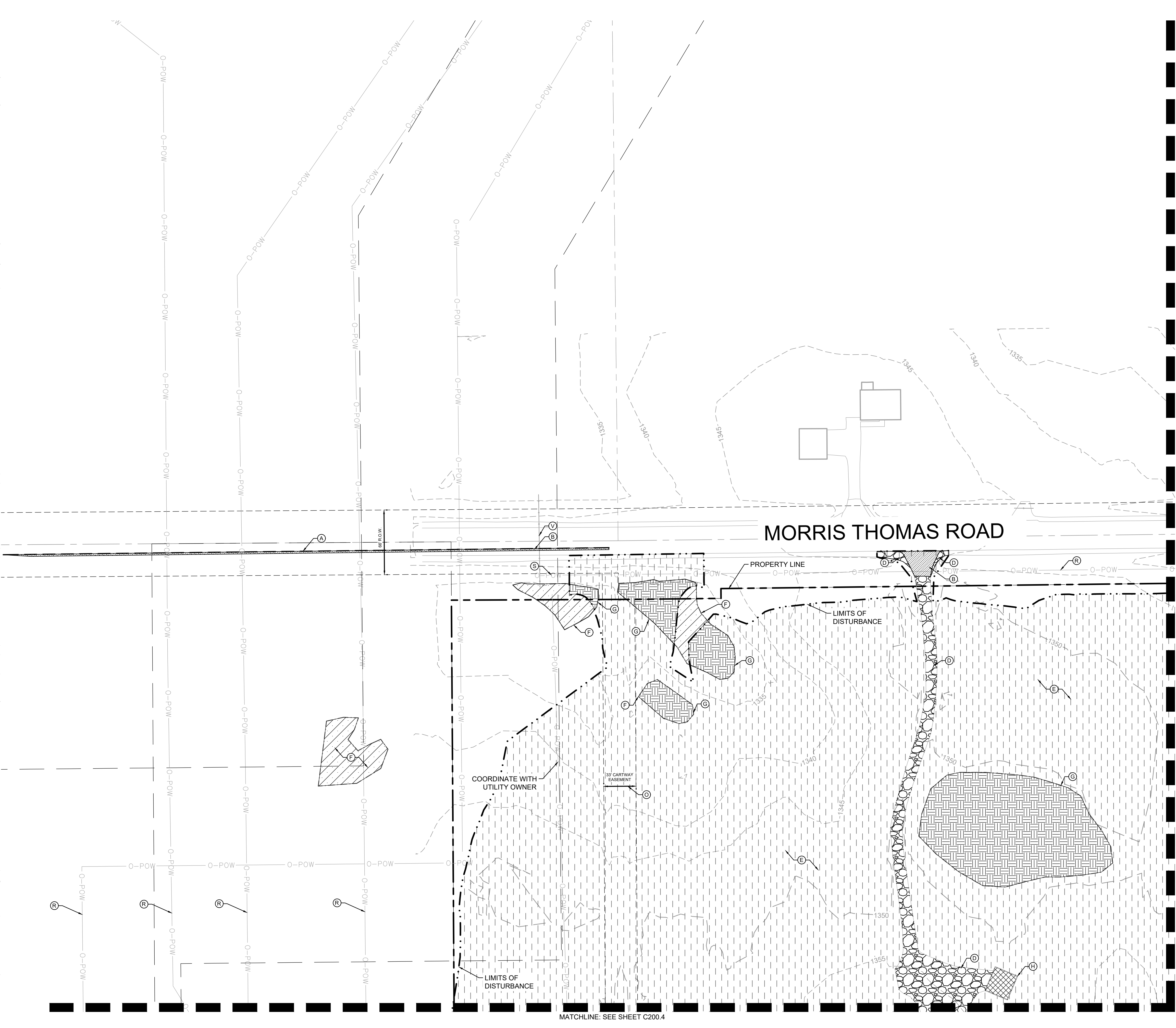
CAUTION! PROPOSED CONSTRUCTION ACTIVITIES ARE LOCATED IN THE VICINITY OF EXISTING MEDIUM AND HIGH VOLTAGE OVERHEAD POWER LINES. EXTREME CAUTION SHALL BE EXERCISED DURING ALL PHASES OF WORK IN THESE AREAS. COORDINATE WITH UTILITY OWNER.



Know what's below.
Call before you dig.

HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	OVERALL DEMO PLAN	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW	Kimley»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM	BY
				DATE
MINNESOTA	REVISIONS	No.		
SHEET NUMBER C200.0				

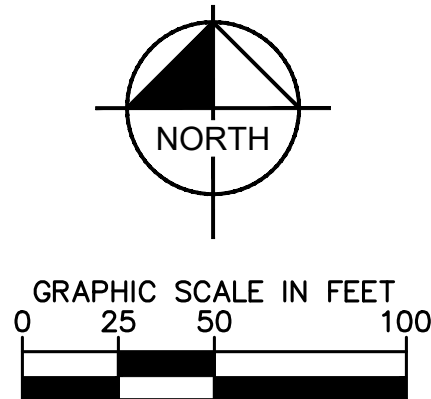
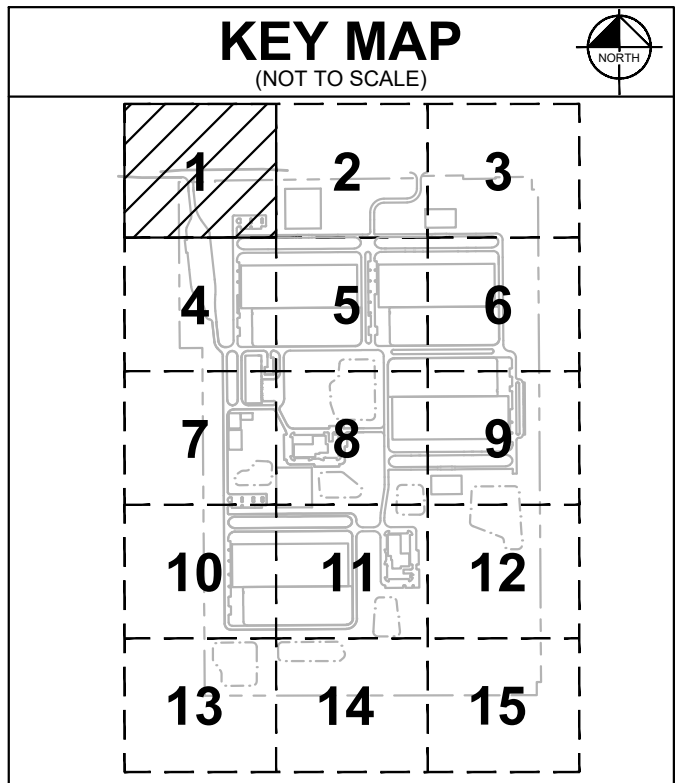
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SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND

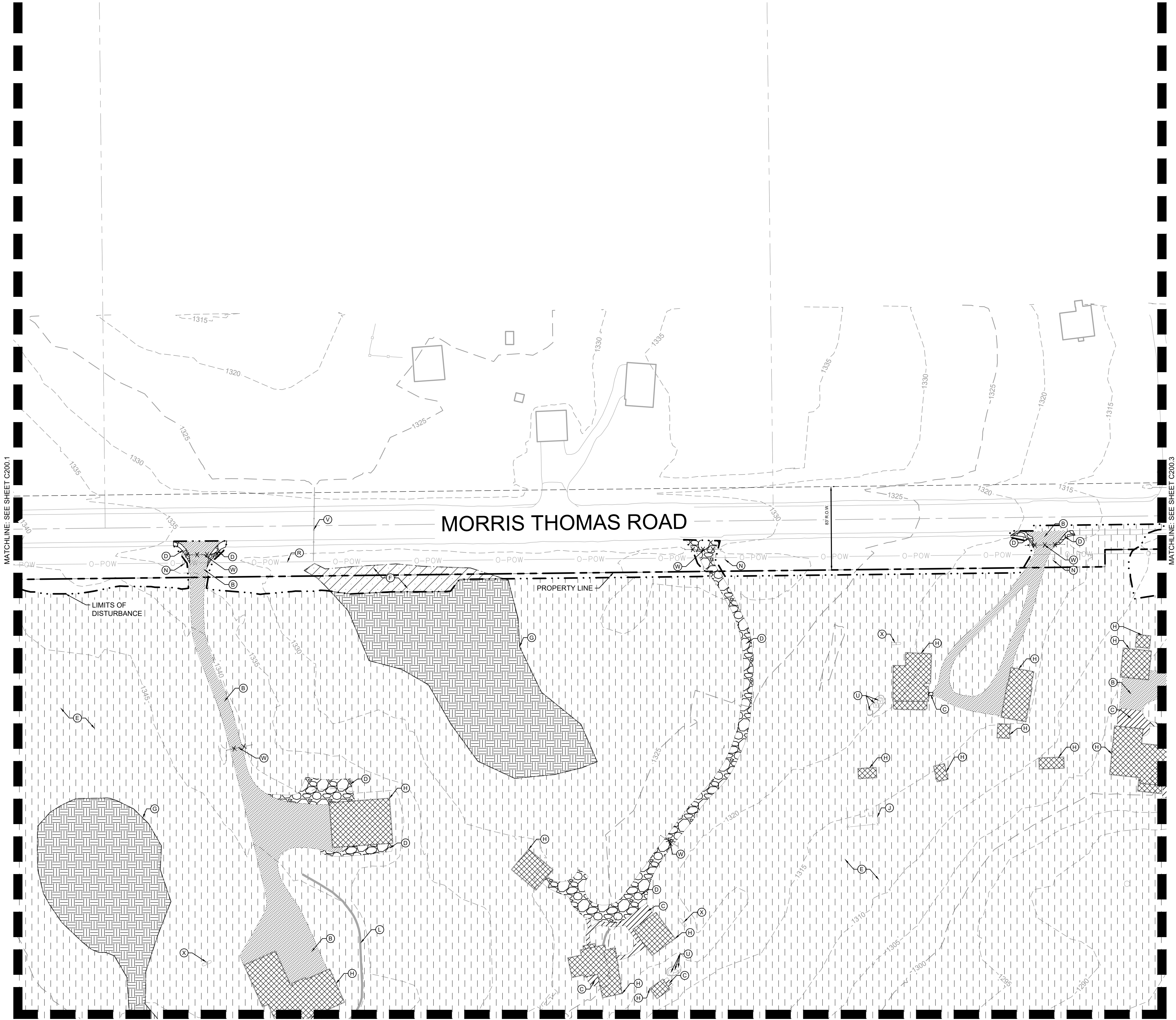
KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
- (E) CLEARING AND GRUBBING
- (F) PROTECT EXISTING WETLAND
- (G) WETLAND IMPACT
- (H) REMOVE EXISTING BUILDING / STRUCTURE
- (I) PROTECT EXISTING FENCE
- (J) REMOVE EXISTING FENCE
- (K) REMOVE EXISTING FLAG POLE
- (L) REMOVE EXISTING RETAINING WALL
- (M) PROTECT EXISTING SIGN
- (N) REMOVE EXISTING SIGN
- (O) EXISTING CARTWAY EASEMENT TO BE VACATED
- (P) PROTECT EXISTING HV EASEMENT
- (Q) PROTECT EXISTING VEGETATION
- (R) PROTECT EXISTING POWER LINE
- (S) PROTECT EXISTING UTILITY POLE & GUY WIRES
- (T) REMOVE EXISTING WATER LINE / HYDRANT / VALVE
- (U) REMOVE EXISTING SANITARY SEWER LINE / STRUCTURE
- (V) PROTECT EXISTING STORMWATER LINE / STRUCTURE
- (W) REMOVE EXISTING STORMWATER LINE / STRUCTURE
- (X) REMOVE EXISTING NATURAL GAS LINE / STRUCTURE
- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	SHEET NUMBER C200.1	HERMANTOWN MINNESOTA	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW	Kimley»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY

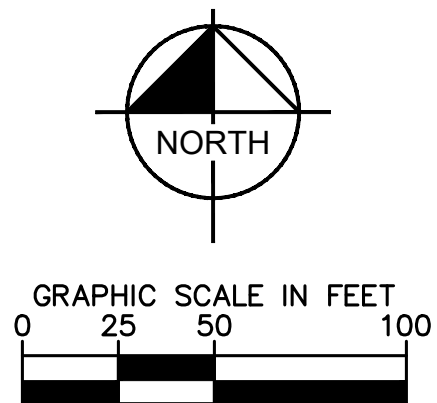
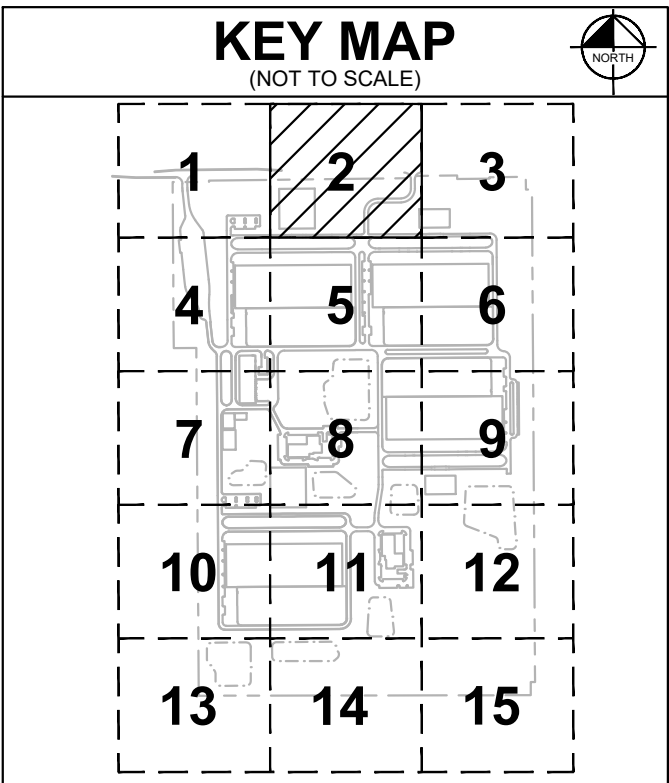
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SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND

KEYNOTE LEGEND

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- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
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- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



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MATCHLINE: SEE SHEET C200.2



(A)	SAWCUT EXISTING PAVEMENT
(B)	REMOVE EXISTING ASPHALT
(C)	REMOVE EXISTING CONCRETE
(D)	REMOVE EXISTING GRAVEL
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(Y)	REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



SHEET NUMBER C200.3		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		MINNESOTA HERMANTOWN		SITE DEMOLITION PLAN		KHA PROJECT 16133300Z DATE 08/15/2025 SCALE AS SHOWN JDS DRAWN BY KLSC CHECKED BY BMW		Kimley»»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY+HORN.COM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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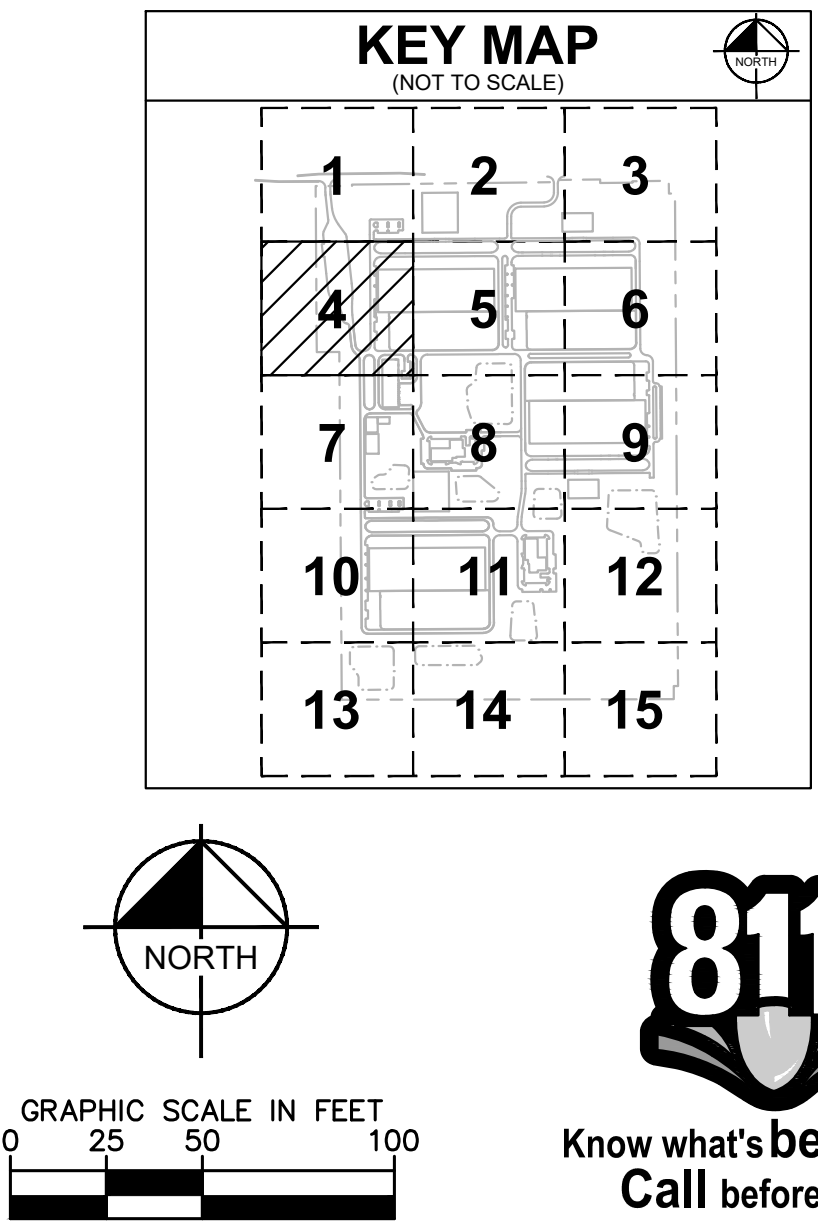
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**SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND**

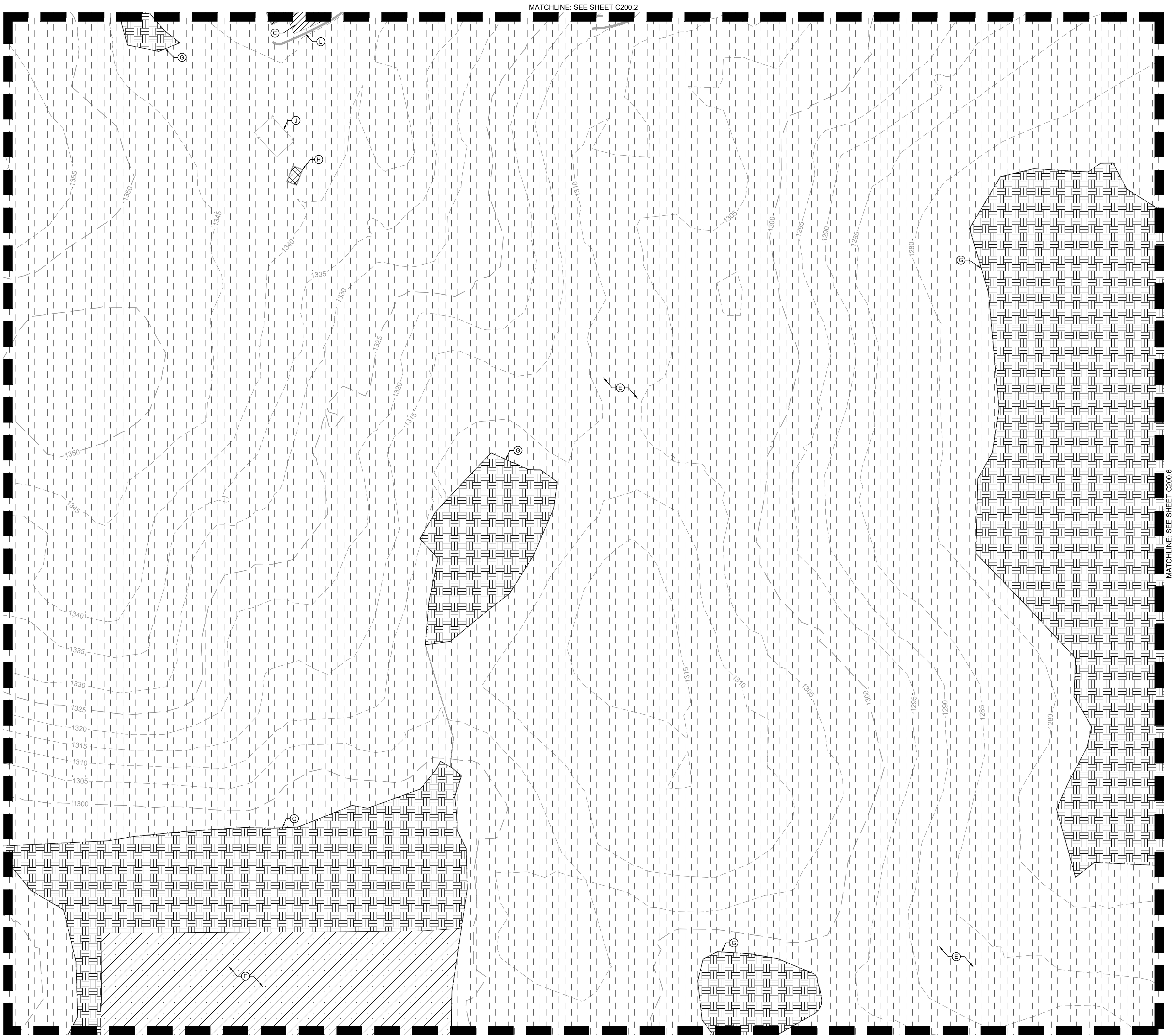
KEYNOTE LEGEND

- | | |
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| (B) | REMOVE EXISTING ASPHALT |
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| (E) | CLEARING AND GRUBBING |
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| (Y) | REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT |

[illegible]

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MATCHLINE: SEE SHEET C200.4



MATCHLINE: SEE SHEET C200.2

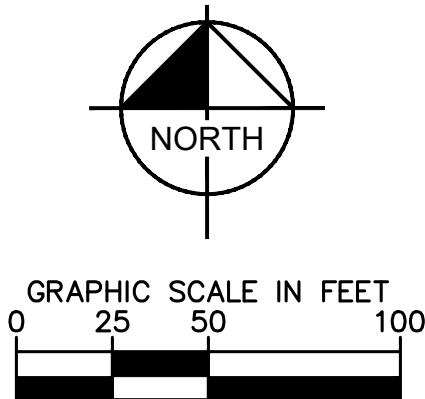
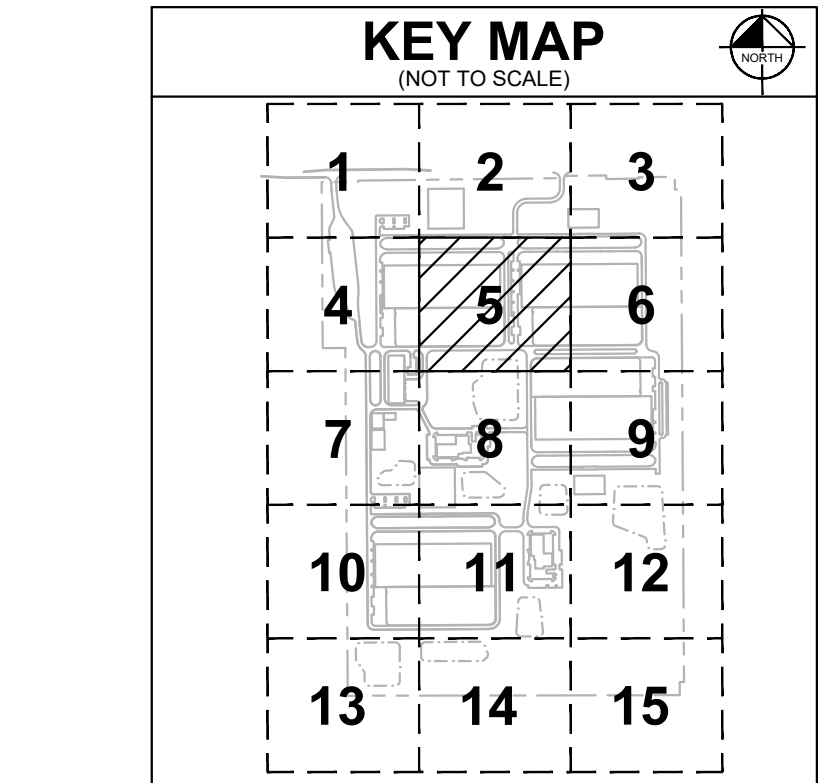
MATCHLINE: SEE SHEET C200.8

MATCHLINE: SEE SHEET C200.6

SEE SHEET C200.0 FOR SITE DEMOLITION PLAN NOTES AND LEGEND

KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
- (E) CLEARING AND GRUBBING
- (F) PROTECT EXISTING WETLAND
- (G) WETLAND IMPACT
- (H) REMOVE EXISTING BUILDING / STRUCTURE
- (I) PROTECT EXISTING FENCE
- (J) REMOVE EXISTING FENCE
- (K) REMOVE EXISTING FLAG POLE
- (L) REMOVE EXISTING RETAINING WALL
- (M) PROTECT EXISTING SIGN
- (N) REMOVE EXISTING SIGN
- (O) EXISTING CARTWAY EASEMENT TO BE VACATED
- (P) PROTECT EXISTING HV EASEMENT
- (Q) PROTECT EXISTING VEGETATION
- (R) PROTECT EXISTING POWER LINE
- (S) PROTECT EXISTING UTILITY POLE & GUY WIRES
- (T) REMOVE EXISTING WATER LINE / HYDRANT / VALVE
- (U) REMOVE EXISTING SANITARY SEWER LINE / STRUCTURE
- (V) PROTECT EXISTING STORMWATER LINE / STRUCTURE
- (W) REMOVE EXISTING STORMWATER LINE / STRUCTURE
- (X) REMOVE EXISTING NATURAL GAS LINE / STRUCTURE
- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



SHEET NUMBER		HERMANTOWN		HERMANTOWN		MINNESOTA	
C200.5		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		SITE DEMOLITION PLAN		KHA PROJECT 161333002	
						DATE 08/15/2025	
						SCALE AS SHOWN	
						DESIGNED BY JDS	
						DRAWN BY KLSC	
						CHECKED BY BMW	
						Kimley»Horn	
						2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	
						No.	
						REVISIONS	
						DATE	
						BY	

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MATCHLINE: SEE SHEET C200.5

MATCHLINE: SEE SHEET C200.3

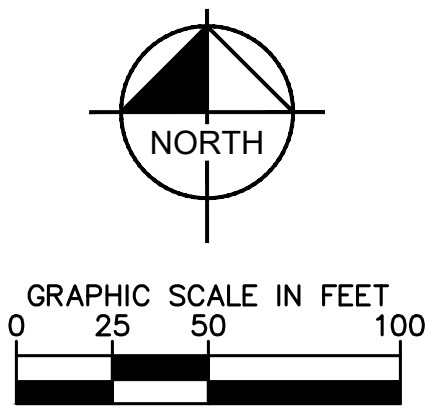
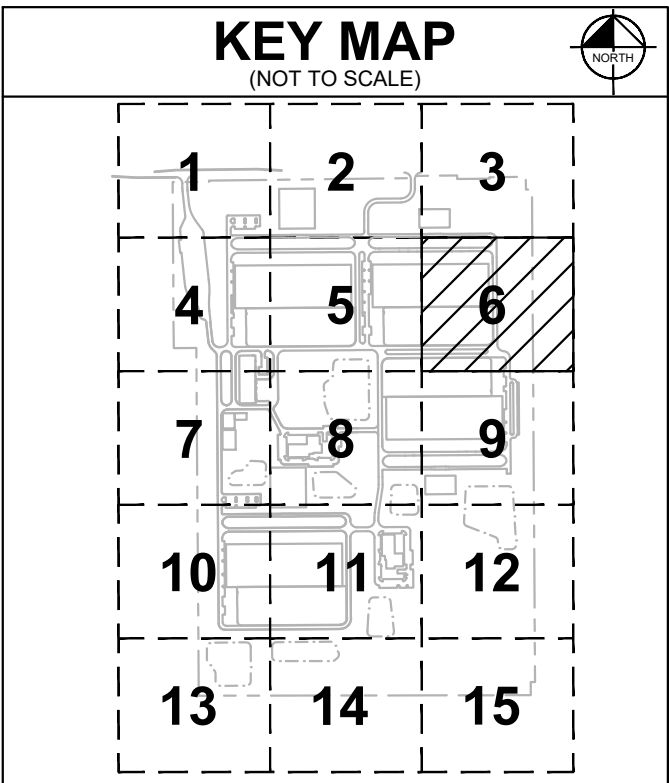
MATCHLINE: SEE SHEET C200.9



SEE SHEET C200.0 FOR SITE DEMOLITION PLAN NOTES AND LEGEND

KEYNOTE LEGEND

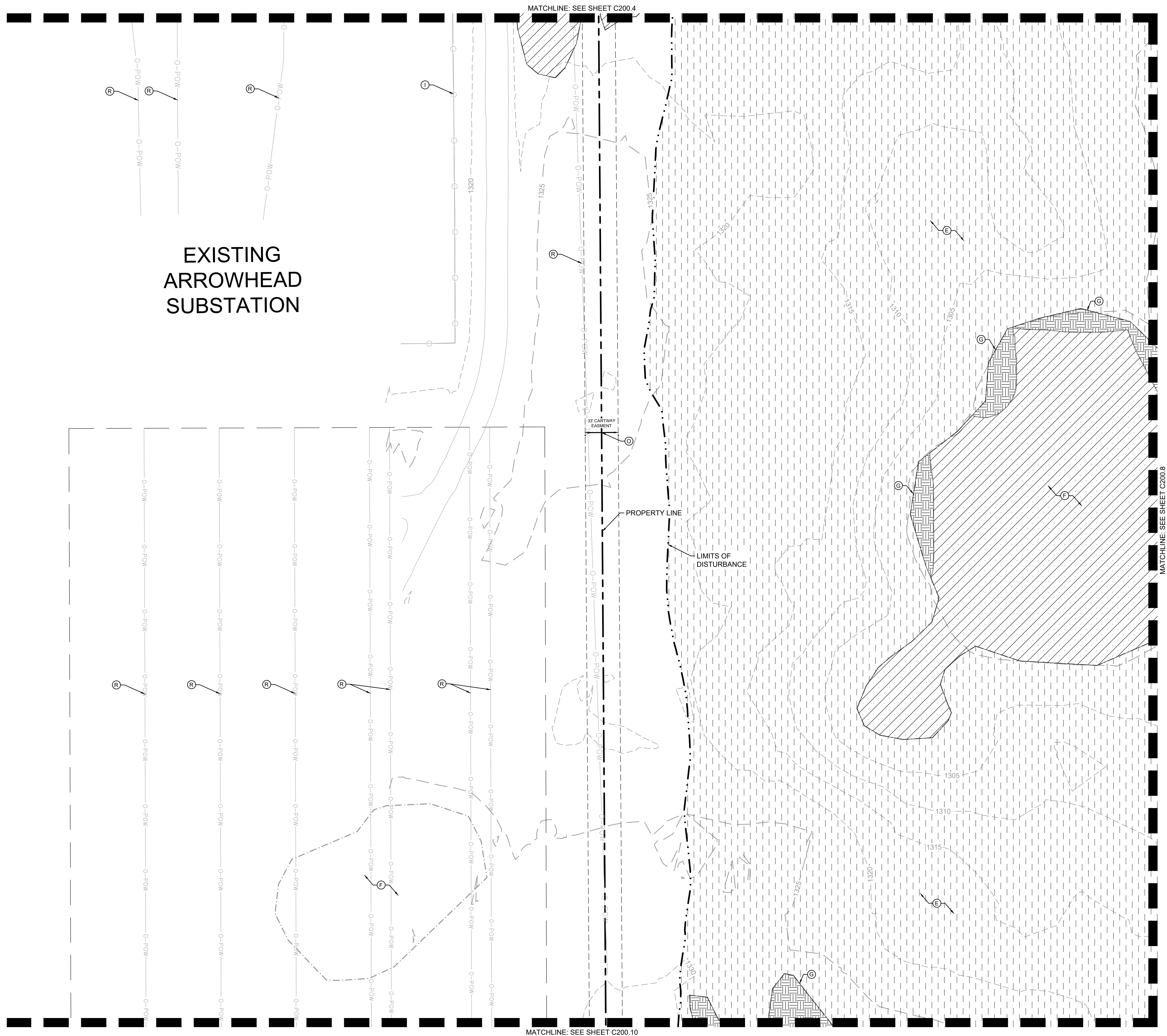
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- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
- (E) CLEARING AND GRUBBING
- (F) PROTECT EXISTING WETLAND
- (G) WETLAND IMPACT
- (H) REMOVE EXISTING BUILDING / STRUCTURE
- (I) PROTECT EXISTING FENCE
- (J) REMOVE EXISTING FENCE
- (K) REMOVE EXISTING FLAG POLE
- (L) REMOVE EXISTING RETAINING WALL
- (M) PROTECT EXISTING SIGN
- (N) REMOVE EXISTING SIGN
- (O) EXISTING CARTWAY EASEMENT TO BE VACATED
- (P) PROTECT EXISTING HV EASEMENT
- (Q) PROTECT EXISTING VEGETATION
- (R) PROTECT EXISTING POWER LINE
- (S) PROTECT EXISTING UTILITY POLE & GUY WIRES
- (T) REMOVE EXISTING WATER LINE / HYDRANT / VALVE
- (U) REMOVE EXISTING SANITARY SEWER LINE / STRUCTURE
- (V) PROTECT EXISTING STORMWATER LINE / STRUCTURE
- (W) REMOVE EXISTING STORMWATER LINE / STRUCTURE
- (X) REMOVE EXISTING NATURAL GAS LINE / STRUCTURE
- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



Know what's below.
Call before you dig.

HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		SHEET NUMBER C200.6		HERMANTOWN MINNESOTA		SITE DEMOLITION PLAN		KHA PROJECT 161333002		Kimley»Horn		2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM									
								DATE 08/15/2025													
								SCALE AS SHOWN													
								DESIGNED BY JDS													
								DRAWN BY KLSC													
								CHECKED BY BMW													
																				No.	
																				REVISIONS	
																				DATE	
																				BY	

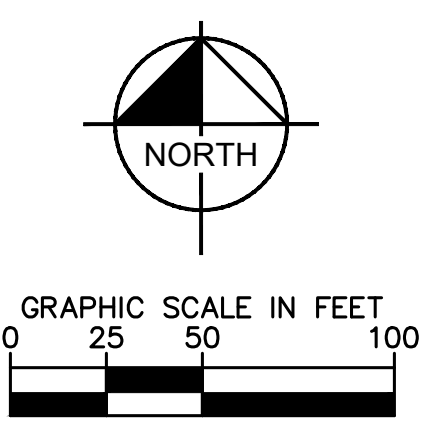
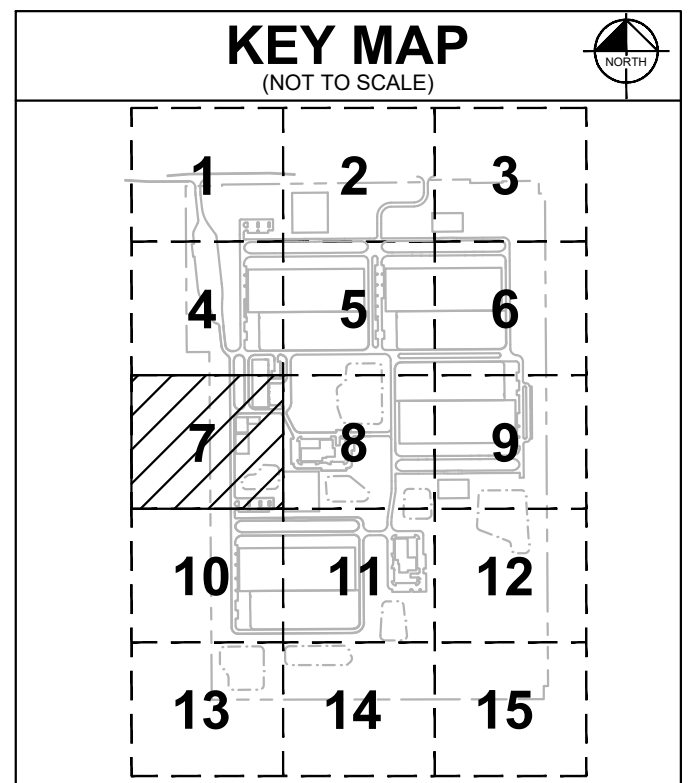
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**SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND**

KEYNOTE LEGEND

- | | |
|-----|---|
| (A) | SAWCUT EXISTING PAVEMENT |
| (B) | REMOVE EXISTING ASPHALT |
| (C) | REMOVE EXISTING CONCRETE |
| (D) | REMOVE EXISTING GRAVEL |
| (E) | CLEARING AND GRUBBING |
| (F) | PROTECT EXISTING WETLAND |
| (G) | WETLAND IMPACT |
| (H) | REMOVE EXISTING BUILDING / STRUCTURE |
| (I) | PROTECT EXISTING FENCE |
| (J) | REMOVE EXISTING FENCE |
| (K) | REMOVE EXISTING FLAG POLE |
| (L) | REMOVE EXISTING RETAINING WALL |
| (M) | PROTECT EXISTING SIGN |
| (N) | REMOVE EXISTING SIGN |
| (O) | EXISTING CARTWAY EASEMENT TO BE VACATED |
| (P) | PROTECT EXISTING HV EASEMENT |
| (Q) | PROTECT EXISTING VEGETATION |
| (R) | PROTECT EXISTING POWER LINE |
| (S) | PROTECT EXISTING UTILITY POLE & GUY WIRES |
| (T) | REMOVE EXISTING WATER LINE / HYDRANT / VALVE |
| (U) | REMOVE EXISTING SANITARY SEWER LINE / STRUCTURE |
| (V) | PROTECT EXISTING STORMWATER LINE / STRUCTURE |
| (W) | REMOVE EXISTING STORMWATER LINE / STRUCTURE |
| (X) | REMOVE EXISTING NATURAL GAS LINE / STRUCTURE |
| (Y) | REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT |



Know what's **below**.
Call before you dig.

SHEET NUMBER C200.7		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC HERMANTOWN MINNESOTA		SITE DEMOLITION PLAN		KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW		 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612.315.1272 WWW.KIMLEY-HORN.COM		No. _____ REVISIONS _____ DATE _____ BY _____	
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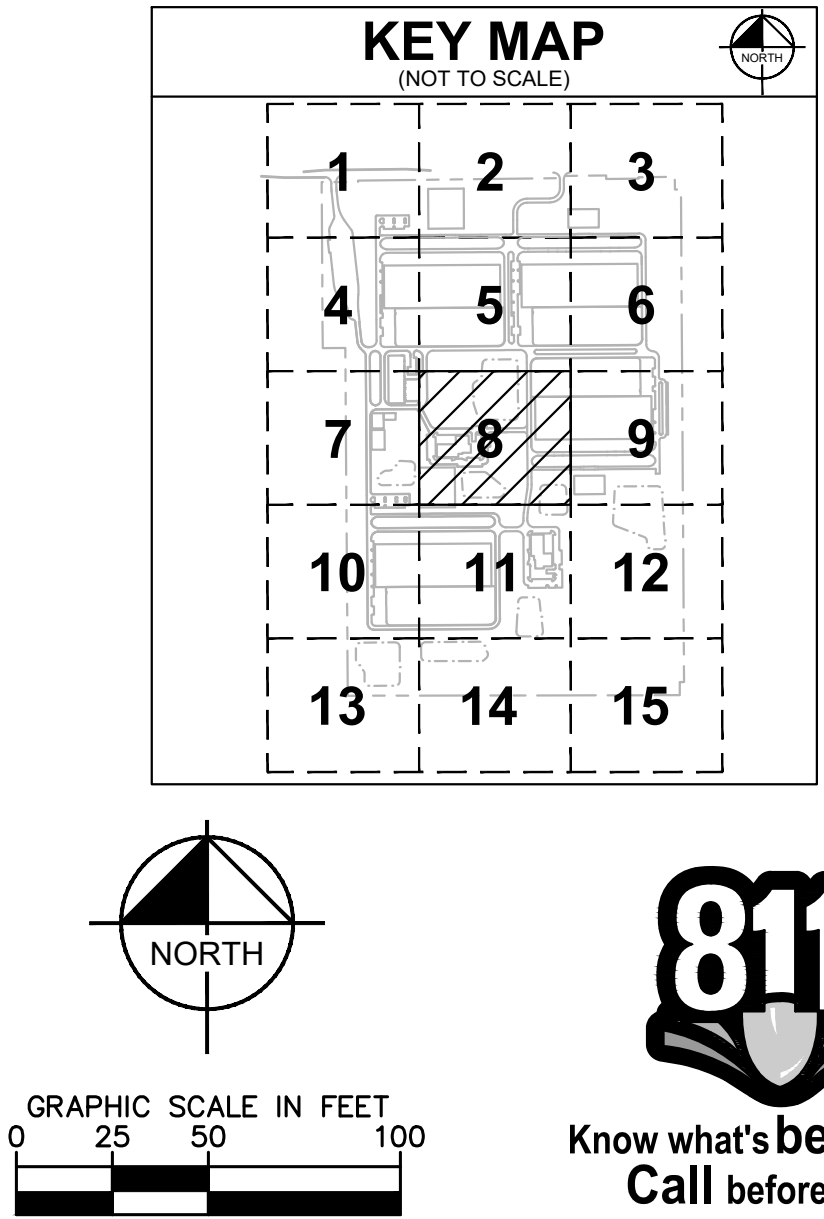
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SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND

KEYNOTE LEGEND

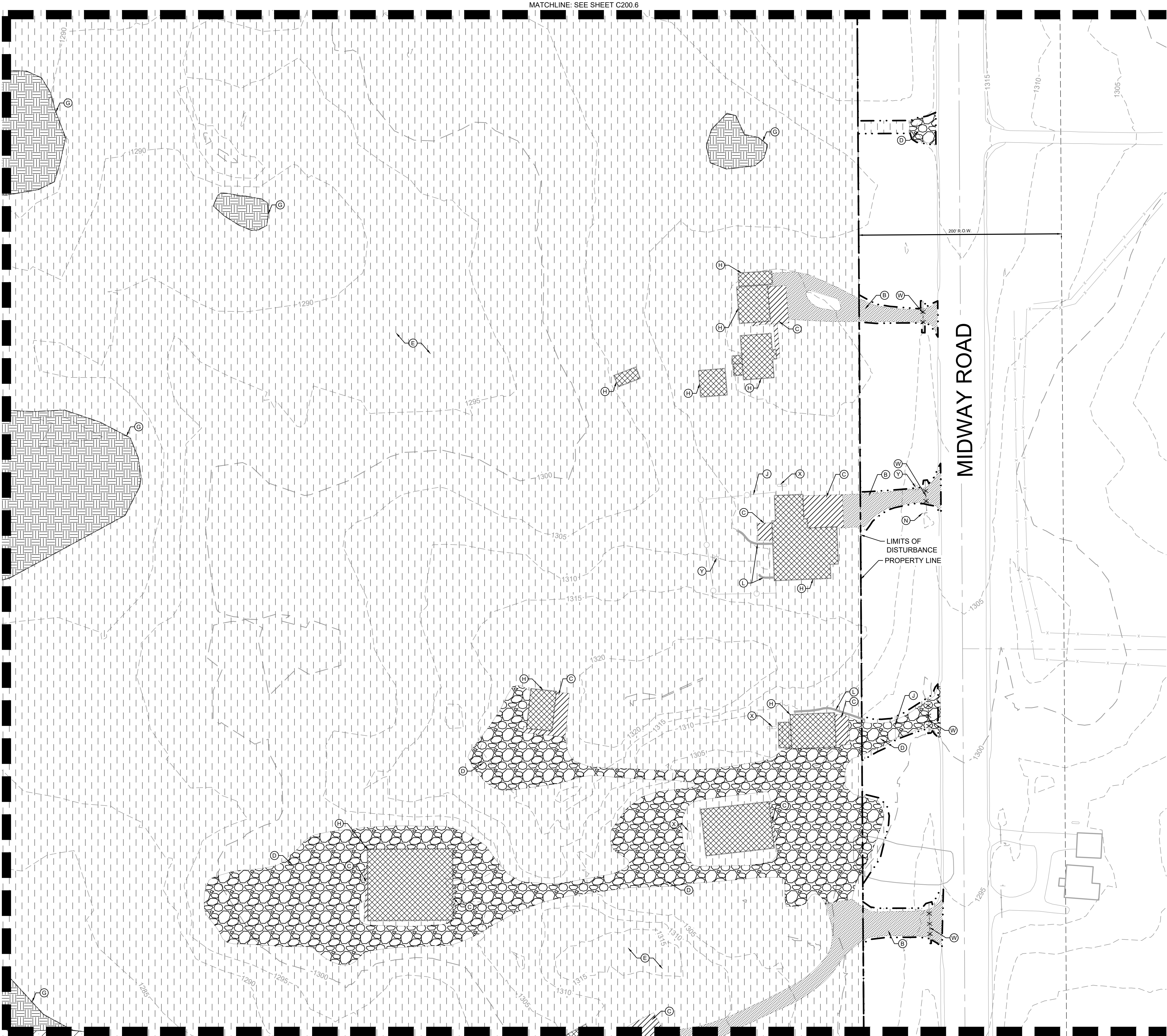
- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
- (E) CLEARING AND GRUBBING
- (F) PROTECT EXISTING WETLAND
- (G) WETLAND IMPACT
- (H) REMOVE EXISTING BUILDING / STRUCTURE
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- (O) EXISTING CARTWAY EASEMENT TO BE VACATED
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	MINNESOTA	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW	Kimley»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	REVISIONS		BY
				No.	DATE	
SHEET NUMBER C200.8			HERMANTOWN INDUSTRIAL SITE DEMOLITION PLAN			

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MATCHLINE: SEE SHEET C200.8



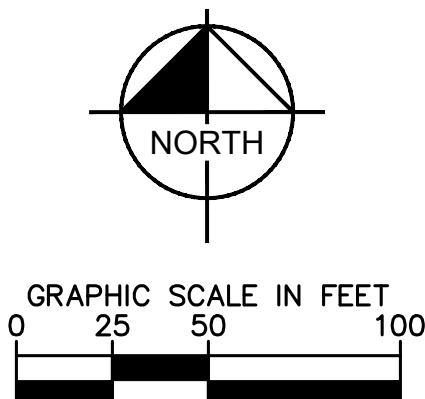
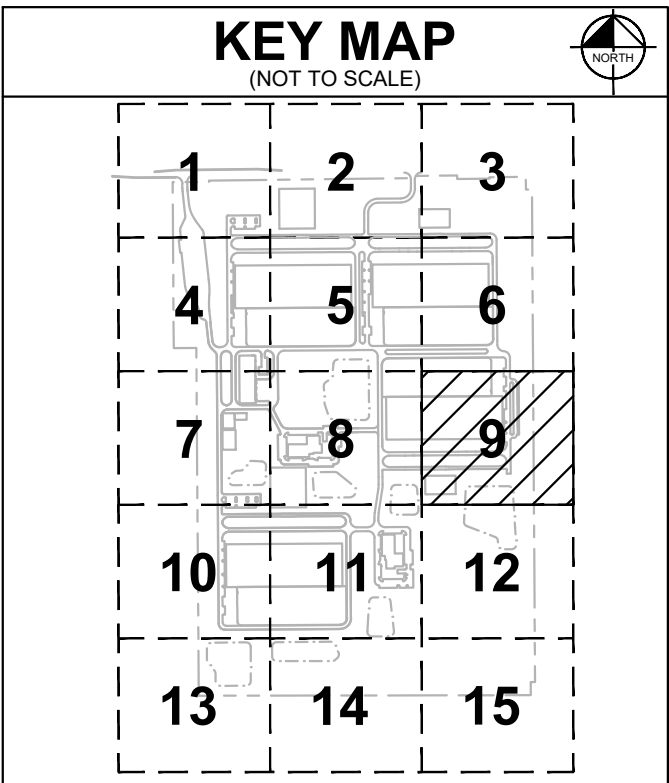
MATCHLINE: SEE SHEET C200.6

MATCHLINE: SEE SHEET C200.12

SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND

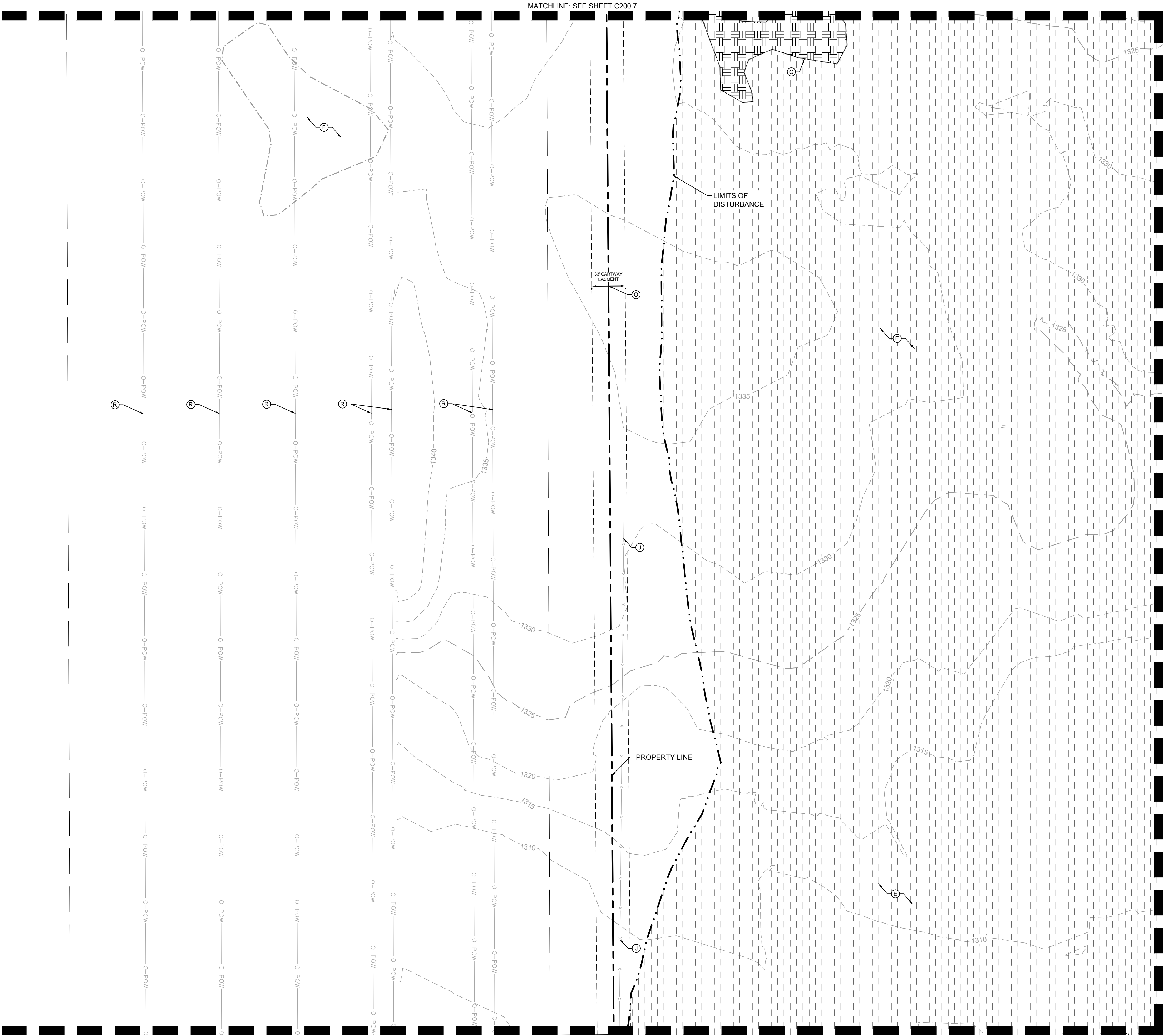
KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	SHEET NUMBER C200.9	HERMANTOWN MINNESOTA	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW	 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY

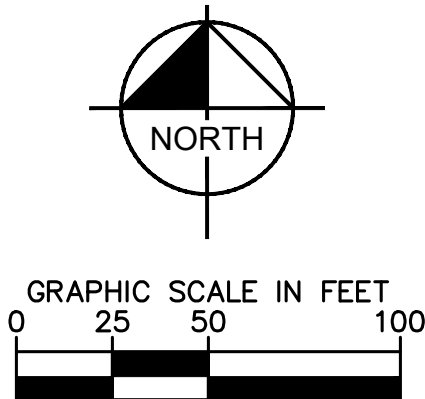
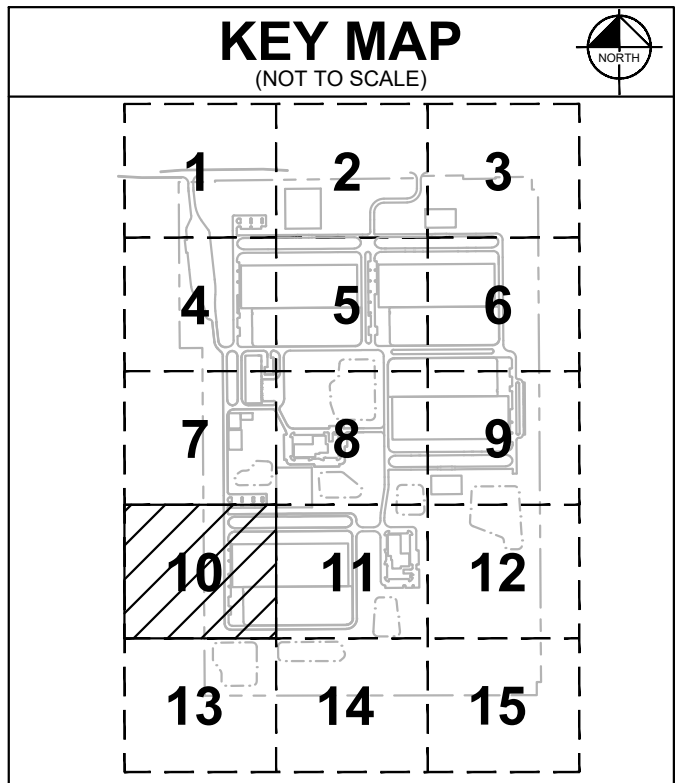
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SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND

KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
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- (X) REMOVE EXISTING NATURAL GAS LINE / STRUCTURE
- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW	Kimley»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM	No.	REVISIONS	BY
					DATE
SHEET NUMBER C200.10		HERMANTOWN MINNESOTA			

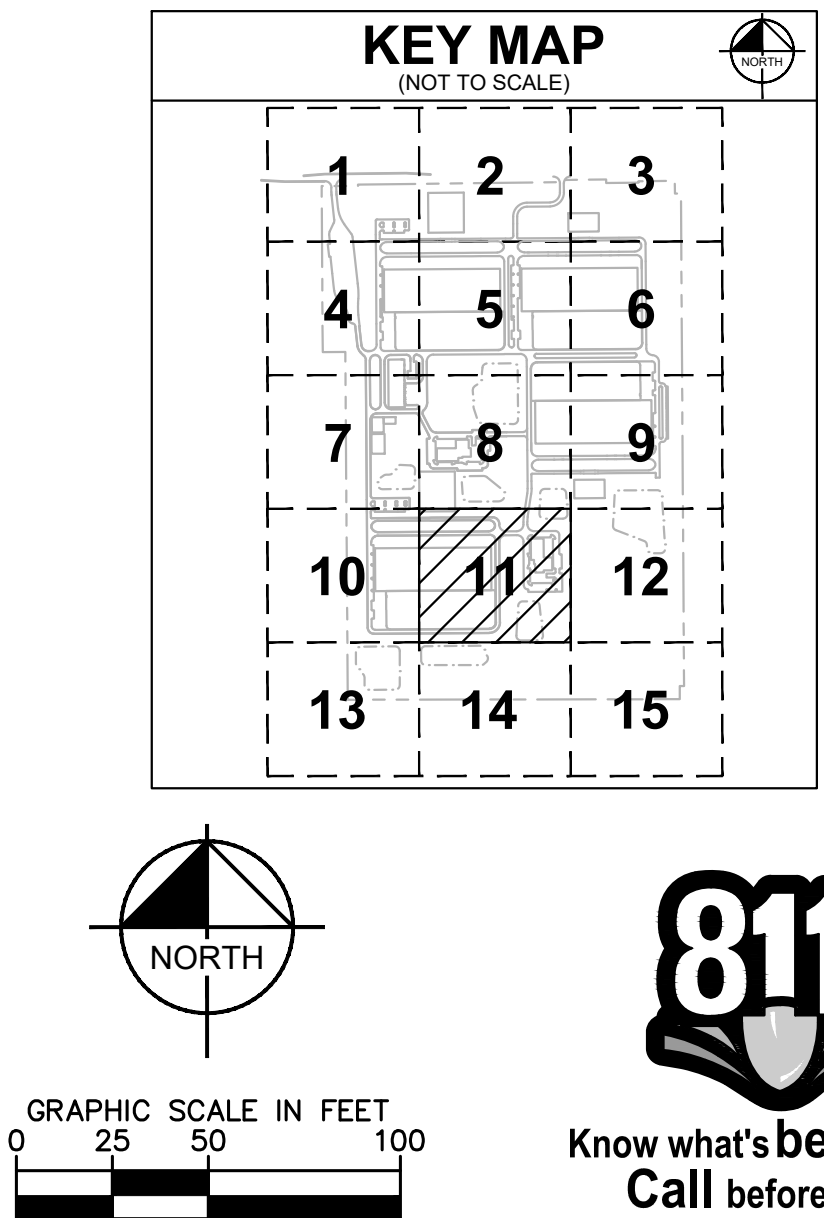
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SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND

KEYNOTE LEGEND

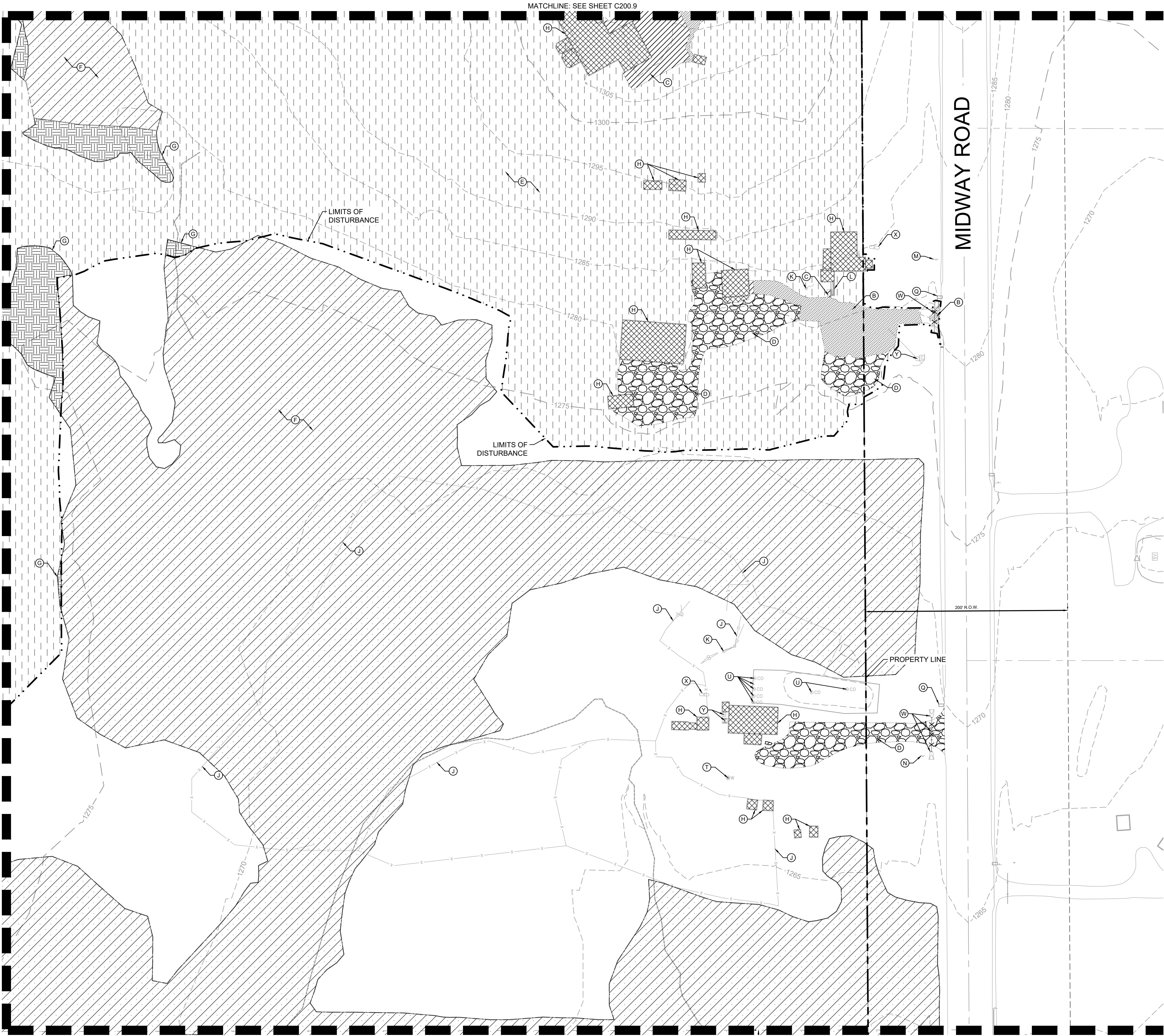
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- (C) REMOVE EXISTING CONCRETE
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	SHEET NUMBER C200.11	HERMANTOWN MINNESOTA	KHA PROJECT 161333002					KIMLEY-HORN & ASSOCIATES, INC. 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM				
			DATE 08/15/2025	SCALE AS SHOWN	DESIGNED BY JDS	DRAWN BY KLSC	CHECKED BY BMW	No.	REVISIONS	DATE	BY	

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MATCHLINE: SEE SHEET C200.11

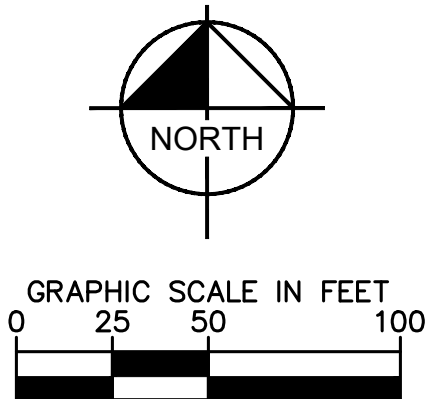
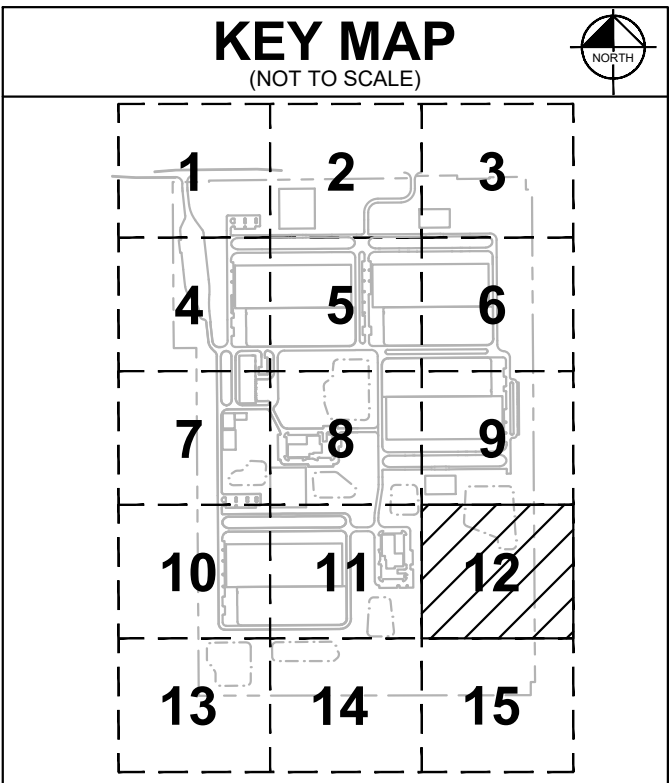


MATCHLINE: SEE SHEET C200.15

SEE SHEET C200.0 FOR SITE DEMOLITION PLAN
NOTES AND LEGEND

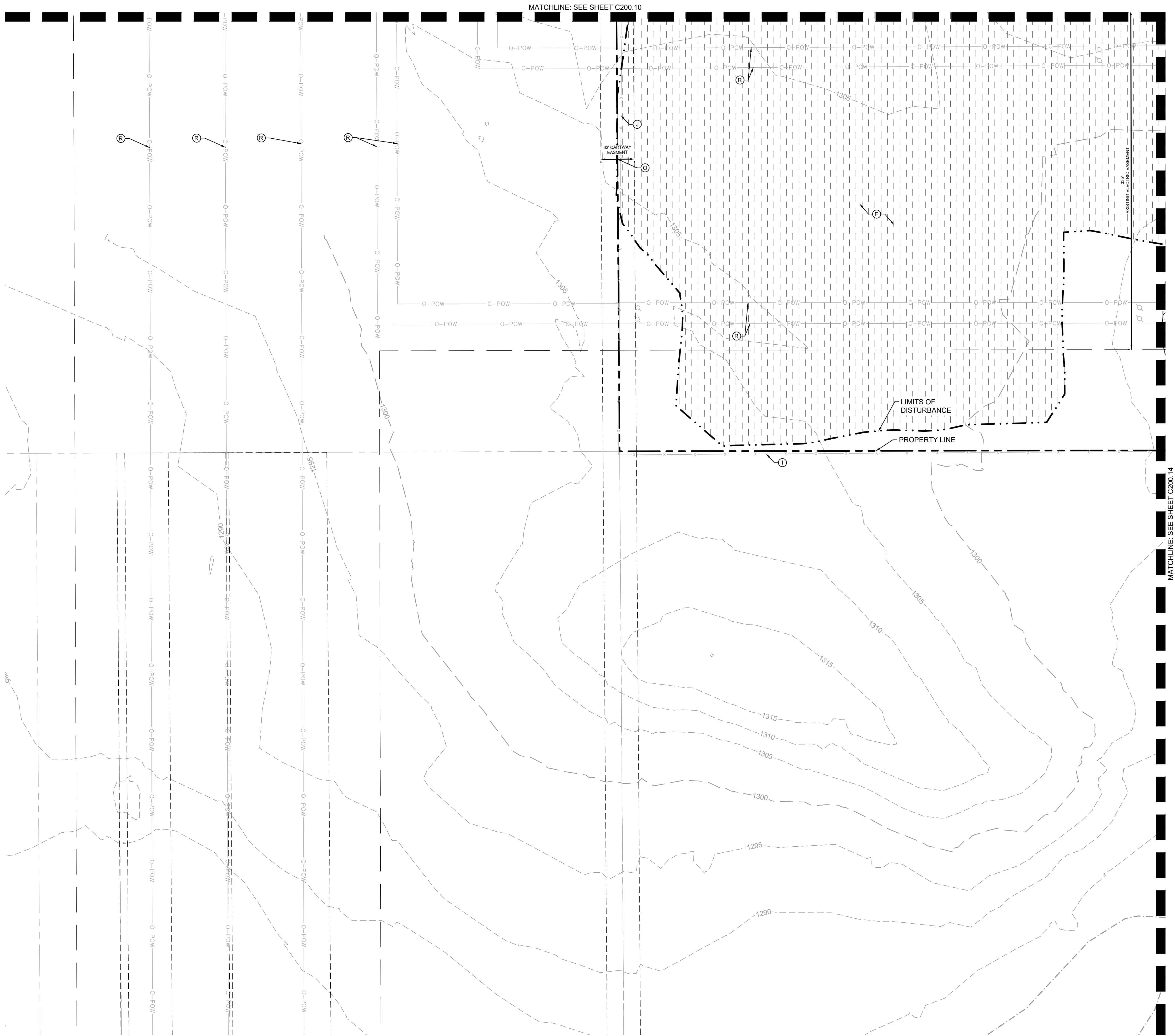
KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
- (E) CLEARING AND GRUBBING
- (F) PROTECT EXISTING WETLAND
- (G) WETLAND IMPACT
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- (I) PROTECT EXISTING FENCE
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- (M) PROTECT EXISTING SIGN
- (N) REMOVE EXISTING SIGN
- (O) EXISTING CARTWAY EASEMENT TO BE VACATED
- (P) PROTECT EXISTING HV EASEMENT
- (Q) PROTECT EXISTING VEGETATION
- (R) PROTECT EXISTING POWER LINE
- (S) PROTECT EXISTING UTILITY POLE & GUY WIRES
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- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	HERMANTOWN MINNESOTA	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC, JN CHECKED BY BMW	Kimley»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM	REVISIONS		BY
				No.	DATE	
SHEET NUMBER C200.12		SITE DEMOLITION PLAN				

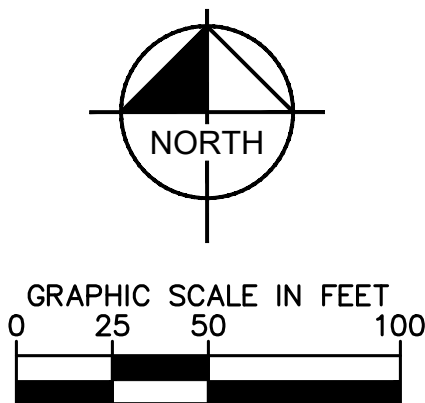
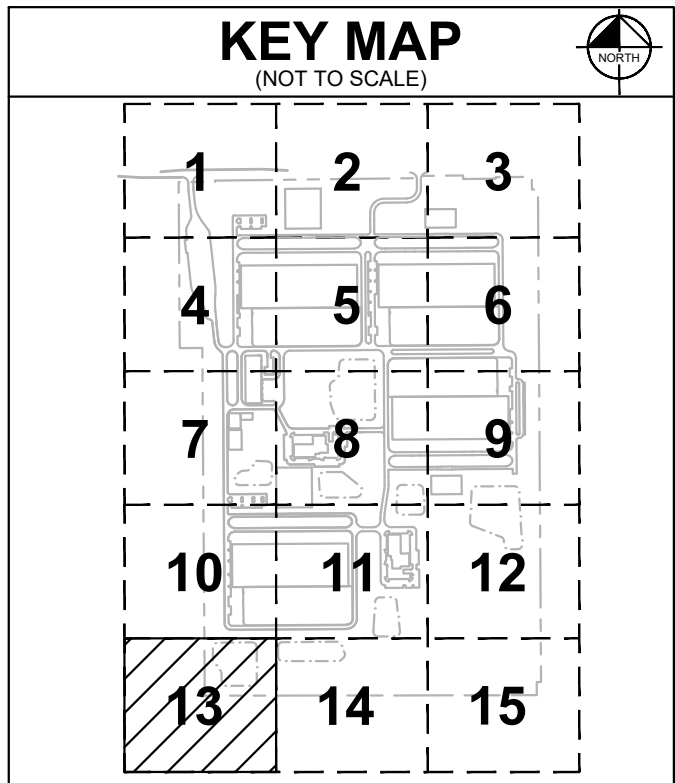
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SEE SHEET C200.0 FOR SITE DEMOLITION PLAN NOTES AND LEGEND

KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
- (E) CLEARING AND GRUBBING
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- (T) REMOVE EXISTING WATER LINE / HYDRANT / VALVE
- (U) REMOVE EXISTING SANITARY SEWER LINE / STRUCTURE
- (V) PROTECT EXISTING STORMWATER LINE / STRUCTURE
- (W) REMOVE EXISTING STORMWATER LINE / STRUCTURE
- (X) REMOVE EXISTING NATURAL GAS LINE / STRUCTURE
- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT

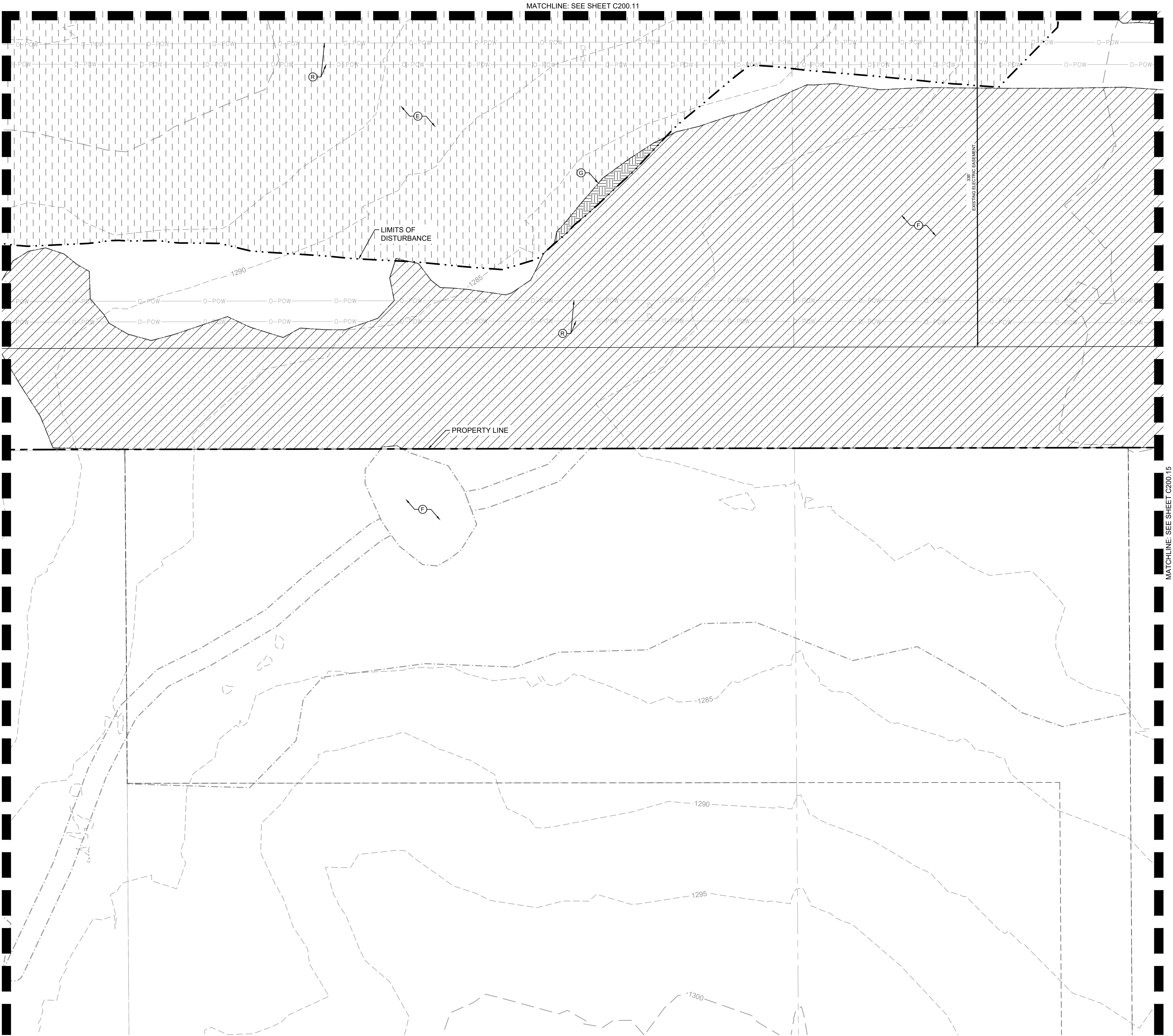


Know what's below.
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		SHEET NUMBER C200.13		HERMANTOWN MINNESOTA	
KHA PROJECT 161333002		DATE 08/15/2025		SCALE AS SHOWN	
DESIGNED BY JDS		DRAWN BY KLSC		CHECKED BY BMW	
HERMANTOWN INDUSTRIAL SITE DEMOLITION PLAN		Kimley»»Horn		2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	
No.		REVISIONS		DATE	
BY					

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MATCHLINE: SEE SHEET C200.13

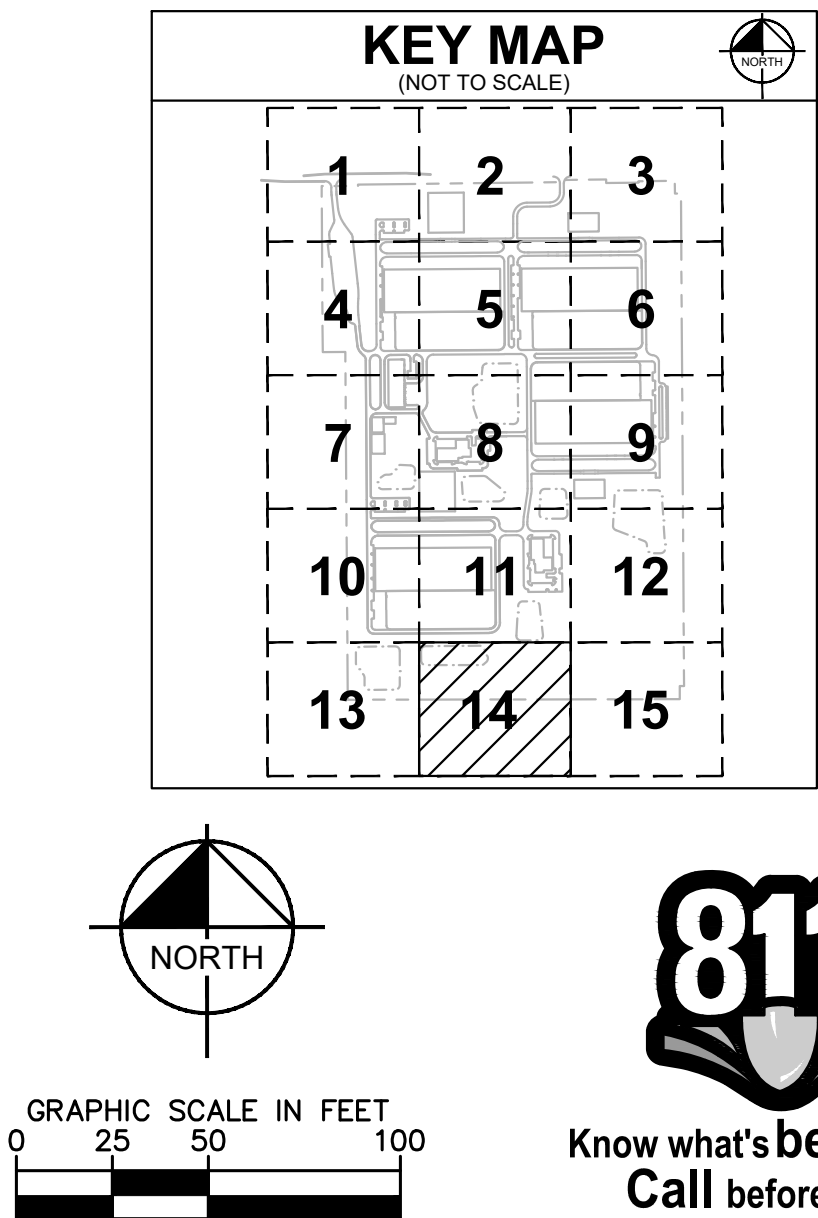


MATCHLINE: SEE SHEET C200.15

SEE SHEET C200.0 FOR SITE DEMOLITION PLAN NOTES AND LEGEND

KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING ASPHALT
- (C) REMOVE EXISTING CONCRETE
- (D) REMOVE EXISTING GRAVEL
- (E) CLEARING AND GRUBBING
- (F) PROTECT EXISTING WETLAND
- (G) WETLAND IMPACT
- (H) REMOVE EXISTING BUILDING / STRUCTURE
- (I) PROTECT EXISTING FENCE
- (J) REMOVE EXISTING FENCE
- (K) REMOVE EXISTING FLAG POLE
- (L) REMOVE EXISTING RETAINING WALL
- (M) PROTECT EXISTING SIGN
- (N) REMOVE EXISTING SIGN
- (O) EXISTING CARTWAY EASEMENT TO BE VACATED
- (P) PROTECT EXISTING HV EASEMENT
- (Q) PROTECT EXISTING VEGETATION
- (R) PROTECT EXISTING POWER LINE
- (S) PROTECT EXISTING UTILITY POLE & GUY WIRES
- (T) REMOVE EXISTING WATER LINE / HYDRANT / VALVE
- (U) REMOVE EXISTING SANITARY SEWER LINE / STRUCTURE
- (V) PROTECT EXISTING STORMWATER LINE / STRUCTURE
- (W) REMOVE EXISTING STORMWATER LINE / STRUCTURE
- (X) REMOVE EXISTING NATURAL GAS LINE / STRUCTURE
- (Y) REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT



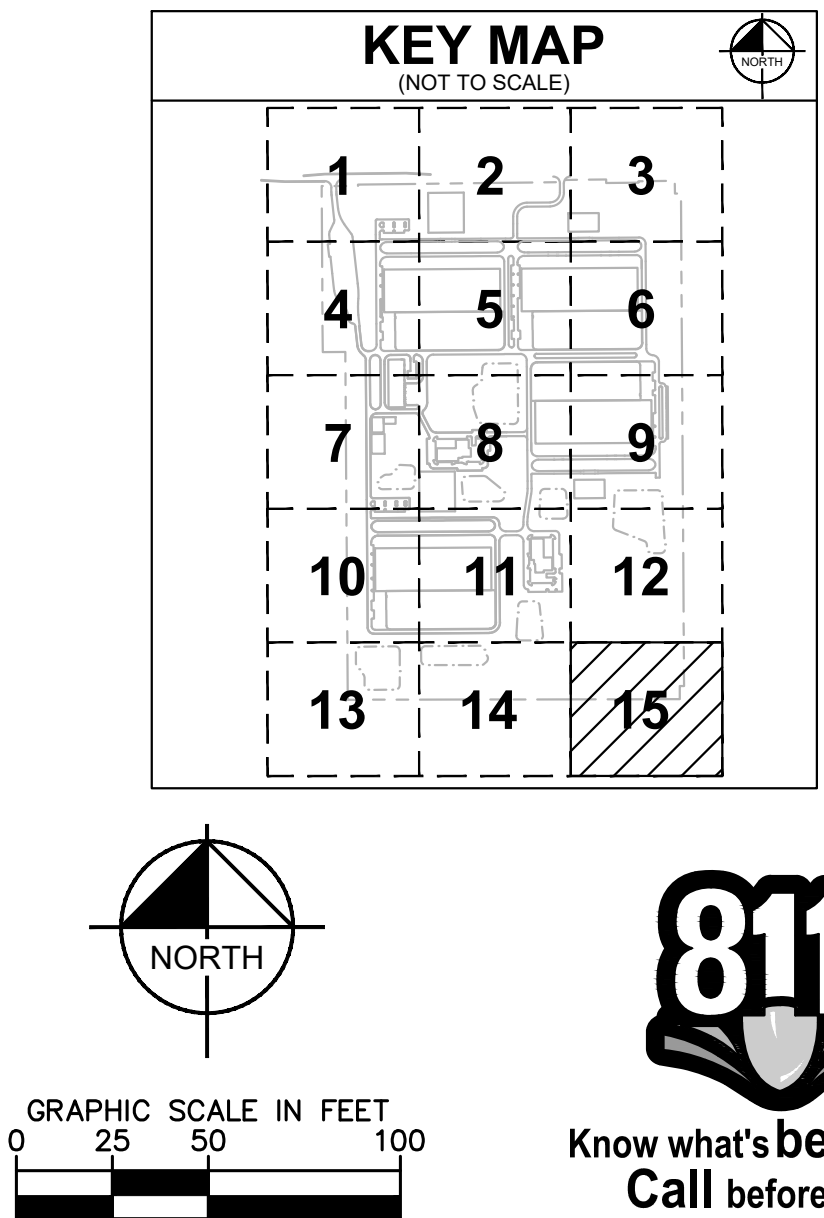
Know what's below.
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SHEET NUMBER C200.14		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		HERMANTOWN MINNESOTA		SITE DEMOLITION PLAN		KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW		Kimley»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM									

MATCHLINE: SEE SHEET C200.14

KEYNOTE LEGEND

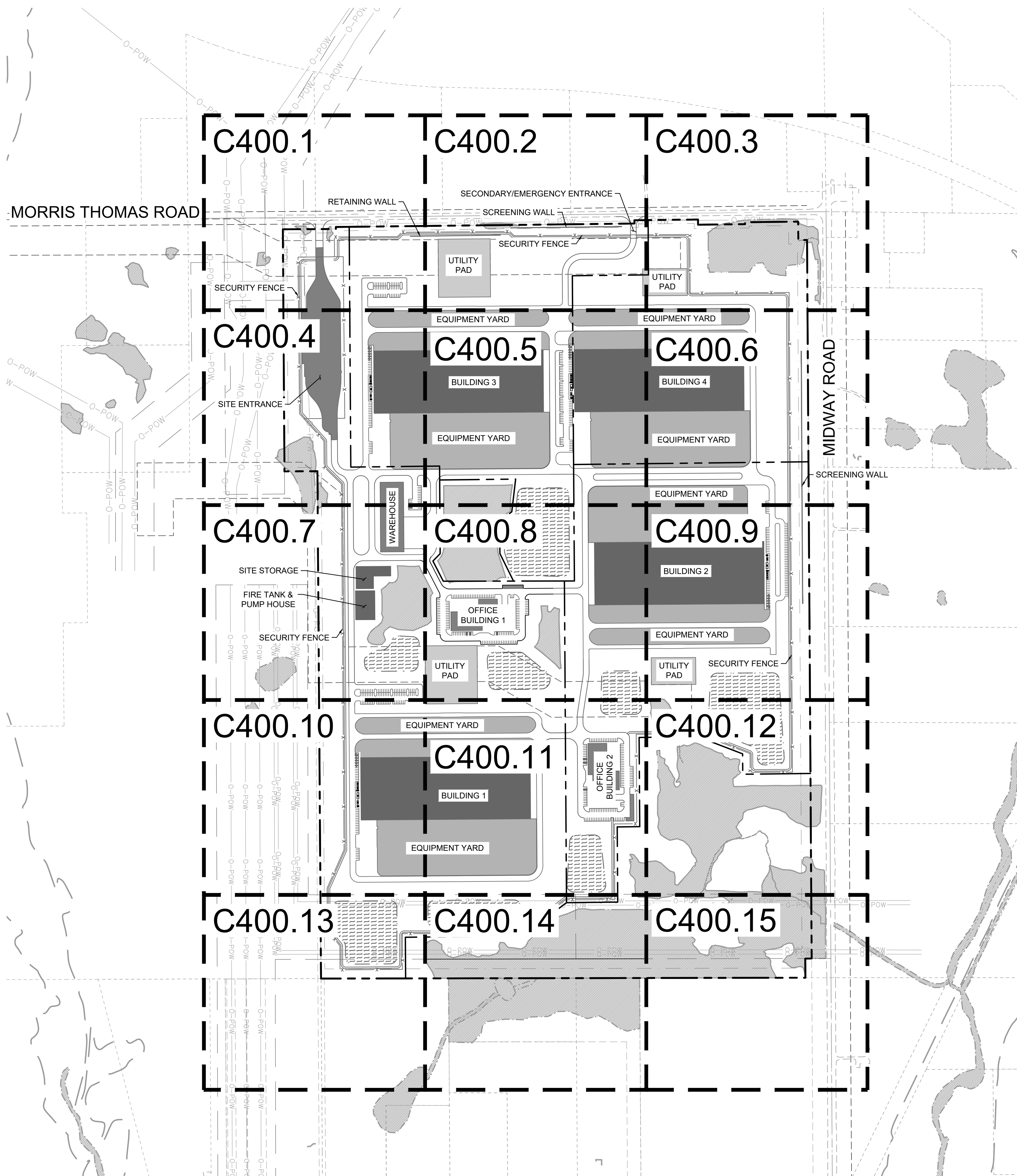
- | | |
|-----|---|
| (A) | SAWCUT EXISTING PAVEMENT |
| (B) | REMOVE EXISTING ASPHALT |
| (C) | REMOVE EXISTING CONCRETE |
| (D) | REMOVE EXISTING GRAVEL |
| (E) | CLEARING AND GRUBBING |
| (F) | PROTECT EXISTING WETLAND |
| (G) | WETLAND IMPACT |
| (H) | REMOVE EXISTING BUILDING / STRUCTURE |
| (I) | PROTECT EXISTING FENCE |
| (J) | REMOVE EXISTING FENCE |
| (K) | REMOVE EXISTING FLAG POLE |
| (L) | REMOVE EXISTING RETAINING WALL |
| (M) | PROTECT EXISTING SIGN |
| (N) | REMOVE EXISTING SIGN |
| (O) | EXISTING CARTWAY EASEMENT TO BE VACATED |
| (P) | PROTECT EXISTING HV EASEMENT |
| (Q) | PROTECT EXISTING VEGETATION |
| (R) | PROTECT EXISTING POWER LINE |
| (S) | PROTECT EXISTING UTILITY POLE & GUY WIRES |
| (T) | REMOVE EXISTING WATER LINE / HYDRANT / VALVE |
| (U) | REMOVE EXISTING SANITARY SEWER LINE / STRUCTURE |
| (V) | PROTECT EXISTING STORMWATER LINE / STRUCTURE |
| (W) | REMOVE EXISTING STORMWATER LINE / STRUCTURE |
| (X) | REMOVE EXISTING NATURAL GAS LINE / STRUCTURE |
| (Y) | REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT |



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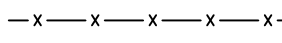
SHEET NUMBER	C200.15
HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	MINNESOTA
SITE DEMOLITION PLAN	
KHA PROJECT 161333002	
DATE 08/15/2025	
SCALE AS SHOWN	
DESIGNED BY JDS	
DRAWN BY KLSJC	
CHECKED BY BMW	
HERMANTOWN	
Kimley»»Horn	
2025 KIMLEY-HORN AND ASSOCIATES, INC. 11985 SINGLETREE LANE, SUITE 225; EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	
No.	REVISIONS
DATE	BY

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CAUTION! PROPOSED CONSTRUCTION ACTIVITIES ARE LOCATED IN THE VICINITY OF EXISTING MEDIUM AND HIGH VOLTAGE OVERHEAD POWER LINES. EXTREME CAUTION SHALL BE EXERCISED DURING ALL PHASES OF WORK IN THESE AREAS. COORDINATE WITH UTILITY OWNER.

LEGEND

	PROPERTY LINE
	SETBACK LINE
	DRAINAGE AND UTILITY EASEMENT
	PROPOSED SECURITY FENCE
	PROPOSED RETAINING WALL
	PROPOSED CURB AND GUTTER
	WETLAND PRESERVATION
	STORM WATER MANAGEMENT SEE GRADING PLAN FOR DETAILS

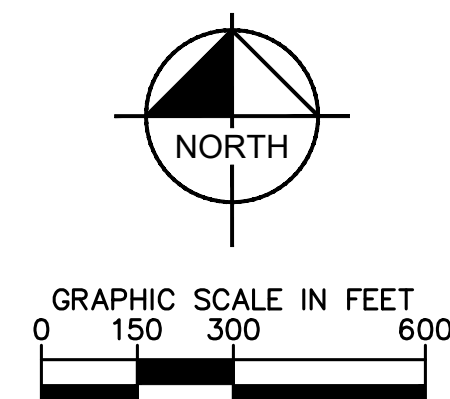
SITE PLAN NOTES

1. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
2. REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
3. DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
4. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
5. TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0-Feet IN WIDTH AND 20-Feet IN LENGTH UNLESS OTHERWISE INDICATED.
6. MONUMENT SIGNS ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.

PROPERTY SUMMARY	
TOTAL PROPERTY AREA	234 ± AC
WETLANDS IN PROPERTY	52 ± AC
SITE DATA	
EXISTING ZONING	S-1, BLM
PROPOSED ZONING	BLM
PROPOSED LAND USE	COMMUNICATION FACILITY
BUILDING SETBACKS	FRONT = 20' SIDE = 20' REAR = 20' SIDE/REAR ADJACENT TO RESIDENTIAL = 50'

DRAINAGE SUMMARY	
TOTAL DRAINAGE AREA	185.8 ± AC
PROPOSED IMPERVIOUS AREA	111.2 ± AC
PROPOSED PERVIOUS AREA	74.6 ± AC

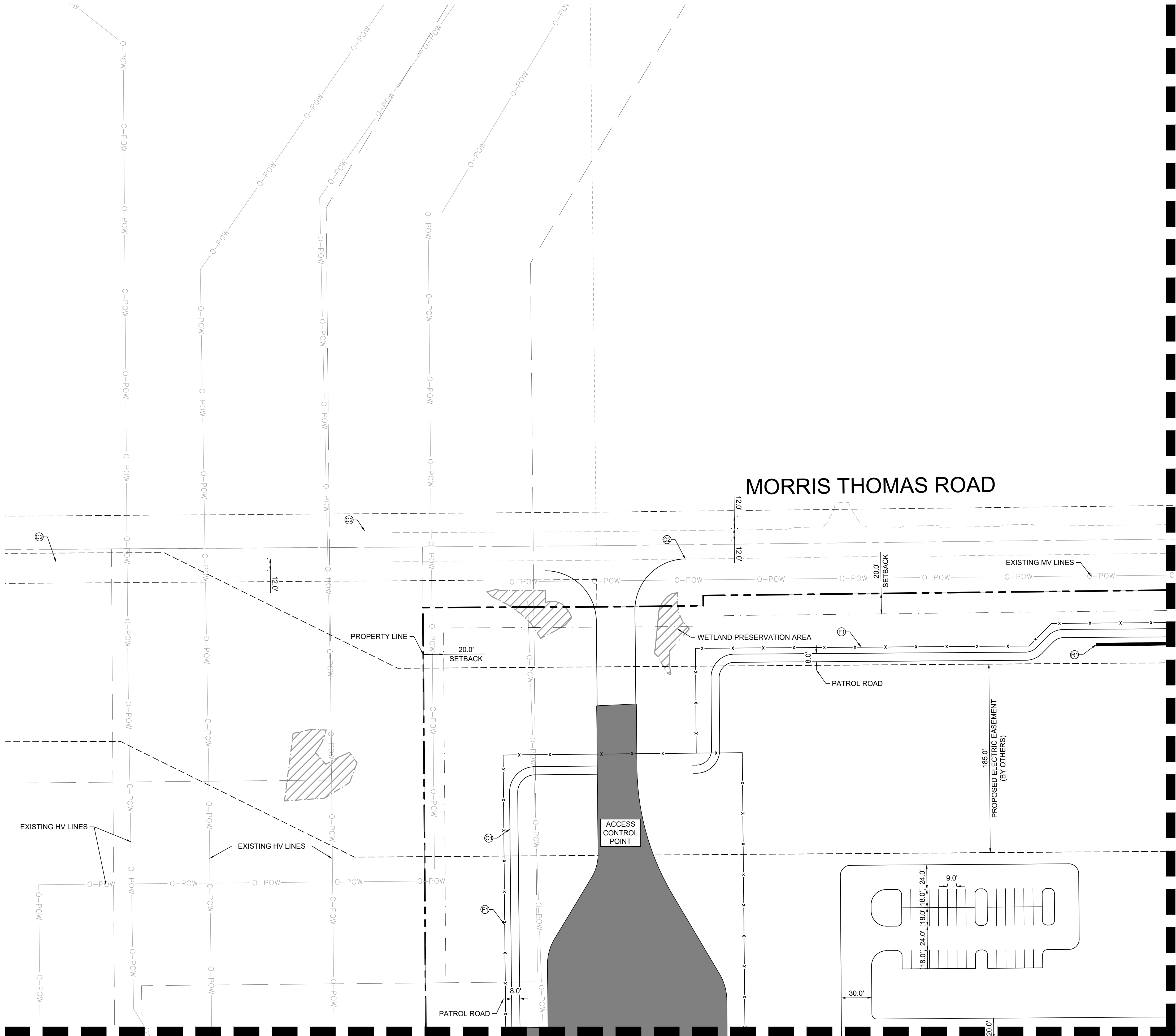
PARKING SUMMARY			
REQUIRED PARKING - OFFICE 1 SPACE PER 250 SQ. FT. OF FLOOR SPACE	1,200 SPACES	PROVIDED PARKING - OFFICE	250 SPACES
REQUIRED PARKING - WAREHOUSE THE LESSER OF 1 SPACE PER 1,500 SQ. FT. OF FLOOR SPACE, OR 1 FOR EACH EMPLOYEE ON THE MAXIMUM WORKING SHIFT	350 SPACES	PROVIDED PARKING - WAREHOUSE	330 SPACES
REQUIRED PARKING (OFFICE) - ACCESSIBLE	20 SPACES	PROVIDED PARKING (OFFICE) - ACCESSIBLE	15 SPACES
REQUIRED PARKING (WAREHOUSE) - ACCESSIBLE	10 SPACES	PROVIDED PARKING (WAREHOUSE) - ACCESSIBLE	25 SPACES
TOTAL REQUIRED PARKING	1,580 SPACES	TOTAL PROVIDED PARKING	620 SPACES



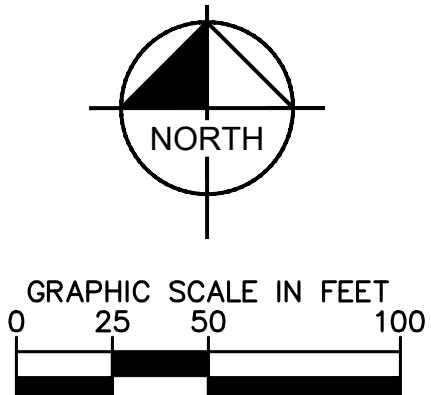
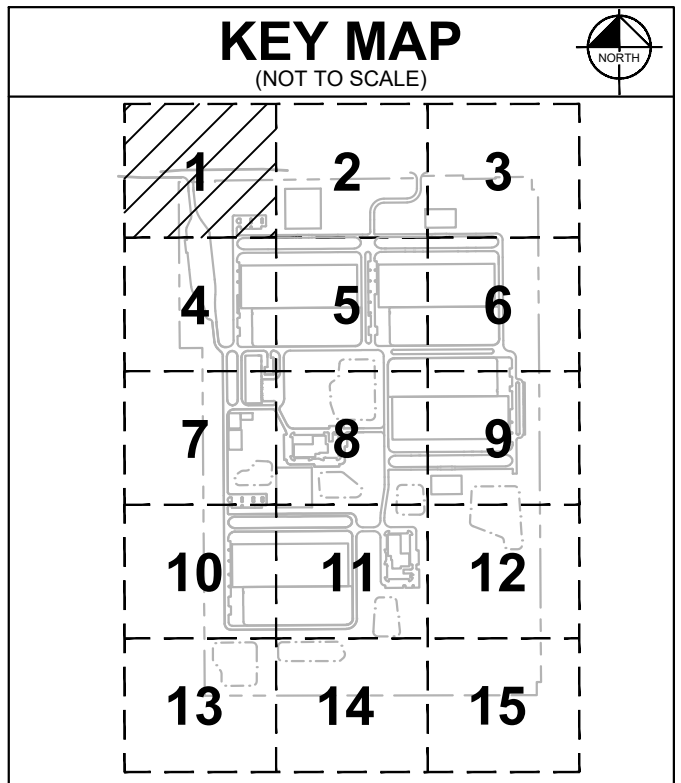
Know what's **below**.
Call before you dig.

SHEET NUMBER		C400.0	
HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC HERMANTOWN MINNESOTA		OVERALL SITE PLAN	
KHA PROJECT 161333002		 Kimley-Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 1995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM	
DATE 08/15/2025			
SCALE AS SHOWN			
DESIGNED BY JDS			
DRAWN BY KLSC			
CHECKED BY BMW		No.	
REVISIONS		DATE	
BY			

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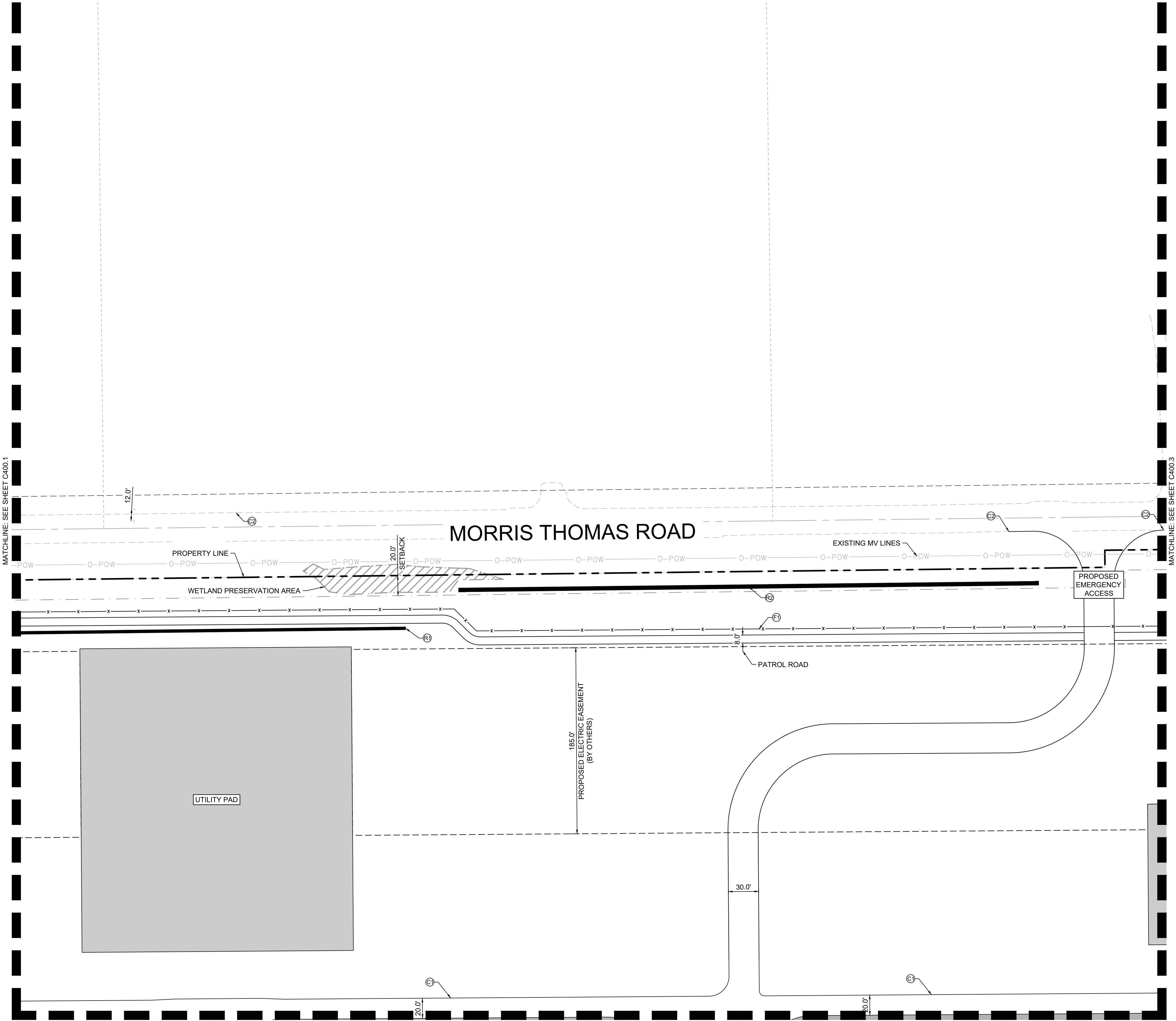


- SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND**
- KEYNOTE LEGEND**
- CURB, SIDEWALK & PAVEMENT
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL



HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC HERMANTOWNMINNESOTASHEET NUMBER C400.1		SITE DIMENSION PLAN		KHA PROJECT 161333002		Kimley»»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM					
				DATE 08/15/2025							
				SCALE AS SHOWN							
				DESIGNED BY JDS							
				DRAWN BY KLSC							
CHECKED BY BMW				No.		REVISIONS		DATE		BY	

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SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

CURB, SIDEWALK & PAVEMENT

- (C1) CONCRETE CURB & GUTTER
- (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER

SITE FIXTURES

- (F1) SECURITY FENCE

PAVEMENT MARKINGS

- (P1) ACCESSIBLE PARKING AREA

REFERENCE NOTES

- (R1) RETAINING WALL - REFER TO GRADING PLAN
- (R2) SCREENING WALL

KEY MAP
(NOT TO SCALE)

GRAPHIC SCALE IN FEET
0 25 50 100

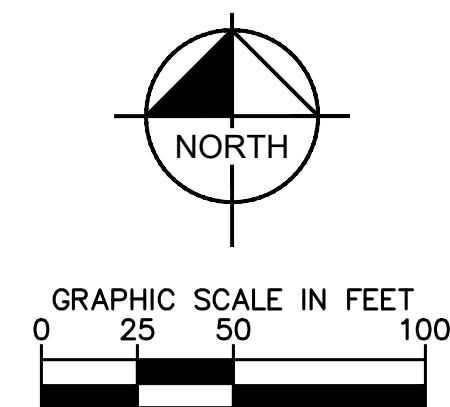
811
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	SHEET NUMBER C400.2	Kimley»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	REVISIONS		DATE	BY
			No.			
KHA PROJECT 161333002		DATE 08/15/2025		SCALE AS SHOWN		MINNESOTA
DESIGNED BY JDS		DRAWN BY KLSC		CHECKED BY BMW		
SIGNED BY		SIGNED BY		SIGNED BY		
SIGNED BY		SIGNED BY		SIGNED BY		

MATCHLINE: SEE SHEET C400.2

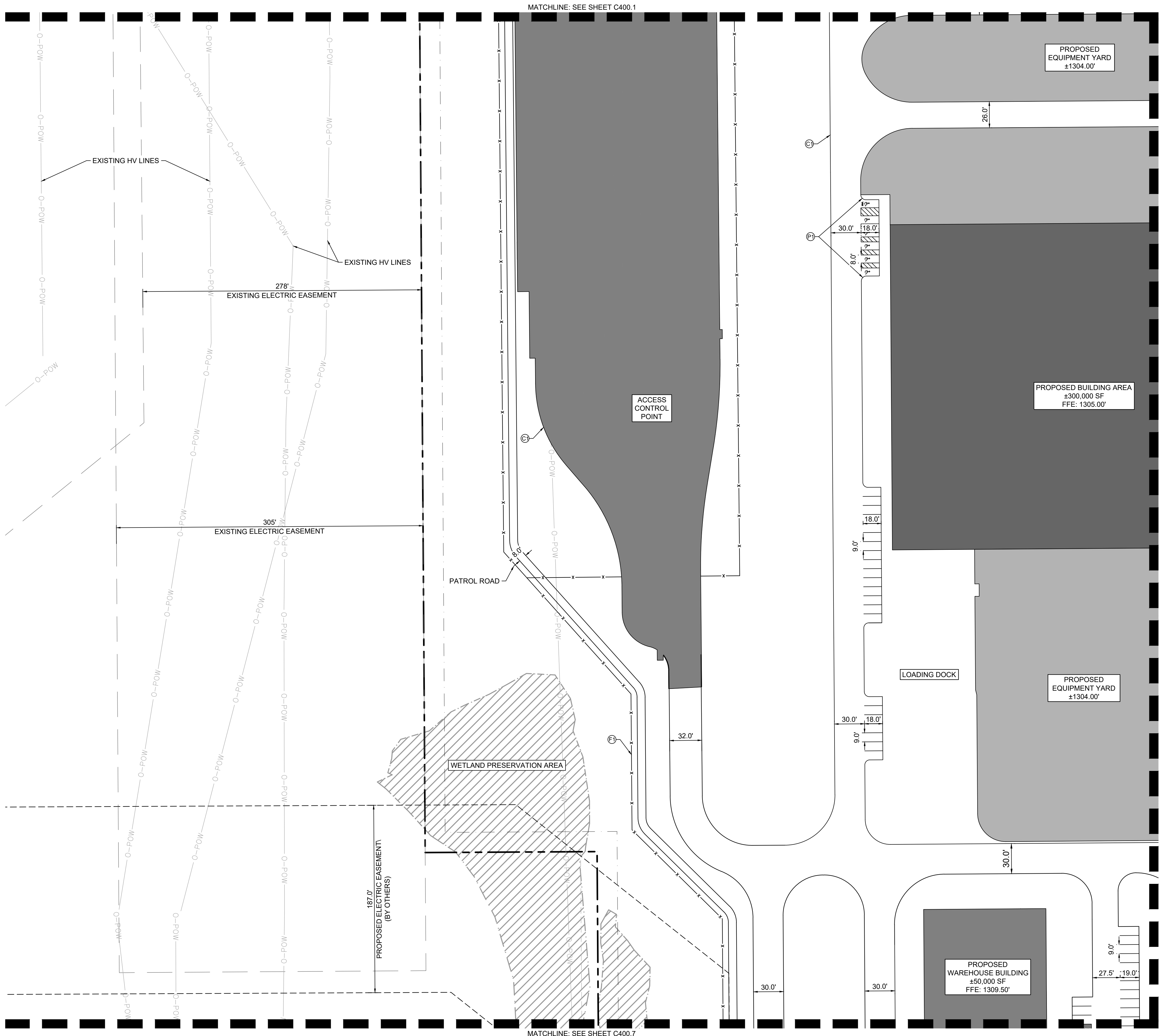


(R2) SCREENING WALL

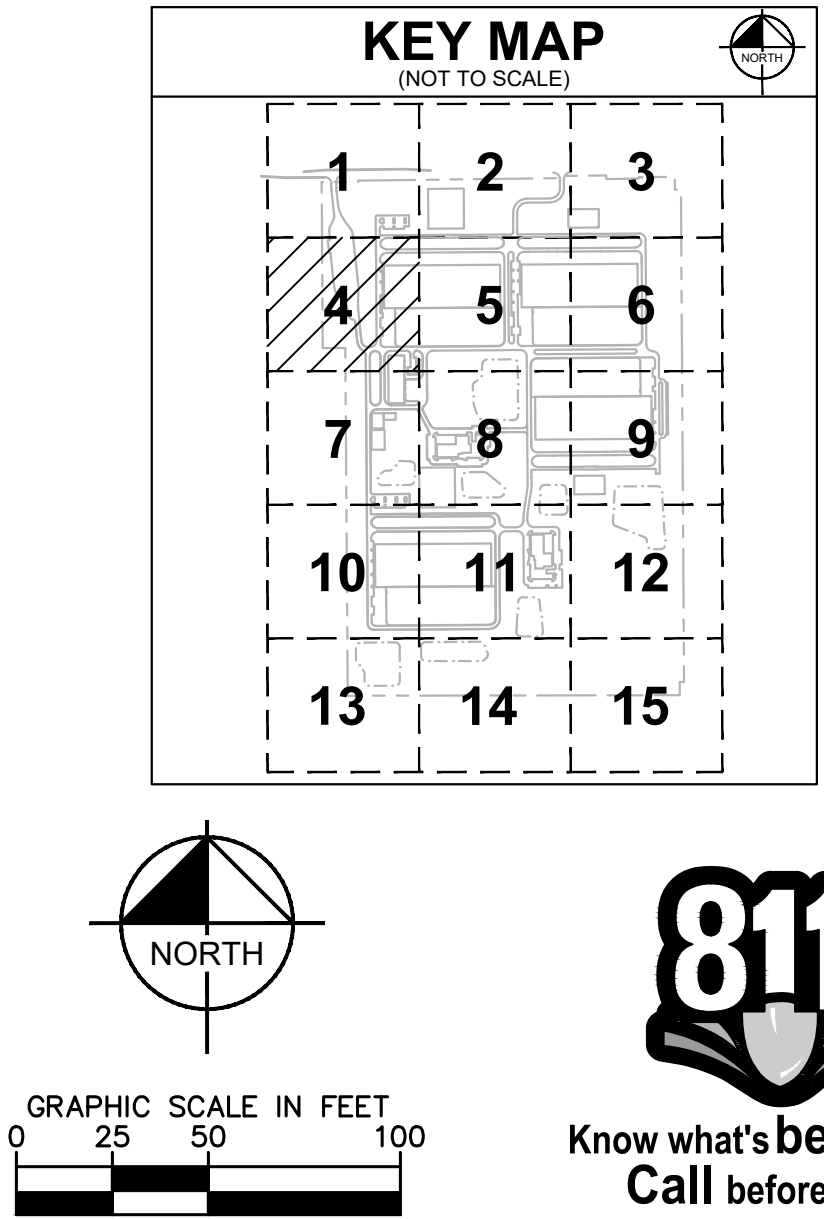


SHEET NUMBER
C400.3

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- SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND**
- KEYNOTE LEGEND**
- CURB, SIDEWALK & PAVEMENT
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL

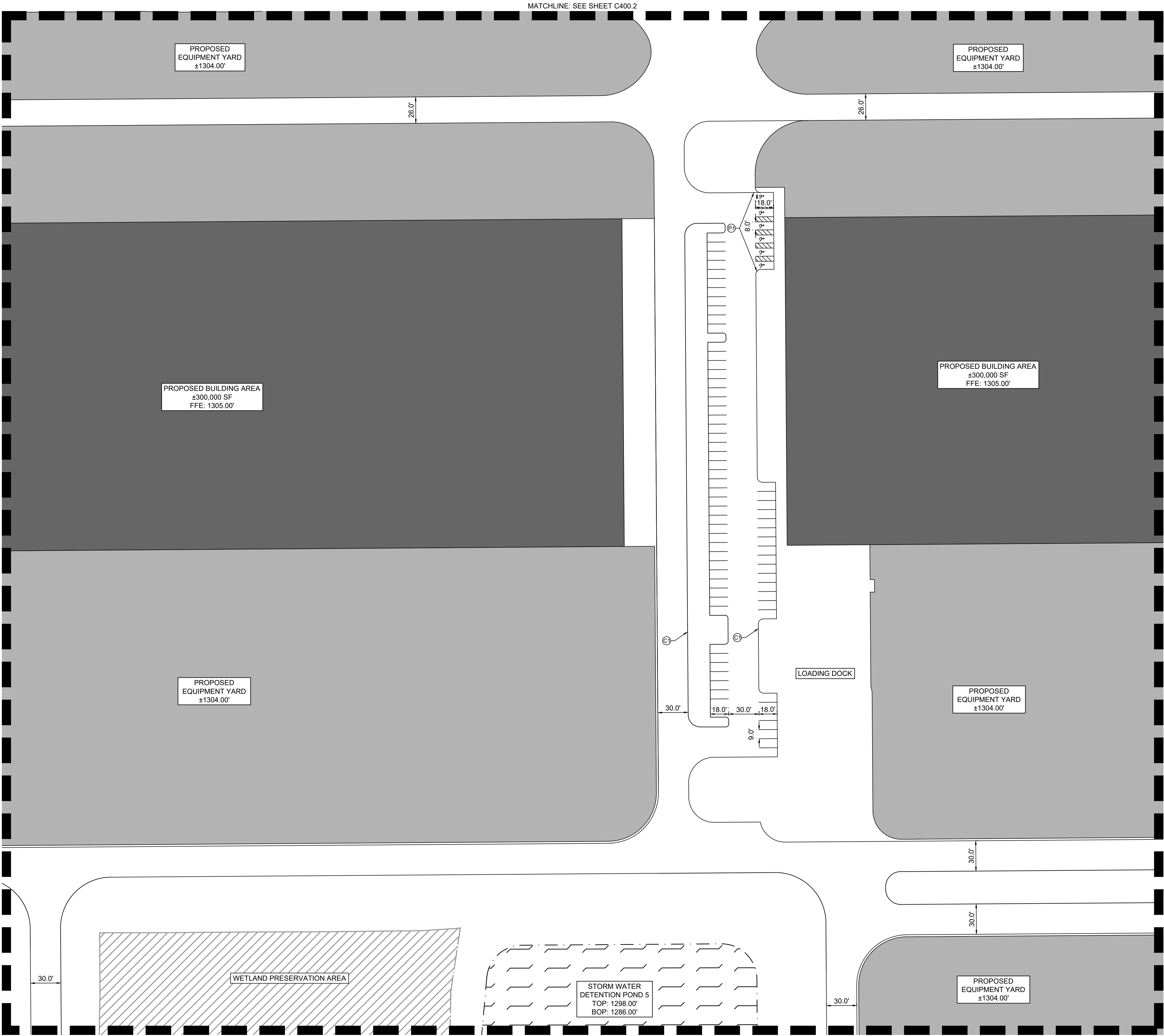


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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		MINNESOTA	
SHEET NUMBER		C400.4	
KHA PROJECT 161333002		DATE 08/15/2025	
SCALE AS SHOWN		DESIGNED BY JDS	
DRAWN BY		KLSC	
CHECKED BY		BMW	
SITE DIMENSION PLAN		Kimley»Horn	
		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	
		No.	
		REVISIONS	
		DATE	
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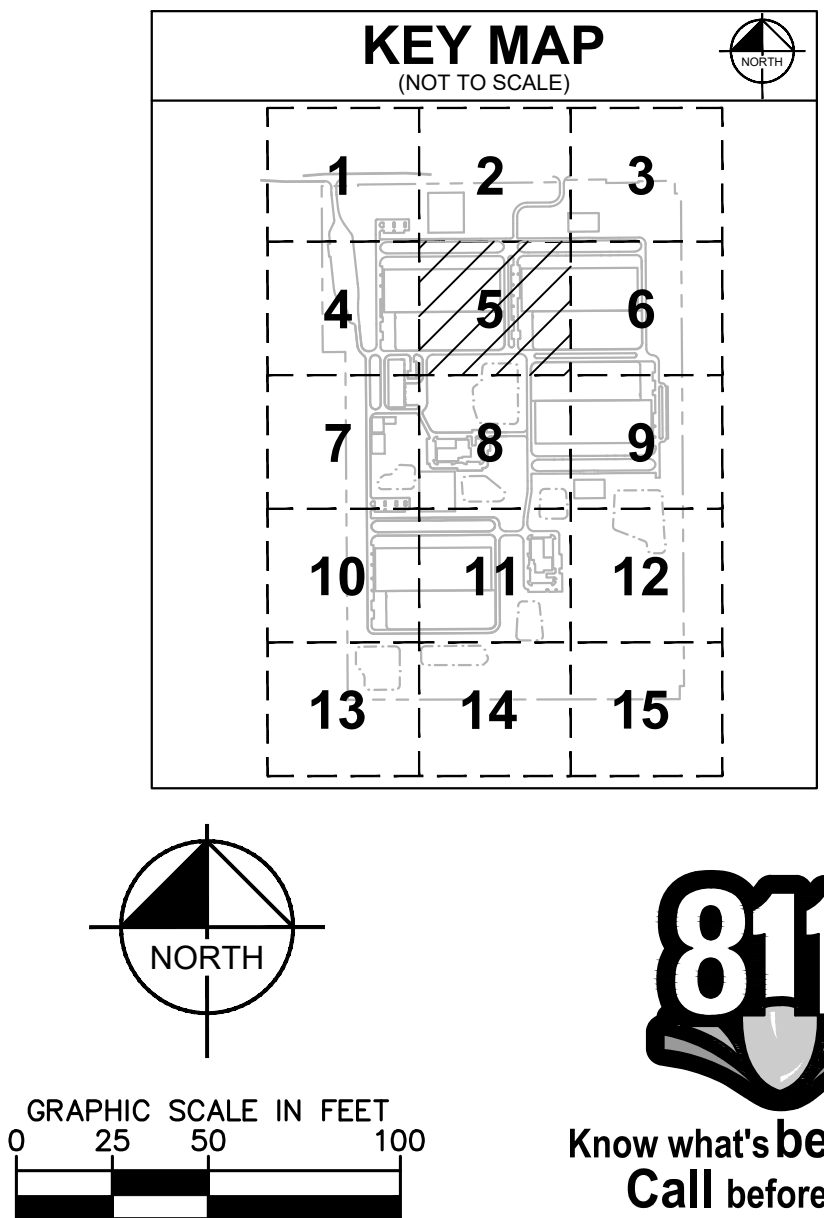
MATCHLINE: SEE SHEET C400.4



SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

- CURB, SIDEWALK & PAVEMENT
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL

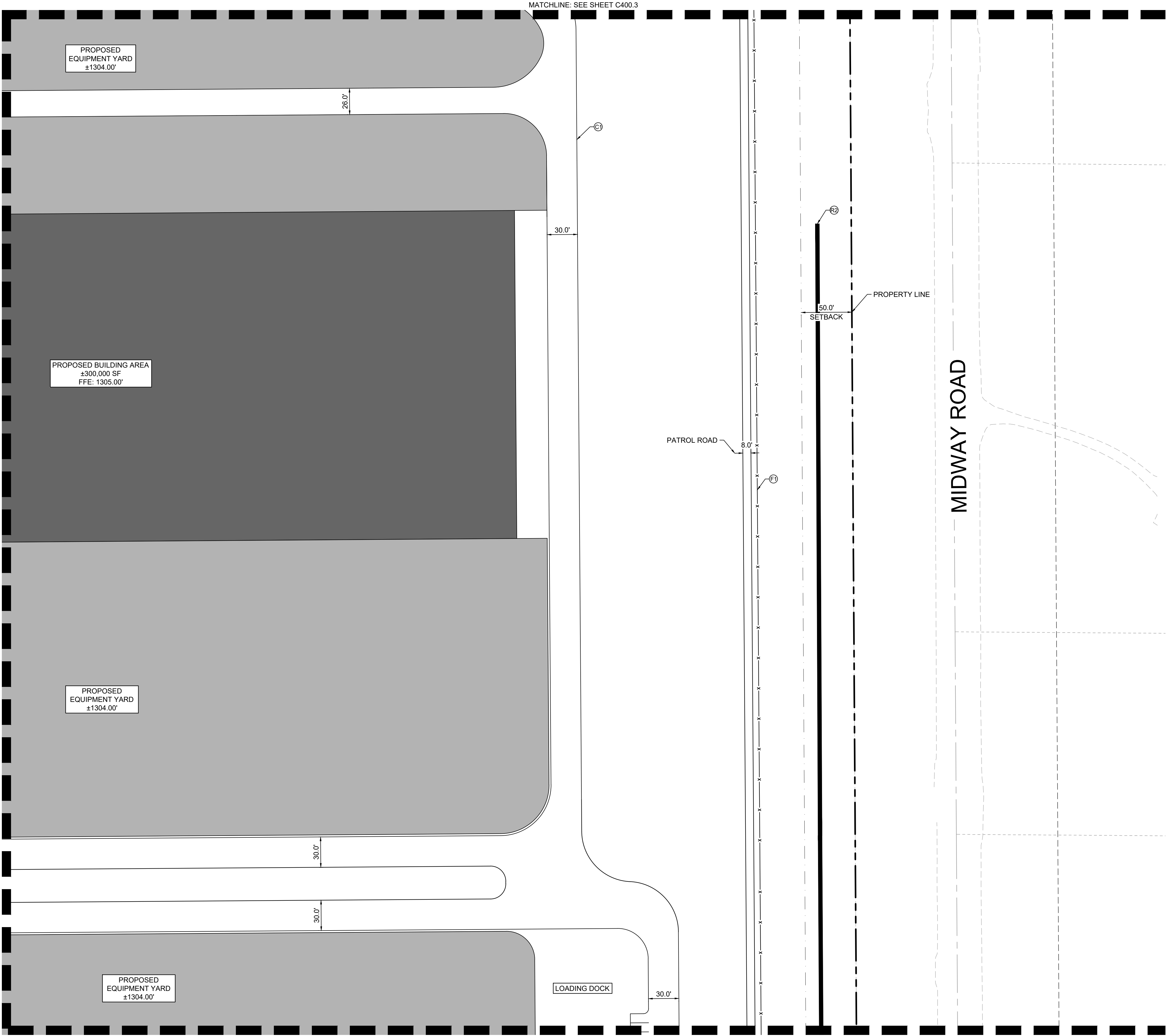


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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	MINNESOTA	SHEET NUMBER C400.5	REVISIONS		DATE	BY
			No.			
			© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM			
KHA PROJECT 161333002			DATE 08/15/2025	SCALE AS SHOWN	DESIGNED BY JDS	CHECKED BY KLSC
						BMW

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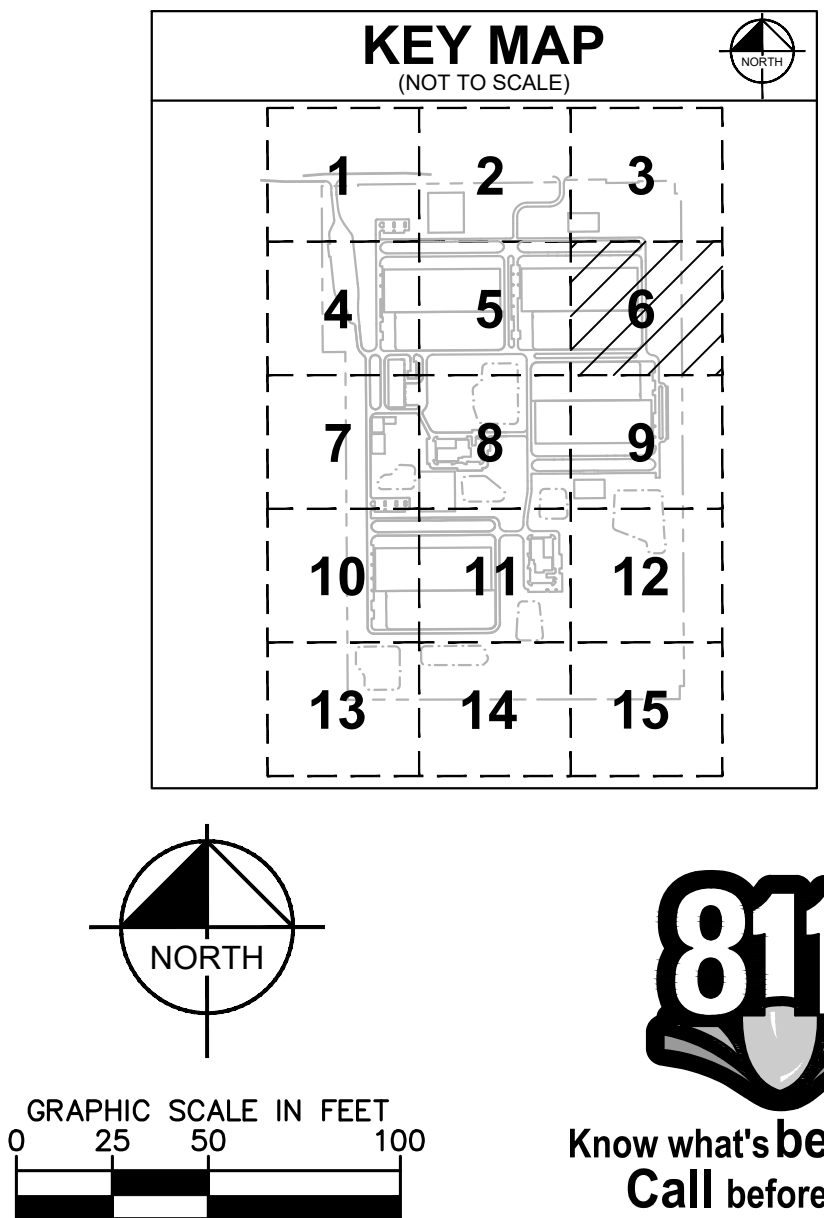
MATCHLINE: SEE SHEET C400.5



SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

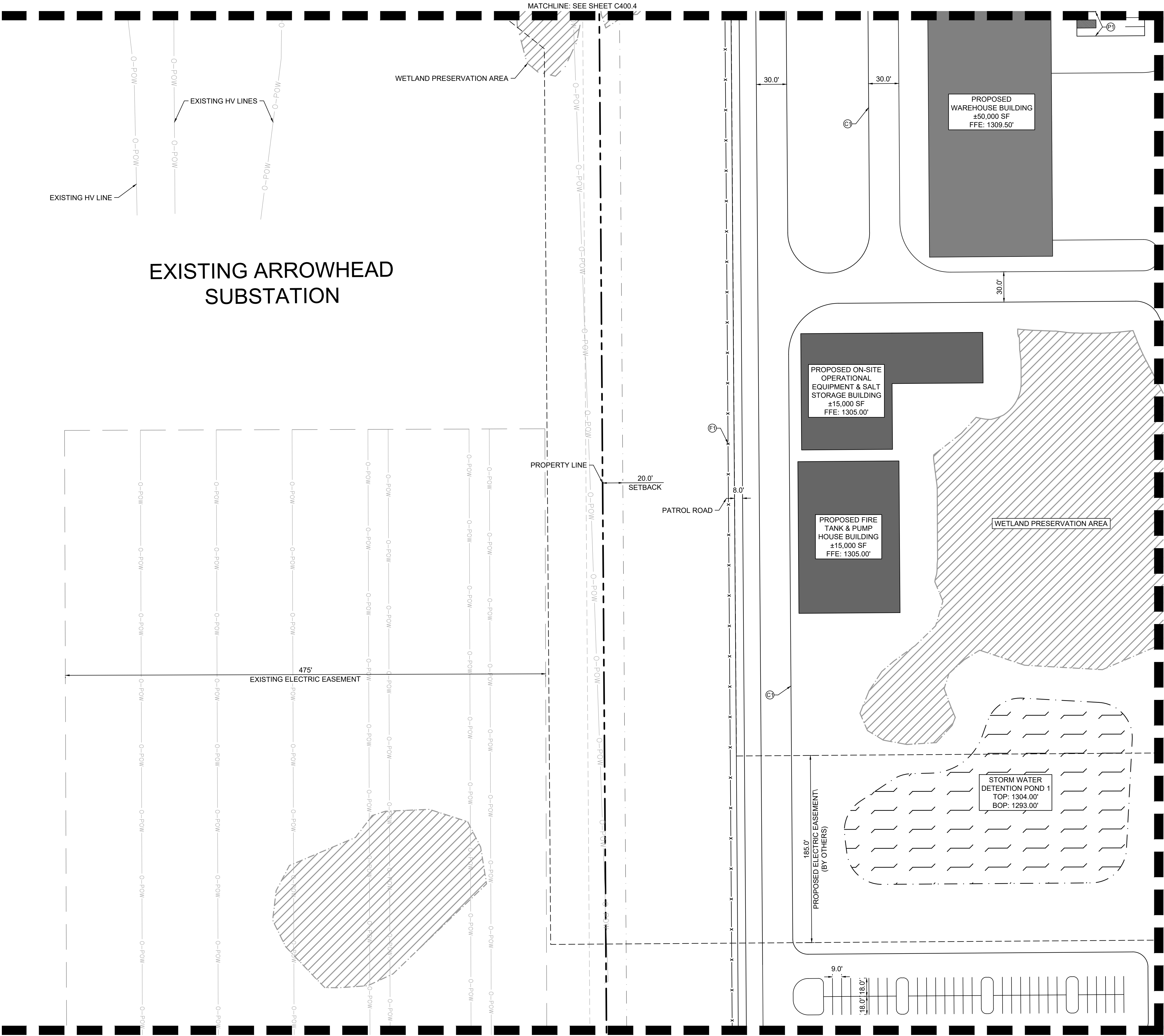
- CURB, SIDEWALK & PAVEMENT
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL



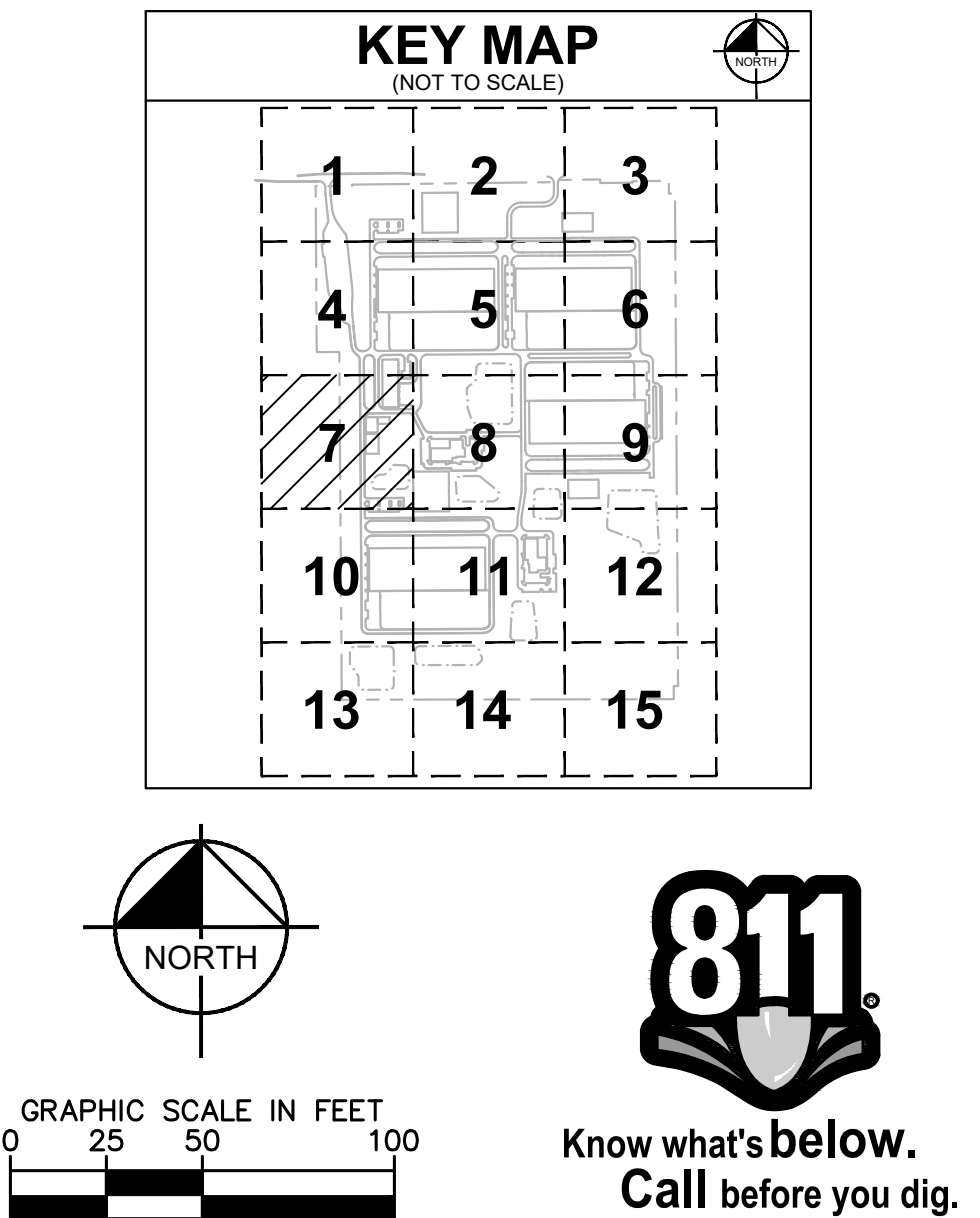
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	SHEET NUMBER C400.6	HERMANTOWN MINNESOTA		REVISIONS		DATE	BY	
SITE DIMENSION PLAN		KHA PROJECT 161333002	DATE 08/15/2025	SCALE AS SHOWN	DESIGNED BY JDS	DRAWN BY KLSC	CHECKED BY BMW	
		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM						

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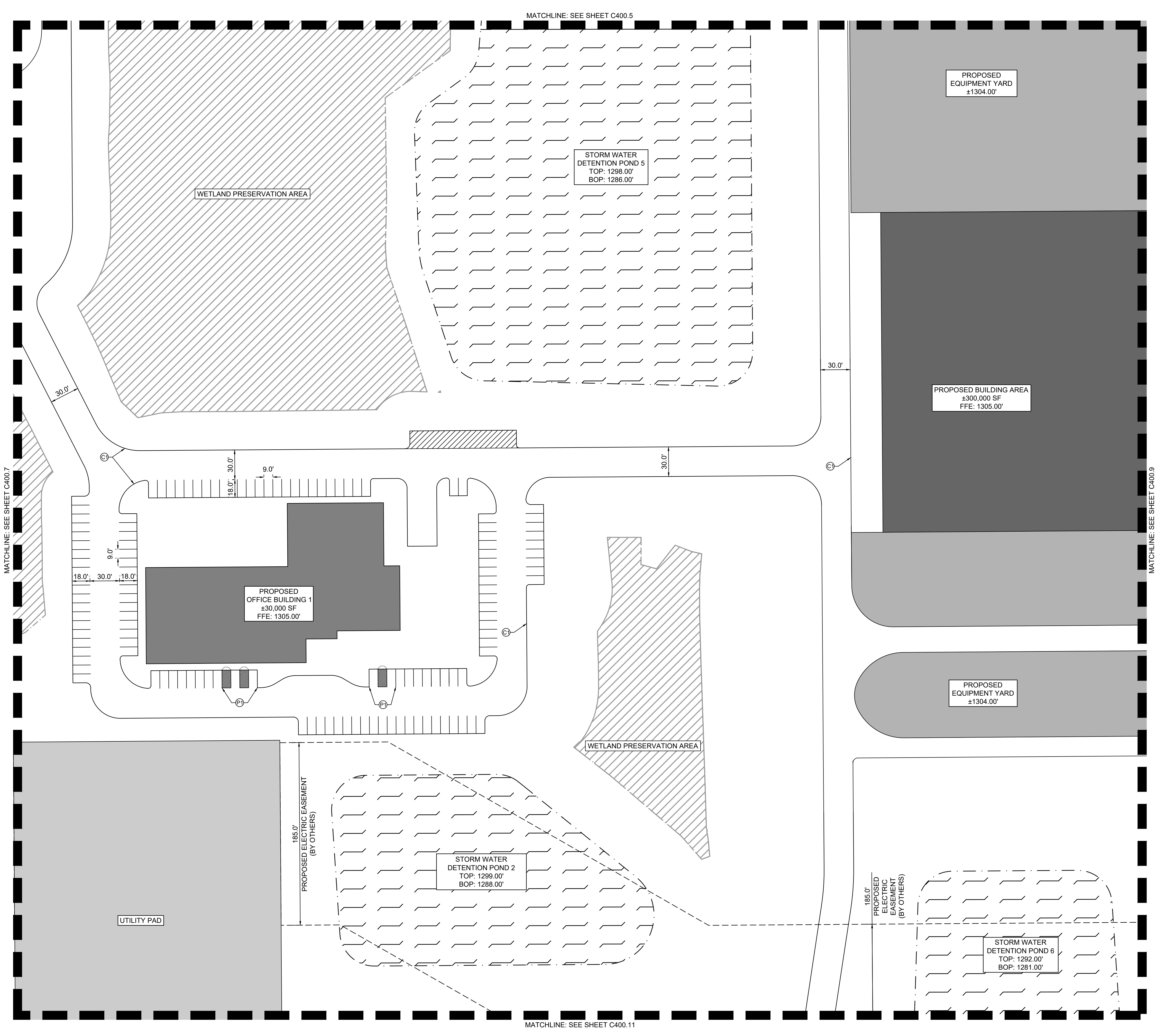


- SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND
- KEYNOTE LEGEND**
- CURB, SIDEWALK & PAVEMENT
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL

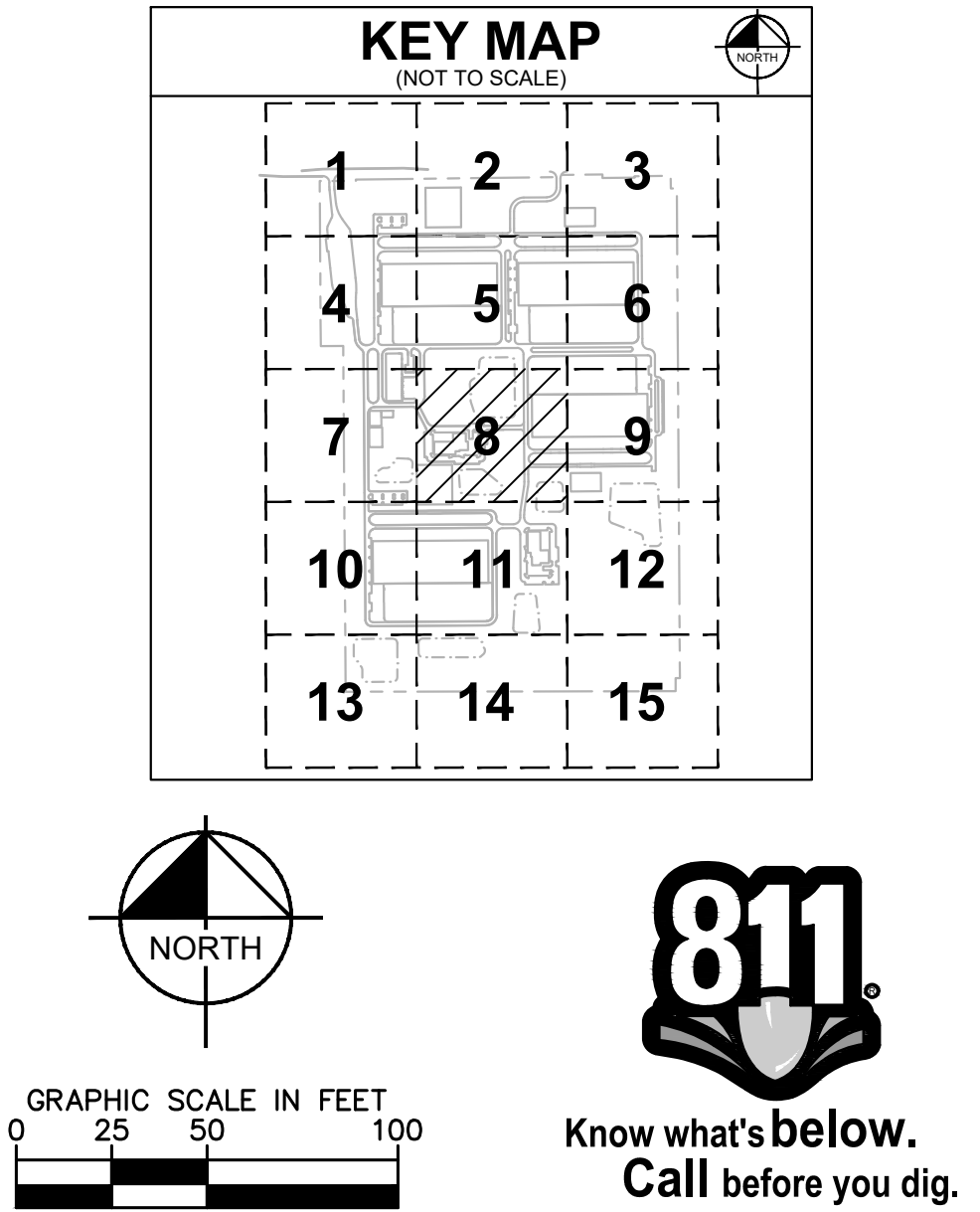


HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		SHEET NUMBER C400.7		HERMANTOWN MINNESOTA		KHA PROJECT 161333002		Kimley»Horn													
						DATE 08/15/2025															
						SCALE AS SHOWN															
						DESIGNED BY JDS															
						DRAWN BY KLSC															
						CHECKED BY BMW															

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- SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND**
- KEYNOTE LEGEND**
- CURB, SIDEWALK & PAVEMENT**
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES**
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS**
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES**
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL



HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		MINNESOTA		SHEET NUMBER C400.8		KHA PROJECT 161333002		DATE 08/15/2025		SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW		KIMLEY HORN © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM		No.		REVISIONS		DATE		BY	
												Kimley»»Horn									

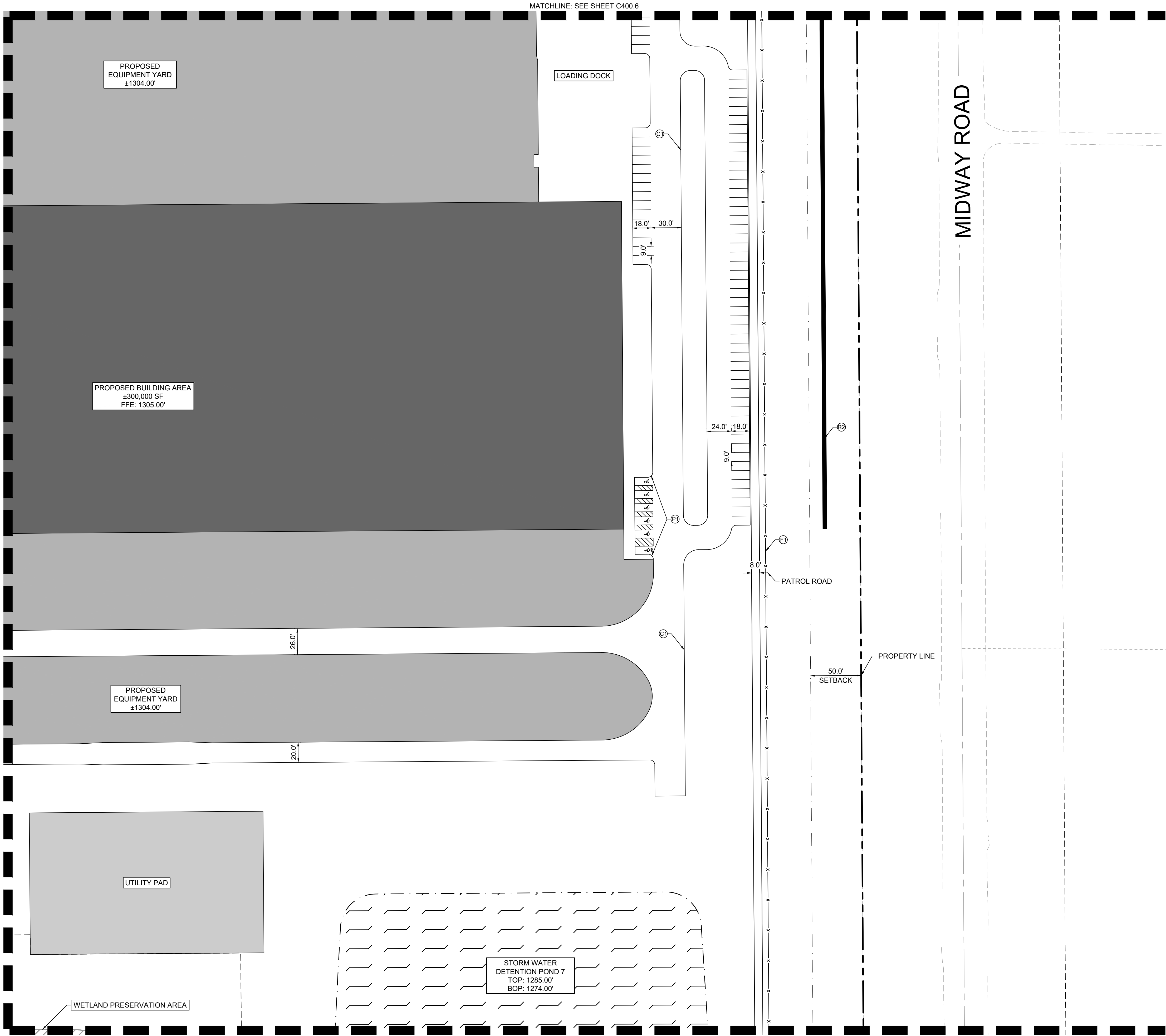
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PHONE: 612-315-1272
WWW.KIMLEY-HORN.COM

**SITE DIMENSION
PLAN**

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MATCHLINE: SEE SHEET C400.8



MATCHLINE: SEE SHEET C400.6

MATCHLINE: SEE SHEET C400.12

SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

CURB, SIDEWALK & PAVEMENT

- (C1) CONCRETE CURB & GUTTER
- (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER

SITE FIXTURES

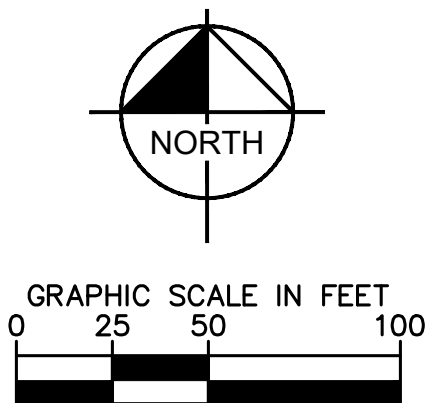
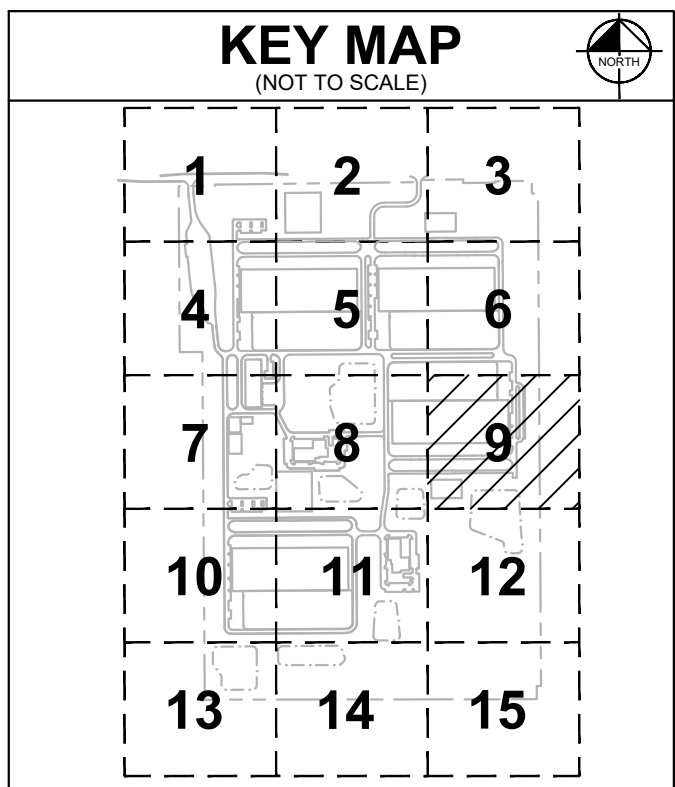
- (F1) SECURITY FENCE

PAVEMENT MARKINGS

- (P1) ACCESSIBLE PARKING AREA

REFERENCE NOTES

- (R1) RETAINING WALL - REFER TO GRADING PLAN
- (R2) SCREENING WALL



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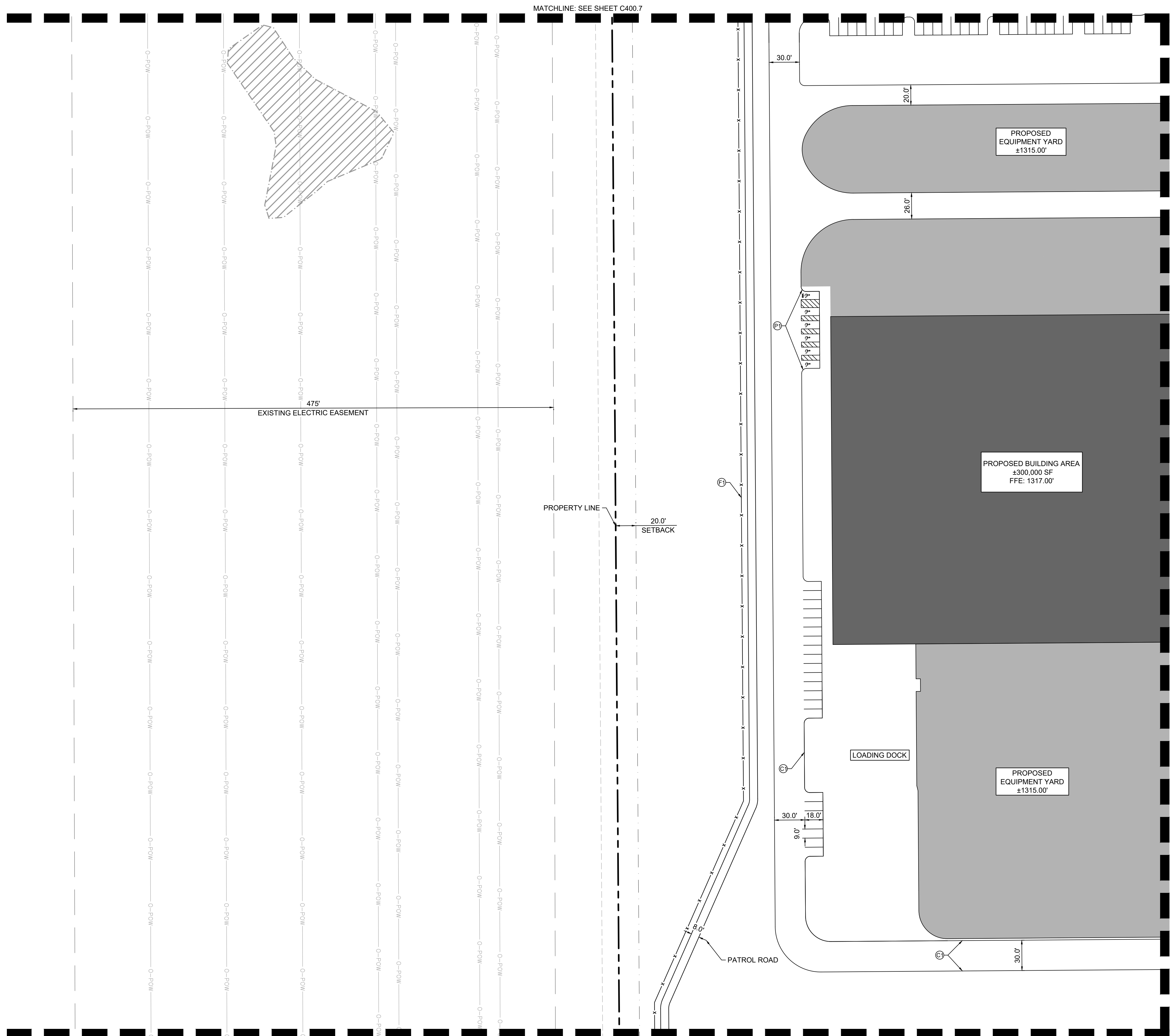
KHA PROJECT 161333002	DATE 08/15/2025	SCALE AS SHOWN	DESIGNED BY JDS	DRAWN BY KLSC	CHECKED BY BMW
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SITE DIMENSION PLAN

HERMANTOWN INDUSTRIAL
PREPARED FOR
HARMONY GROUP LLC
MINNESOTA

SHEET NUMBER
C400.9

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SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

CURB, SIDEWALK & PAVEMENT

- (C1) CONCRETE CURB & GUTTER
- (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER

SITE FIXTURES

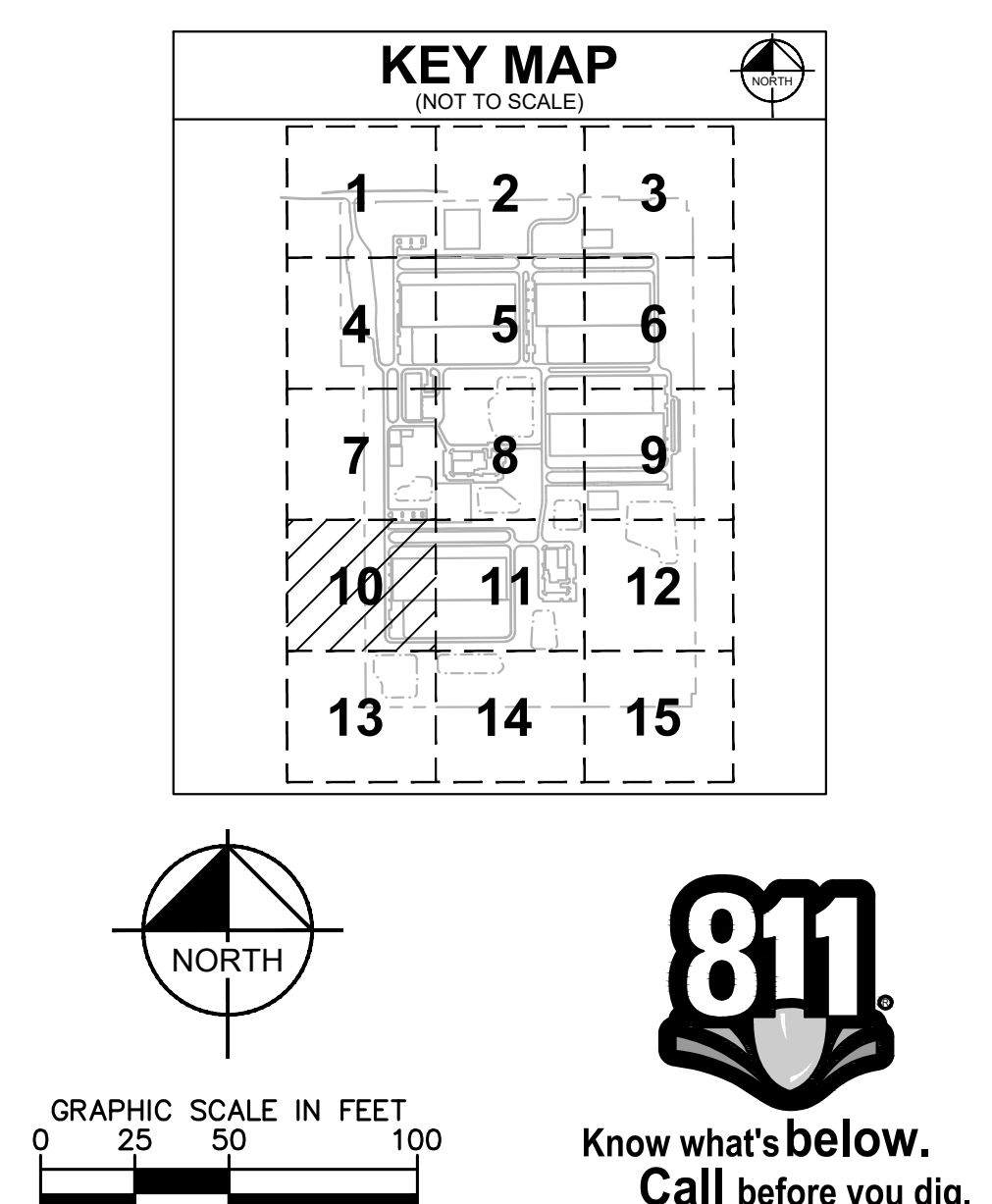
- (F1) SECURITY FENCE

PAVEMENT MARKINGS

- (P1) ACCESSIBLE PARKING AREA

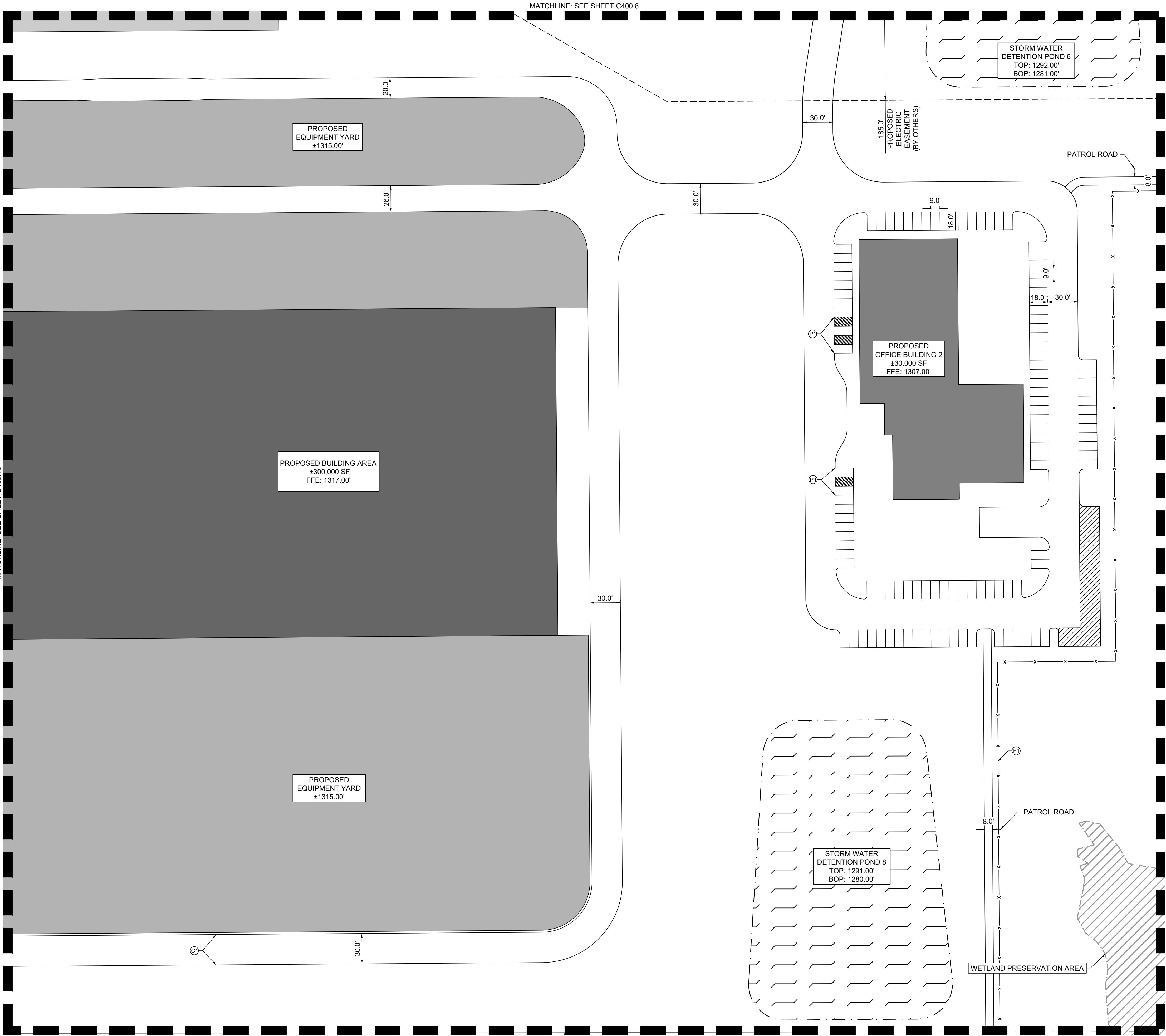
REFERENCE NOTES

- (R1) RETAINING WALL - REFER TO GRADING PLAN
- (R2) SCREENING WALL

[illegible]

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MATCHLINE: SEE SHEET C400.10



SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

CURB, SIDEWALK & PAVEMENT

- (C1) CONCRETE CURB & GUTTER
- (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER

SITE FIXTURES

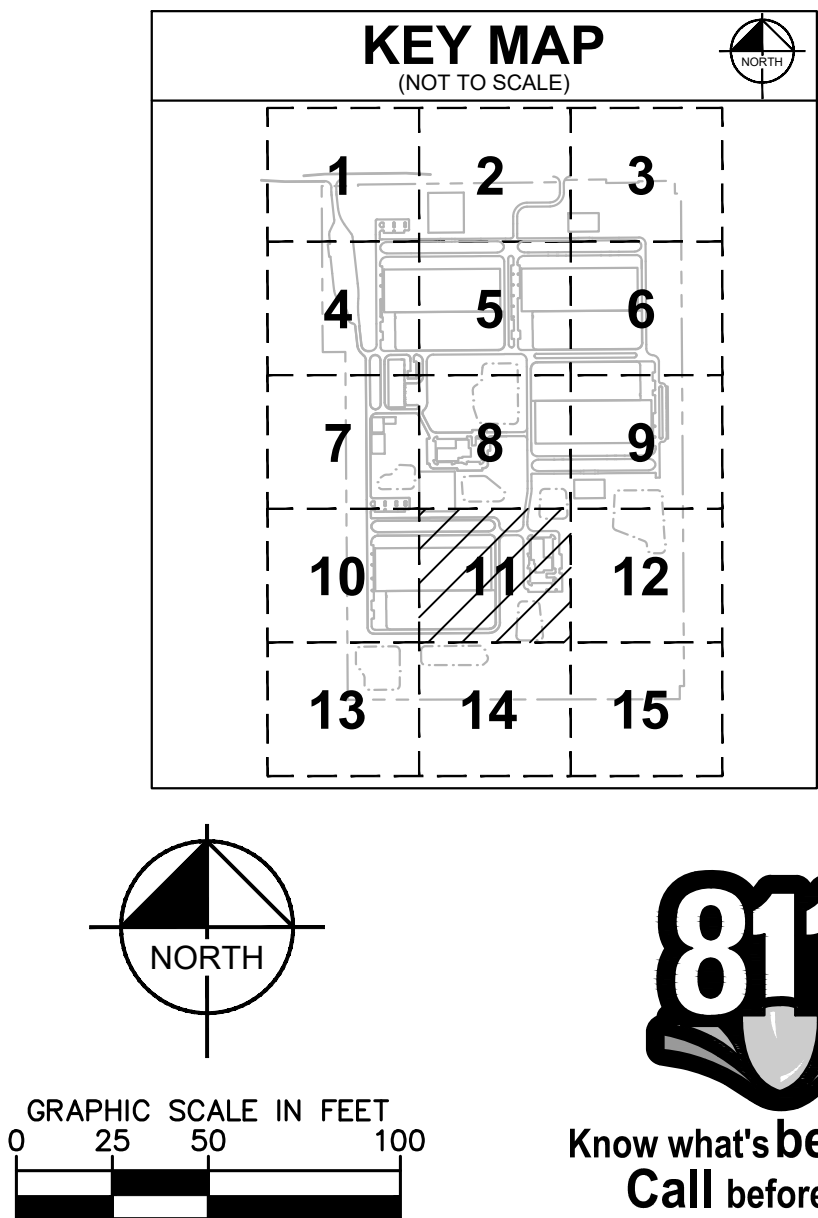
- (F1) SECURITY FENCE

PAVEMENT MARKINGS

- (P1) ACCESSIBLE PARKING AREA

REFERENCE NOTES

- (R1) RETAINING WALL - REFER TO GRADING PLAN
- (R2) SCREENING WALL

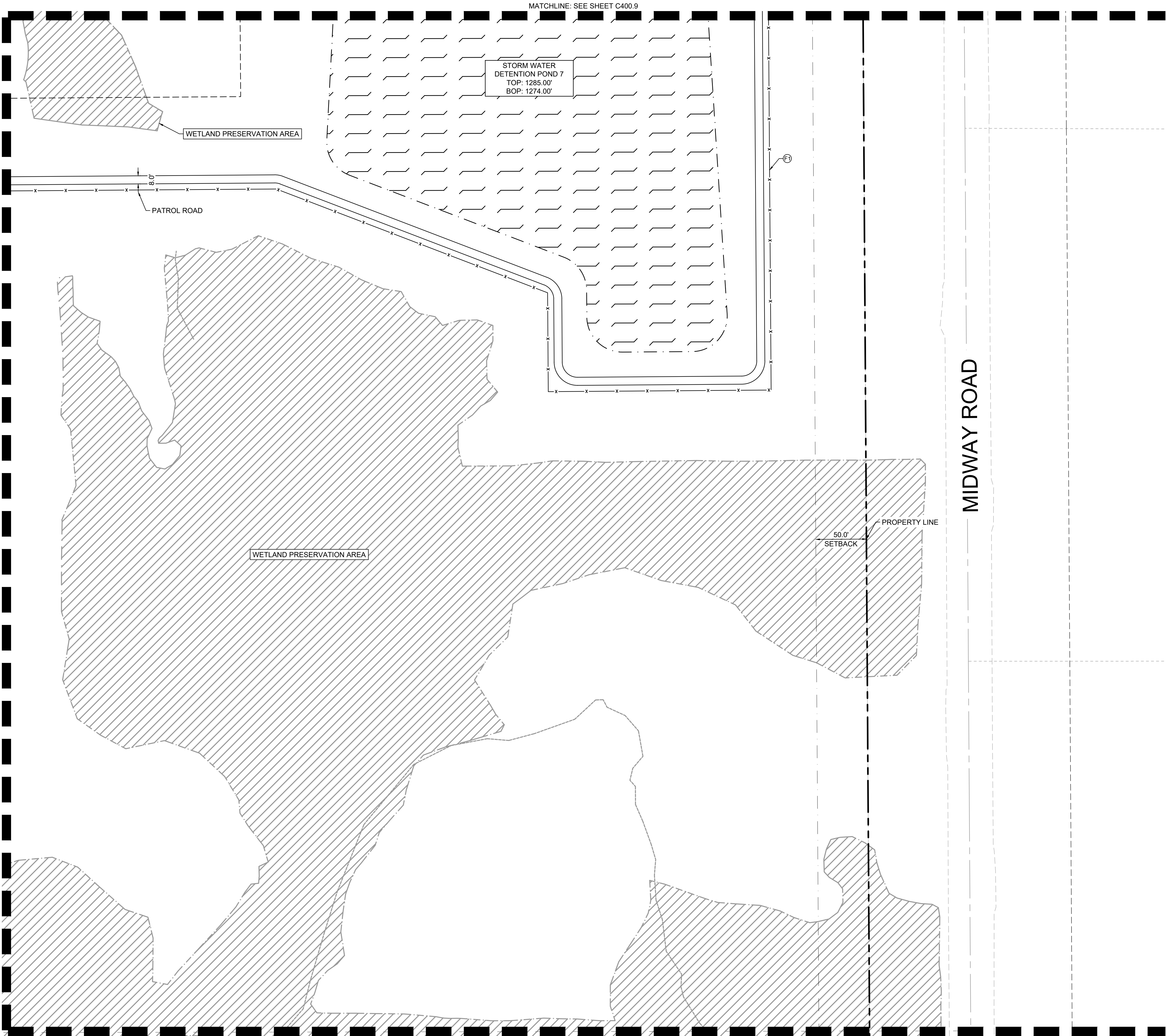


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SHEET NUMBER		HERMANTOWN MINNESOTA		HERMANTOWN	
C400.11		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		HERMANTOWN	
KHA PROJECT 161333002		DATE 08/15/2025		SCALE AS SHOWN	
				DESIGNED BY JDS	
				DRAWN BY KLSC	
				CHECKED BY BMW	
HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		SITE DIMENSION PLAN		Kimley»Horn	
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MATCHLINE: SEE SHEET C400.11



SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

CURB, SIDEWALK & PAVEMENT

- (C1) CONCRETE CURB & GUTTER
- (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER

SITE FIXTURES

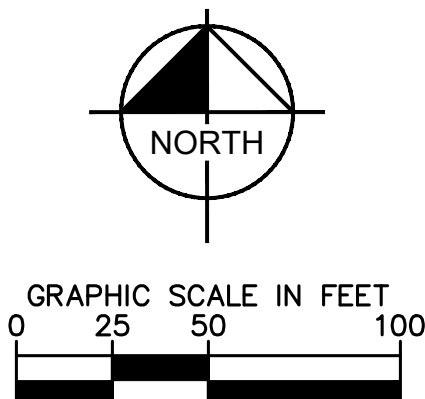
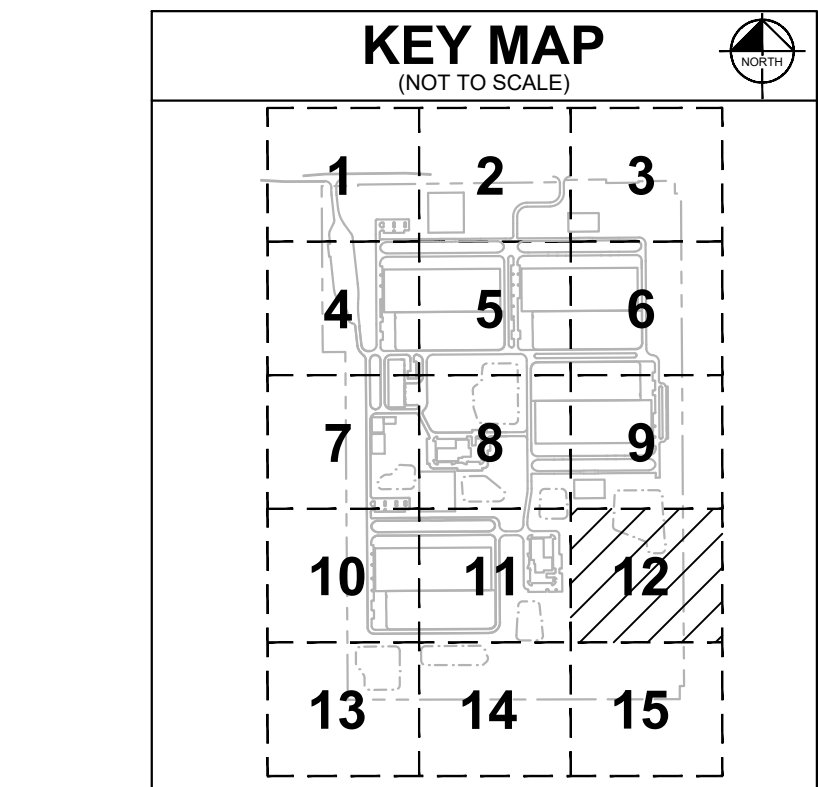
- (F1) SECURITY FENCE

PAVEMENT MARKINGS

- (P1) ACCESSIBLE PARKING AREA

REFERENCE NOTES

- (R1) RETAINING WALL - REFER TO GRADING PLAN
- (R2) SCREENING WALL



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KHA PROJECT 161333002	DATE 08/15/2025	SCALE AS SHOWN	DESIGNED BY JDS	DRAWN BY KLSC	CHECKED BY BMW
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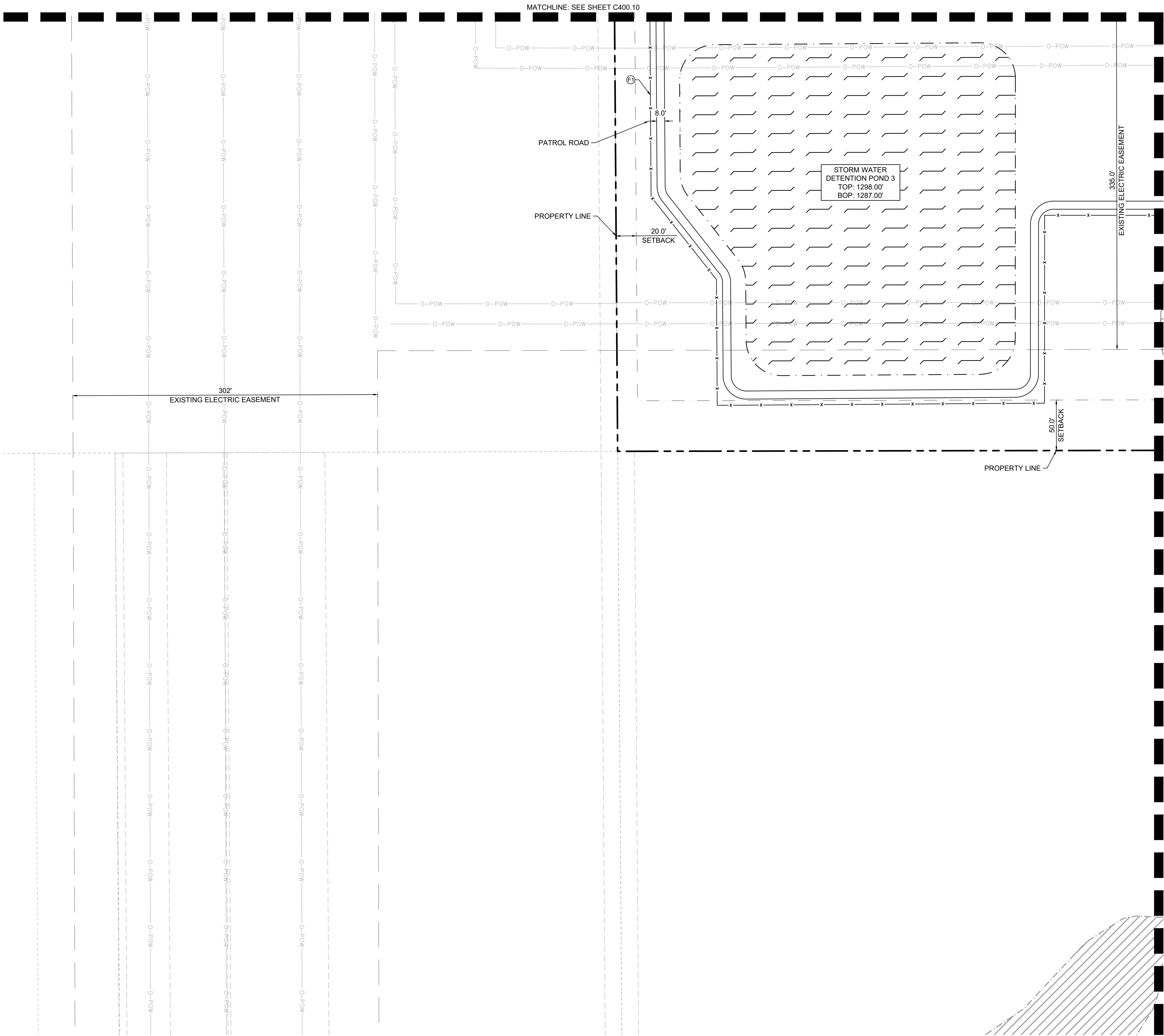
SITE DIMENSION
PLAN

HERMANTOWN
INDUSTRIAL
PREPARED FOR
HARMONY GROUP
LLC

HERMANTOWN MINNESOTA

SHEET NUMBER
C400.12

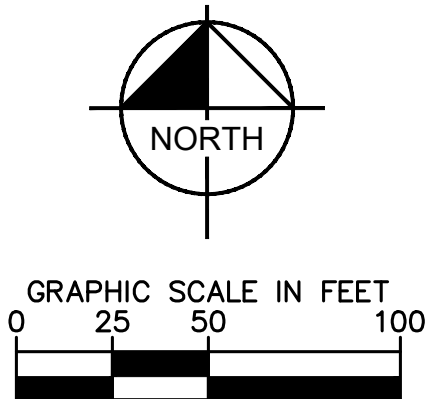
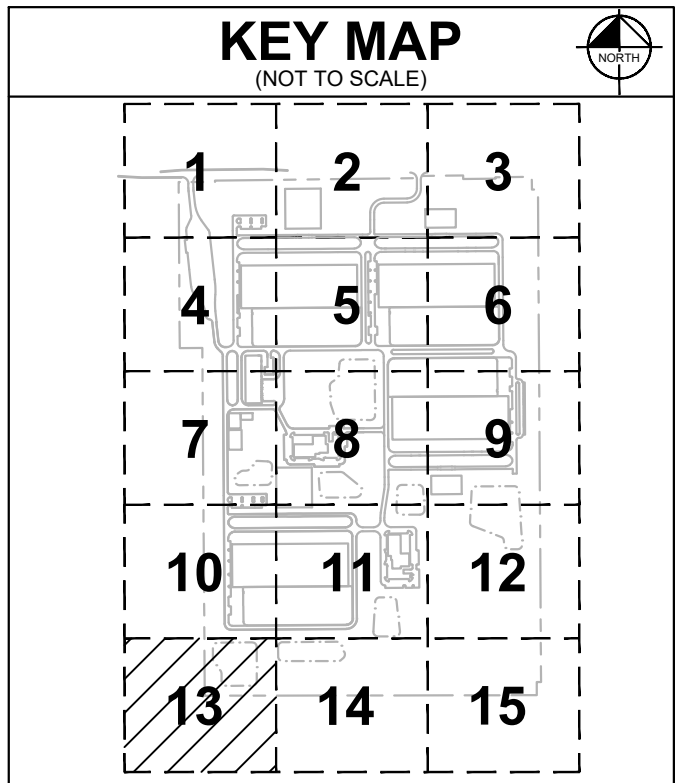
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SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

- CURB, SIDEWALK & PAVEMENT
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL

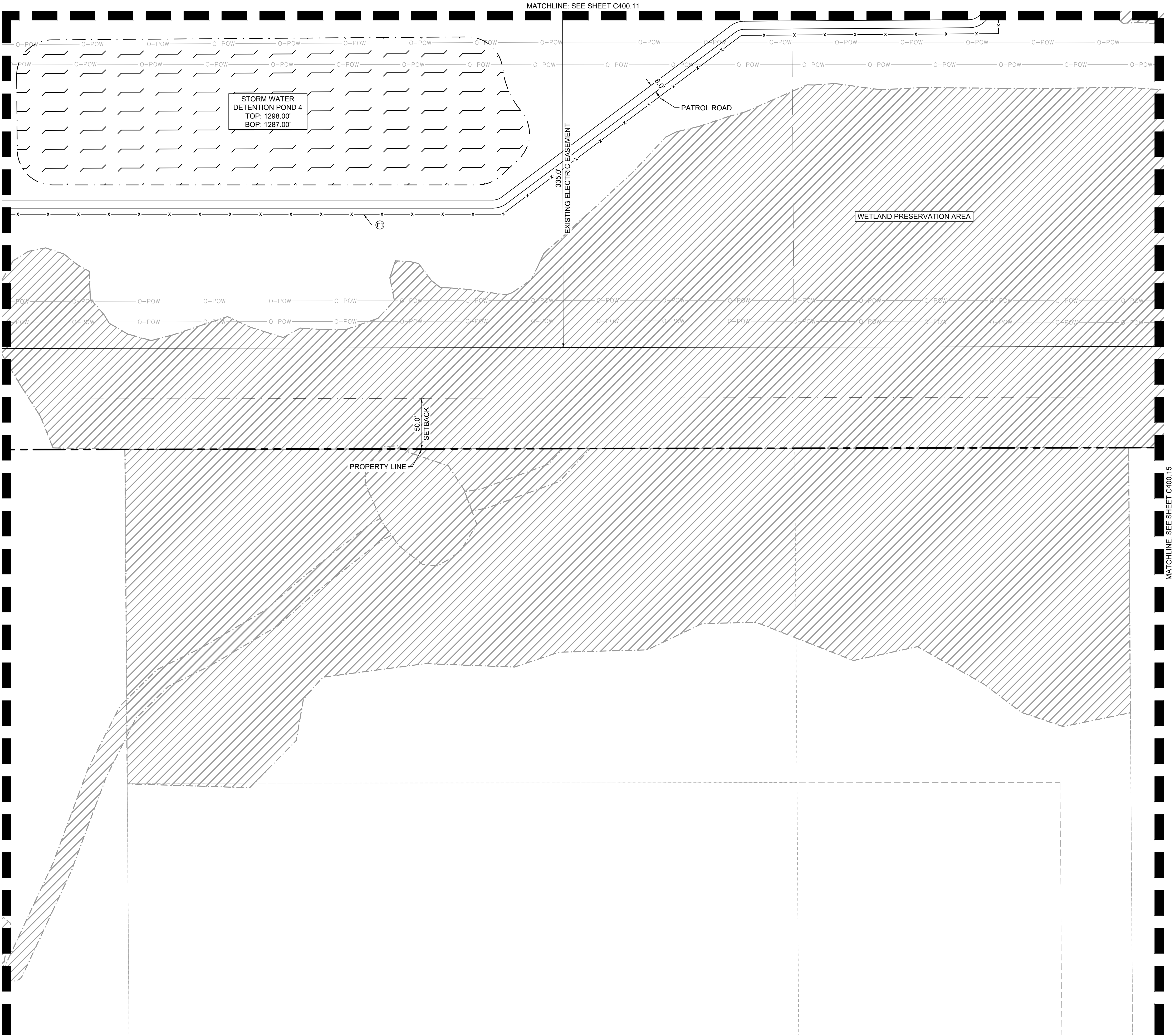


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SHEET NUMBER		HERMANTOWN MINNESOTA		HERMANTOWN	
C400.13		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		HERMANTOWN	
KHA PROJECT 161333002		DATE 08/15/2025		SCALE AS SHOWN	
DESIGNED BY JDS		DRAWN BY KLSC		CHECKED BY BMW	
SITE DIMENSION PLAN		Kimley»Horn		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM	
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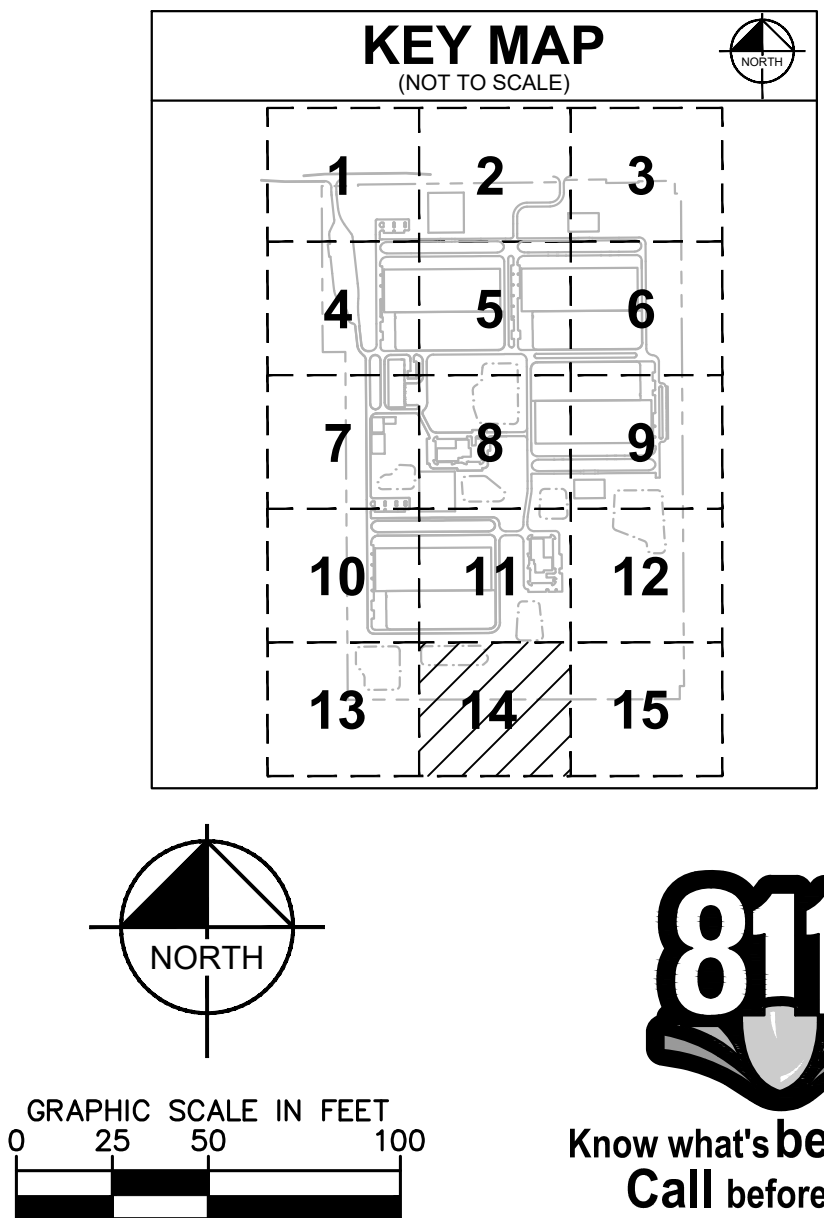
MATCHLINE- SEE SHEET C400.13



SEE SHEET C400.0 FOR SITE PLAN NOTES AND LEGEND

KEYNOTE LEGEND

- CURB, SIDEWALK & PAVEMENT
- (C1) CONCRETE CURB & GUTTER
 - (C2) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- SITE FIXTURES
- (F1) SECURITY FENCE
- PAVEMENT MARKINGS
- (P1) ACCESSIBLE PARKING AREA
- REFERENCE NOTES
- (R1) RETAINING WALL - REFER TO GRADING PLAN
 - (R2) SCREENING WALL



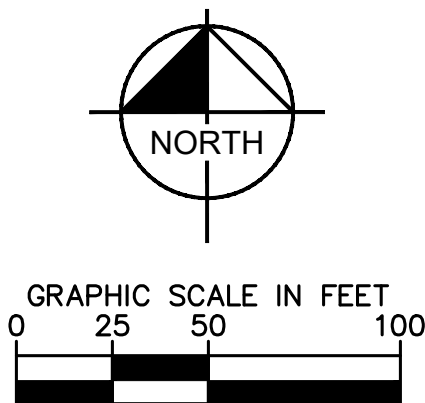
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	SHEET NUMBER C400.14	HERMANTOWN MINNESOTA				KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW	
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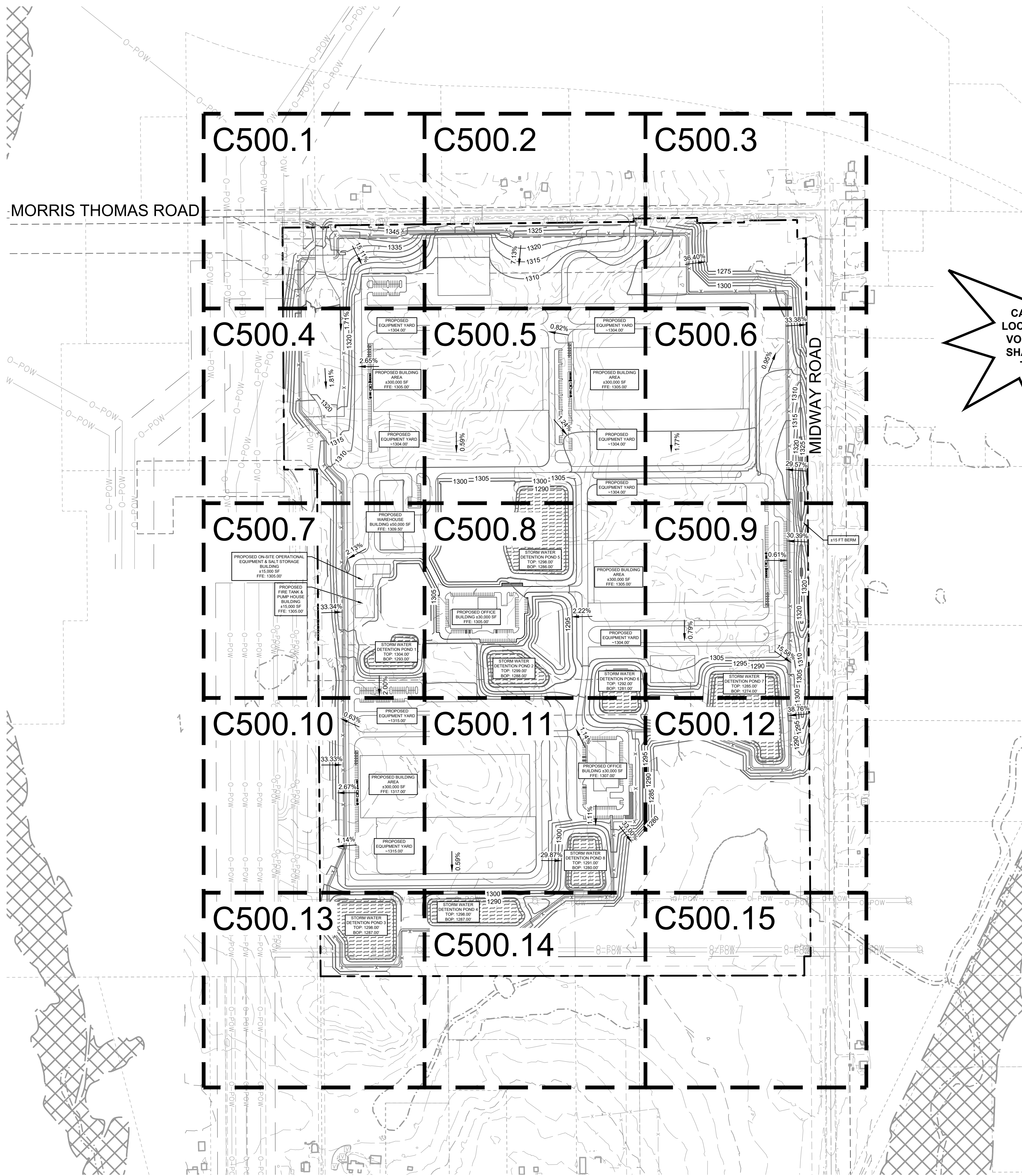
MATCHLINE: SEE SHEET C400.14



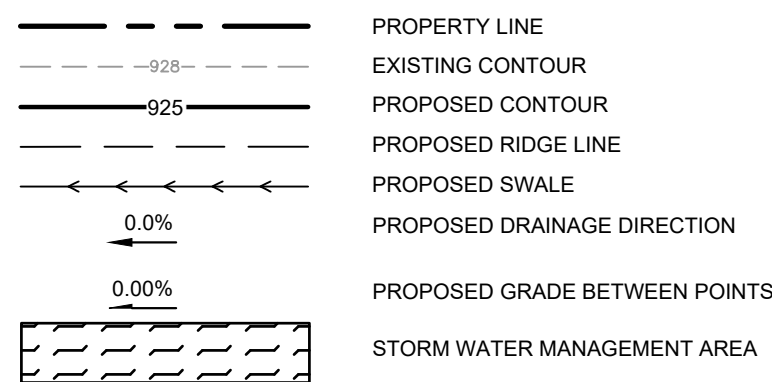
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LEGEND



CAUTION! PROPOSED CONSTRUCTION ACTIVITIES ARE LOCATED IN THE VICINITY OF EXISTING MEDIUM AND HIGH VOLTAGE OVERHEAD POWER LINES. EXTREME CAUTION SHALL BE EXERCISED DURING ALL PHASES OF WORK IN THESE AREAS. COORDINATE WITH UTILITY OWNER.

INFILTRATION BMP NOTES

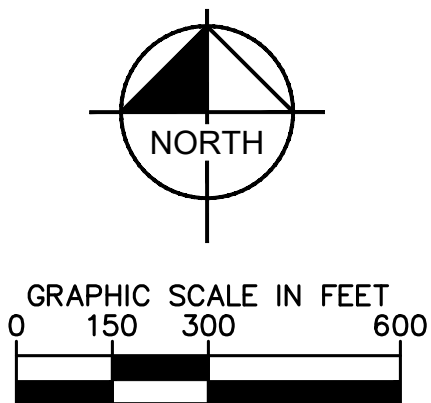
1. TO THE EXTENT PRACTICABLE, LIMIT USE OF HEAVY CONSTRUCTION EQUIPMENT WITHIN THE BOUNDARIES OF THE PROPOSED INFILTRATION BMP. UTILIZE AN EXCAVATOR WITH A TOOTHED BUCKET TO AVOID COMPACTING OR SMEARING OF SOILS.
2. AFTER INITIAL EXCAVATION AND ROUGH GRADING, PROVIDE A MINIMUM OF TWO (2) DOUBLE RING INFILTRMETER TESTS WITHIN THE INFILTRATION AREA AT THE INTERSECTION OF THE BASIN BOTTOM. PROVIDE THE RESULTS TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO COMPLETING INSTALLATION OF THE BASIN OR UNDERGROUND SYSTEM.
3. IF CLAY SOILS ARE ENCOUNTERED, OVER-EXCAVATE AS NECESSARY TO REACH NATIVE SAND/SILT SOIL. BACKFILL THE ADDITIONAL EXCAVATION WITH SUITABLE ENGINEERED FILL MATERIAL.
4. IF NATIVE SUBGRADE SOILS AT THE BOTTOM OF THE PROPOSED INFILTRATION AREA ARE DETERMINED TO NOT BE CONDUCTIVE TO THE DESIGN INFILTRATION REQUIREMENTS, REMOVE AND REPLACE THE POORLY INFILTRATION SOILS TO A DEPTH WHERE THE EXISTING NATIVE SUBGRADE SOILS MEET OR EXCEED THE DESIGN INFILTRATION REQUIREMENTS AS REVIEWED BY THE ENGINEER.
5. FINAL EXCAVATION OF THE INFILTRATION AREA AND INSTALLATION OF ANY ENGINEERED SOIL MUST OCCUR IN DRY CONDITIONS TO PREVENT SMEARING AND COMPACTION.
6. REMOVE ANY EXCESS SOILS THAT ENTER THE INFILTRATION BASIN PRIOR TO FINAL STABILIZATION.
7. UPON COMPLETION OF THE INFILTRATION/INFILTRATION SYSTEM INSTALLATION AND FINAL STABILIZATION OF THE TRIBUTARY AREA, PROVIDE DOCUMENTATION THAT THE BMP DRAINS DOWN WITHIN 48 HOURS.

GRADING PLAN NOTES

1. PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
4. FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
5. IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
6. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
7. ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURB & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED
8. EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
9. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.25% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
10. MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURB & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.
11. INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURB & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILLED.
12. GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:
 - ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).
 - SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
 - LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.
 - ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.
13. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVEMENT INSTALLATION. CHANGE ORDERS WILL NOT BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
14. UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
15. EXCAVATE PAVEMENT TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.

RETAINING WALL NOTES

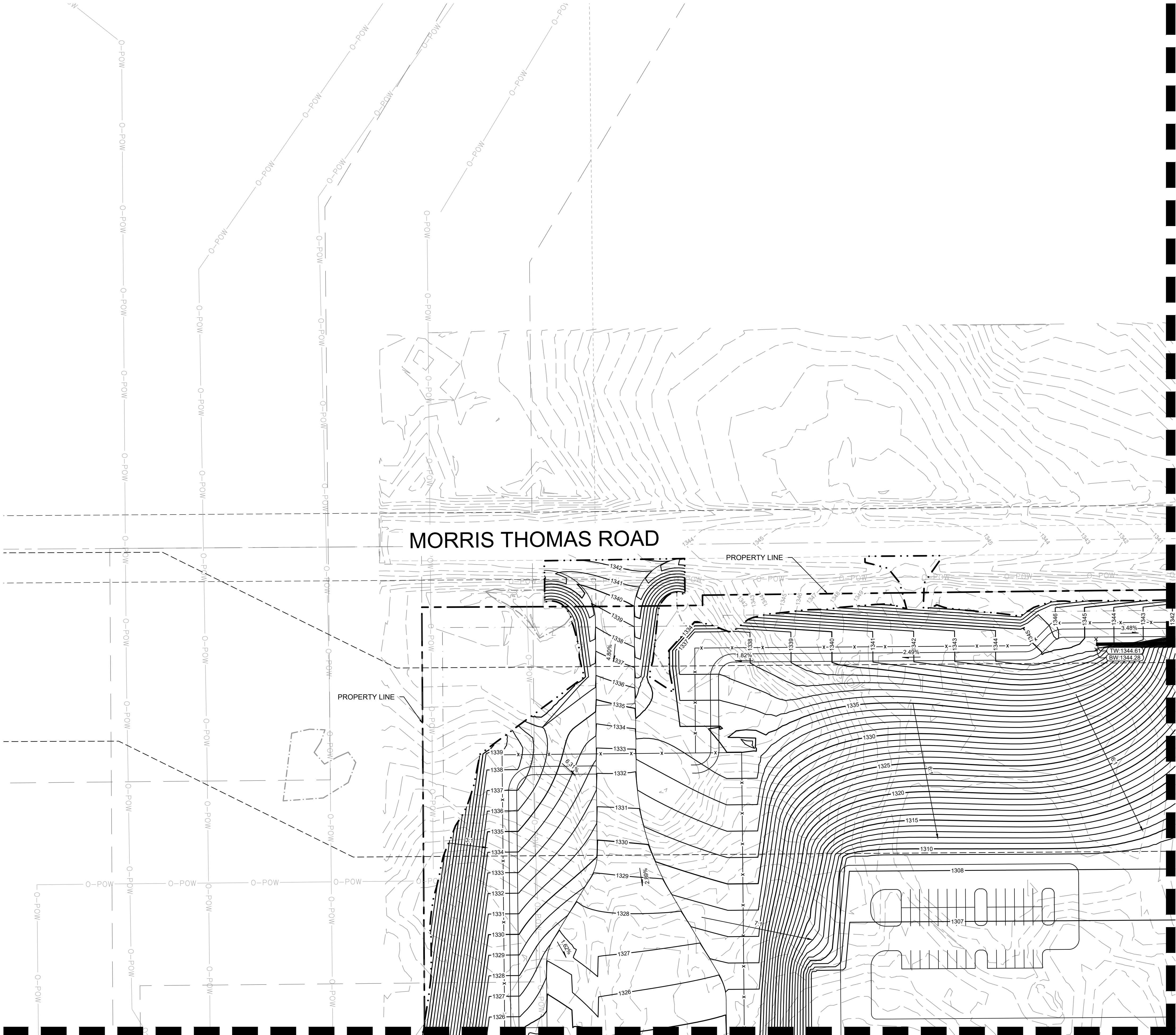
1. RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
2. PLANS SHOW THE HORIZONTAL LOCATION OF THE TOP OF THE WALL AND PROVIDES FINISHED SURFACE ELEVATIONS AT THE TOP AND BOTTOM FACE OF THE WALL ONLY.
3. RETAINING WALL DESIGN PLANS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE REVIEWING AUTHORITY AND KIMLEY-HORN ENGINEER OF RECORD FOR APPROVAL.
4. RETAINING WALL DESIGNER MUST ACCOUNT FOR DRAINAGE AROUND THE WALL AS SHOWN ON THE GRADING PLAN. SURFACE RUNOFF SHALL NOT BE ALLOWED TO DRAIN OVER THE TOP OF THE WALL.
5. RETAINING WALL MATERIAL AND COLOR SHALL BE SELECTED BY THE OWNER.
6. RETAINING WALL DESIGNER IS RESPONSIBLE FOR OBTAINING GEOTECHNICAL INFORMATION AS NEEDED FOR DESIGN OF THE PROPOSED WALL.



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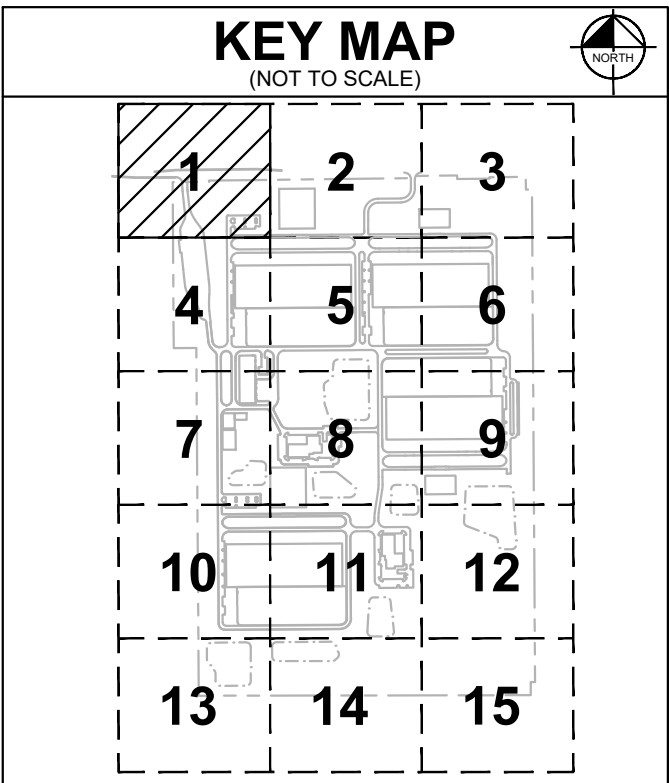
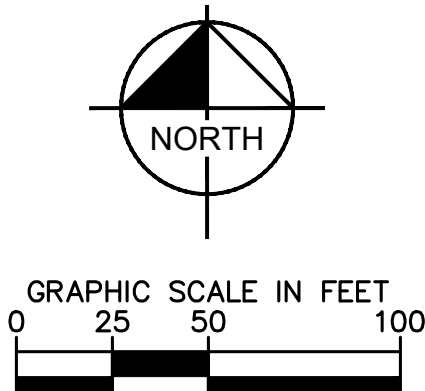
SHEET NUMBER		HERMANTOWN		OVERALL		KHA PROJECT		Kimley»»Horn		No.		DATE		REVISIONS		BY	
C500.0		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		MINNESOTA		161333002 DATE 08/15/2025		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM									
						SCALE AS SHOWN											
						DESIGNED BY JDS											
						DRAWN BY KLS											
						CHECKED BY											
						BMW											

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MATCHLINE: SEE SHEET C500.2

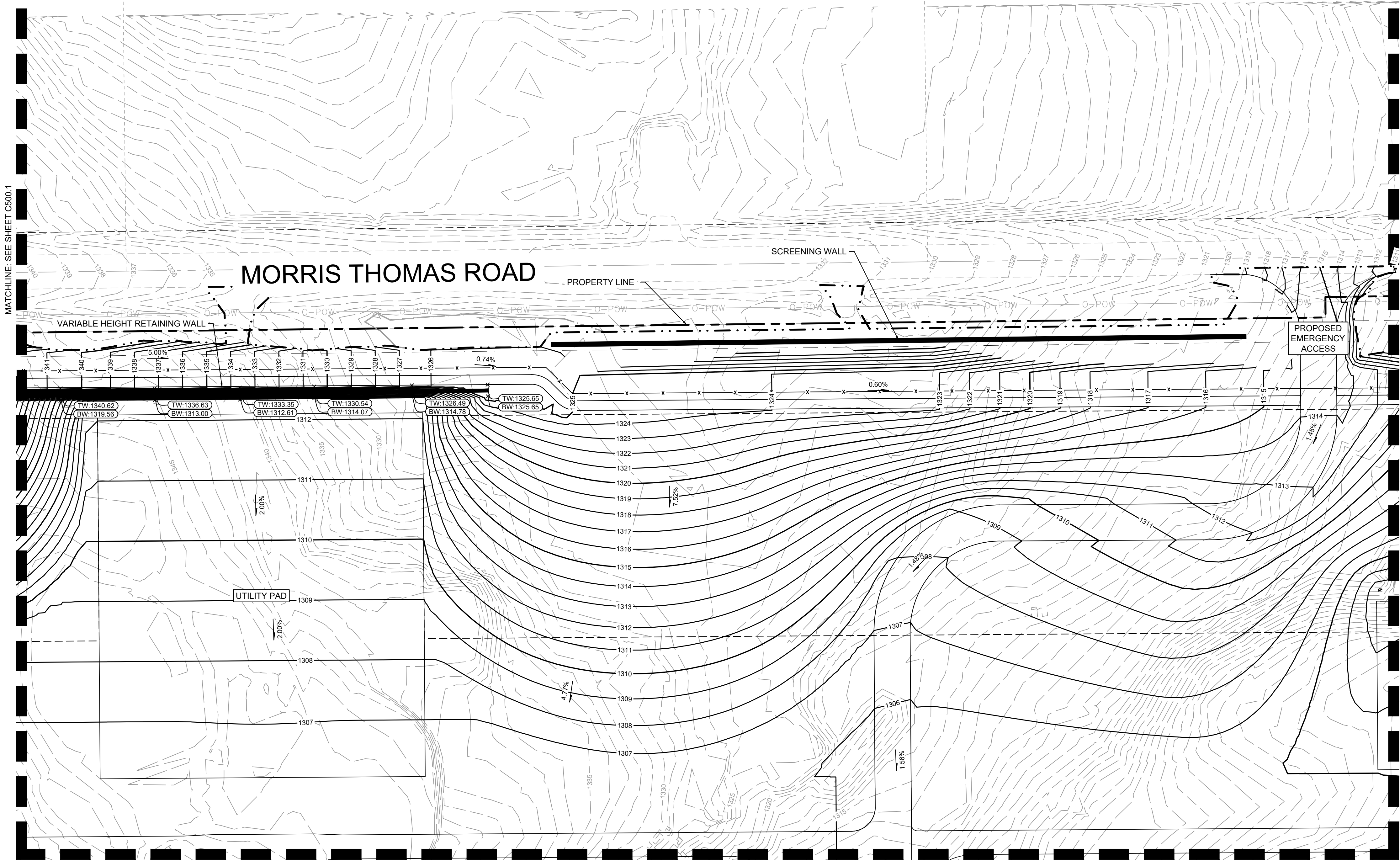
SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND



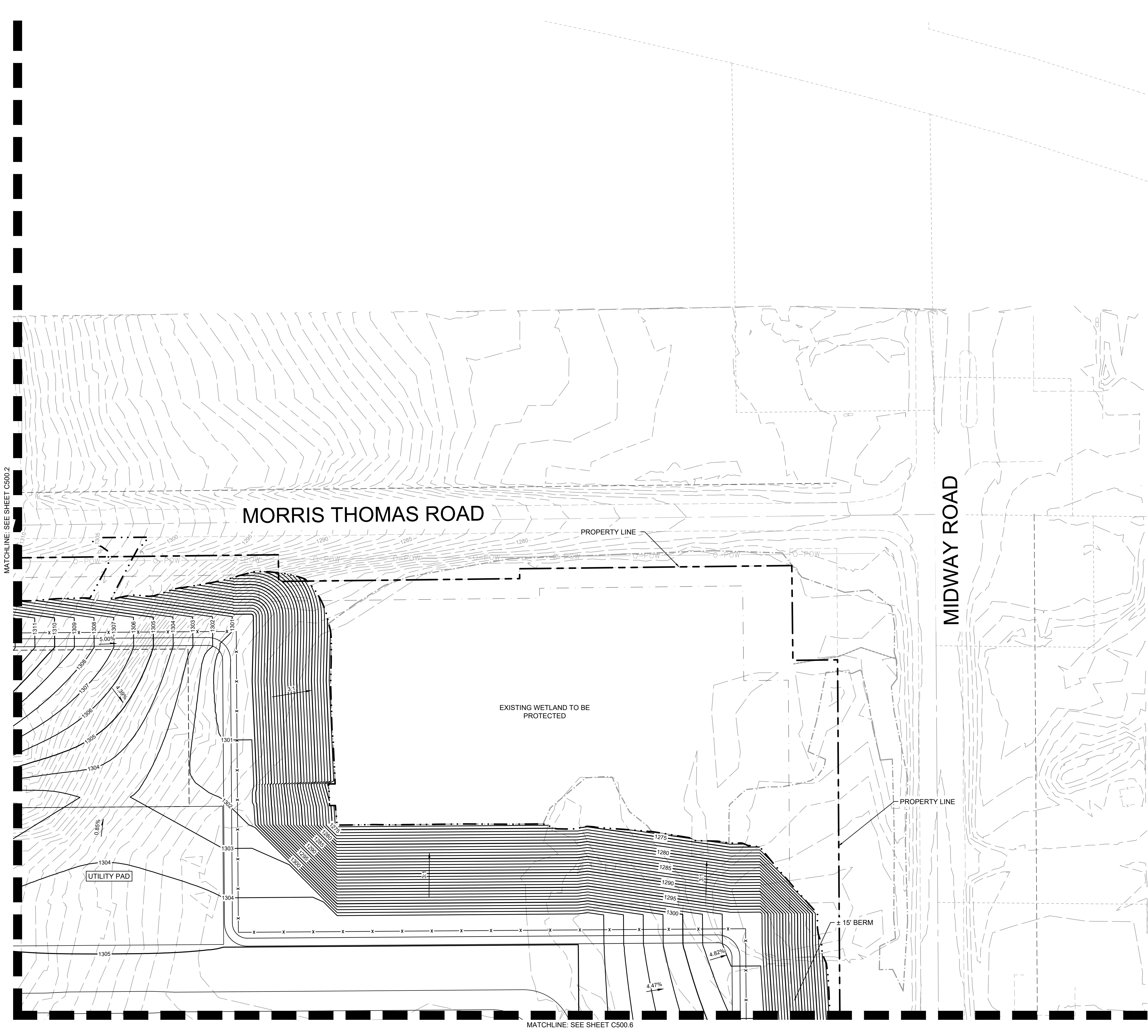
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	SHEET NUMBER C500.1	HERMANTOWN MINNESOTA				GRADING AND DRAINAGE PLAN				KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW				Kimley»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM				REVISIONS No. DATE BY			
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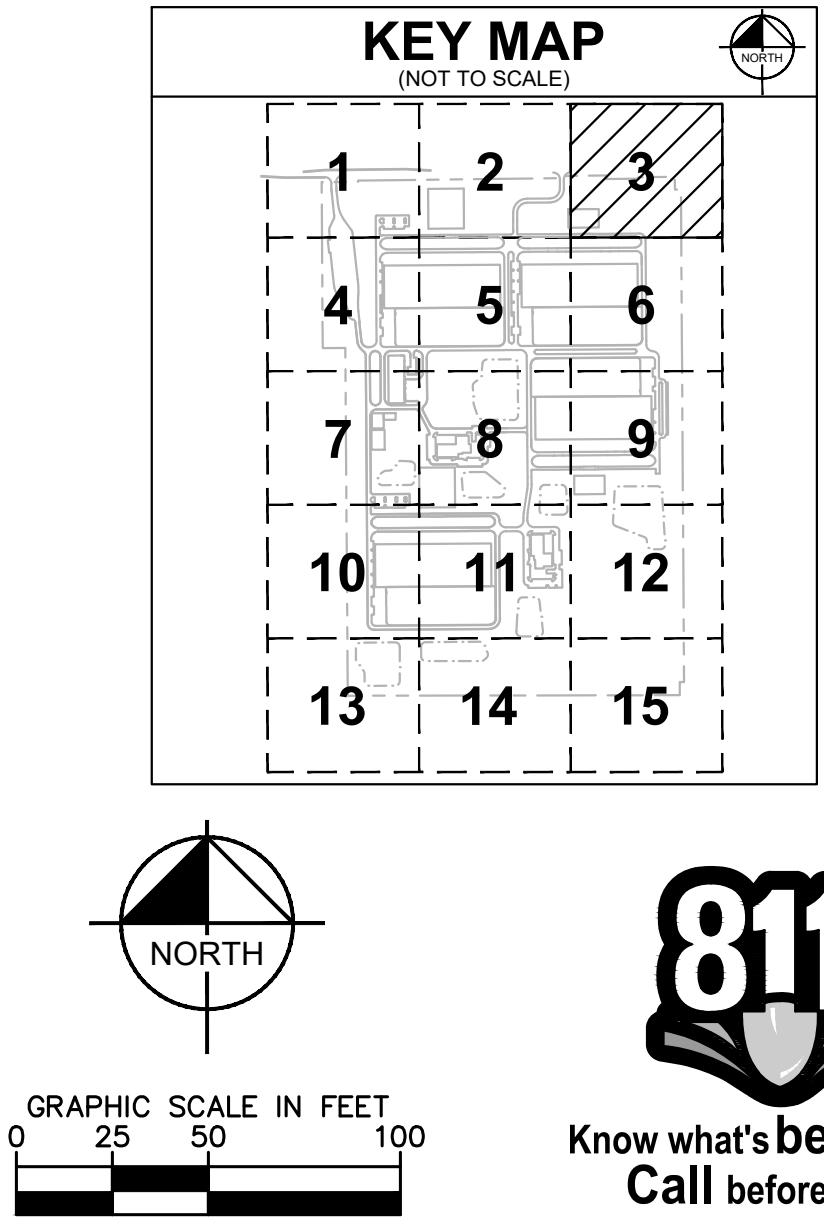
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SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND



HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	MINNESOTA	HERMANTOWN	SHEET NUMBER C500.3			
GRADING AND DRAINAGE PLAN		KHA PROJECT 161333002	DATE 08/15/2025	DESIGNED BY JDS	DRAWN BY KLSC	CHECKED BY BMW
		SCALE AS SHOWN				
		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM		REVISIONS		BY
				No.	DATE	

This topographic map shows a site with various proposed areas and existing terrain features. The map includes contour lines indicating elevation, with labels such as 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1330, 1335, 1340, 1345, 1350, 1355, and 1360. A dashed line represents the 'PROPERTY LINE'. A solid line indicates the 'LOADING DOCK'. A 'MATCHLINE: SEE SHEET C500.1' is shown at the top. The map also features several proposed areas with their respective square footages and finished floor elevations (FFE):

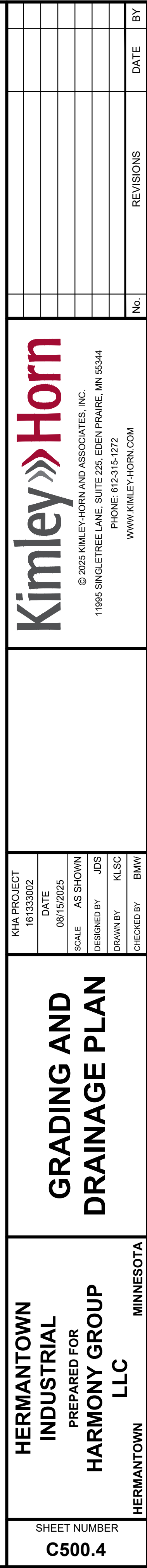
- PROPOSED EQUIPMENT YARD** (top right): ±1304.00'
- PROPOSED BUILDING AREA** (middle right): ±300,000 SF, FFE: 1305.00'
- PROPOSED EQUIPMENT YARD** (bottom right): ±1304.00'
- PROPOSED WAREHOUSE BUILDING** (bottom center): ±50,000 SF, FFE: 1309.50'

The map also shows various proposed areas with their respective square footages and finished floor elevations (FFE):

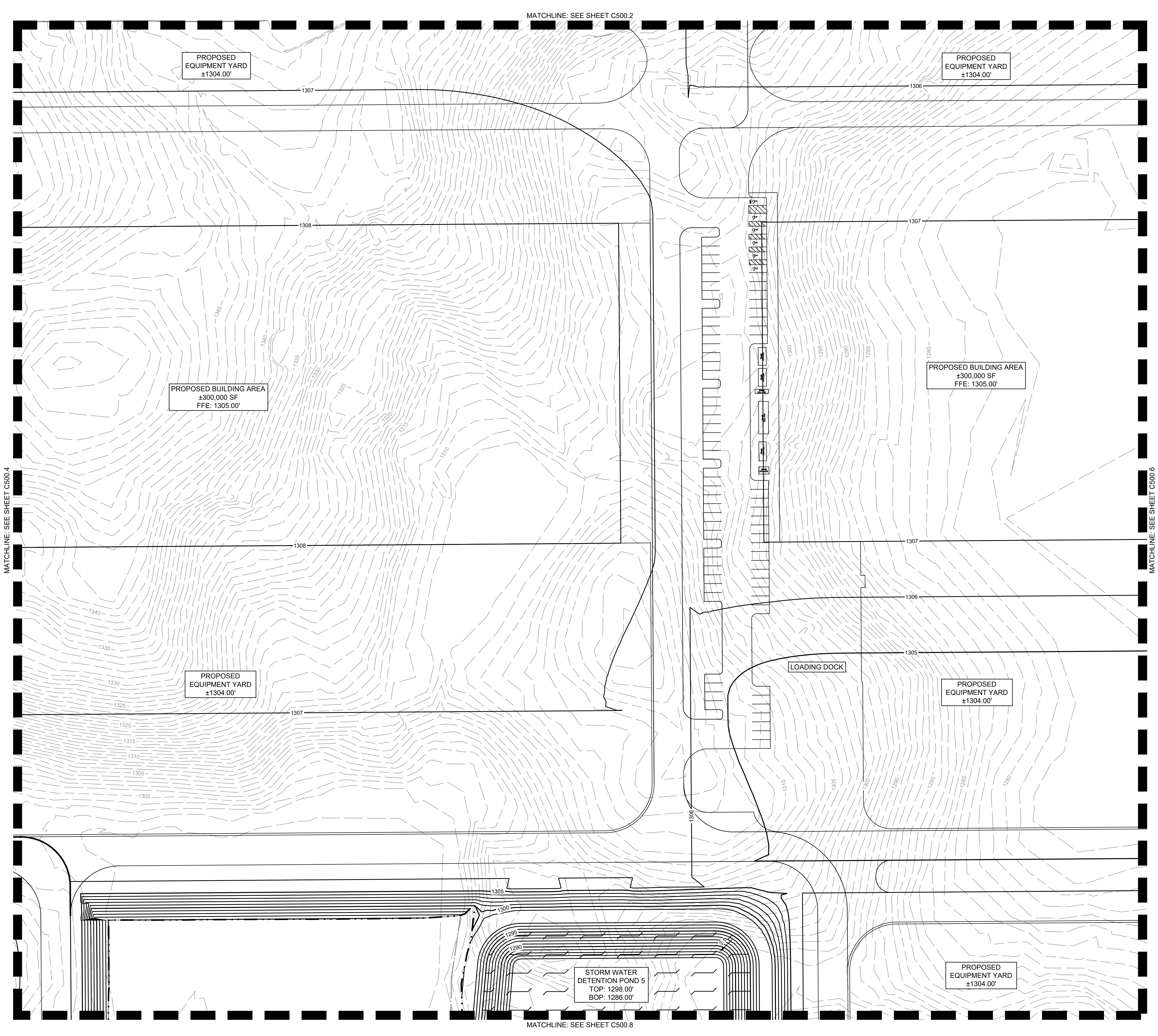
- PROPOSED EQUIPMENT YARD** (top right): ±1304.00'
- PROPOSED BUILDING AREA** (middle right): ±300,000 SF, FFE: 1305.00'
- PROPOSED EQUIPMENT YARD** (bottom right): ±1304.00'
- PROPOSED WAREHOUSE BUILDING** (bottom center): ±50,000 SF, FFE: 1309.50'



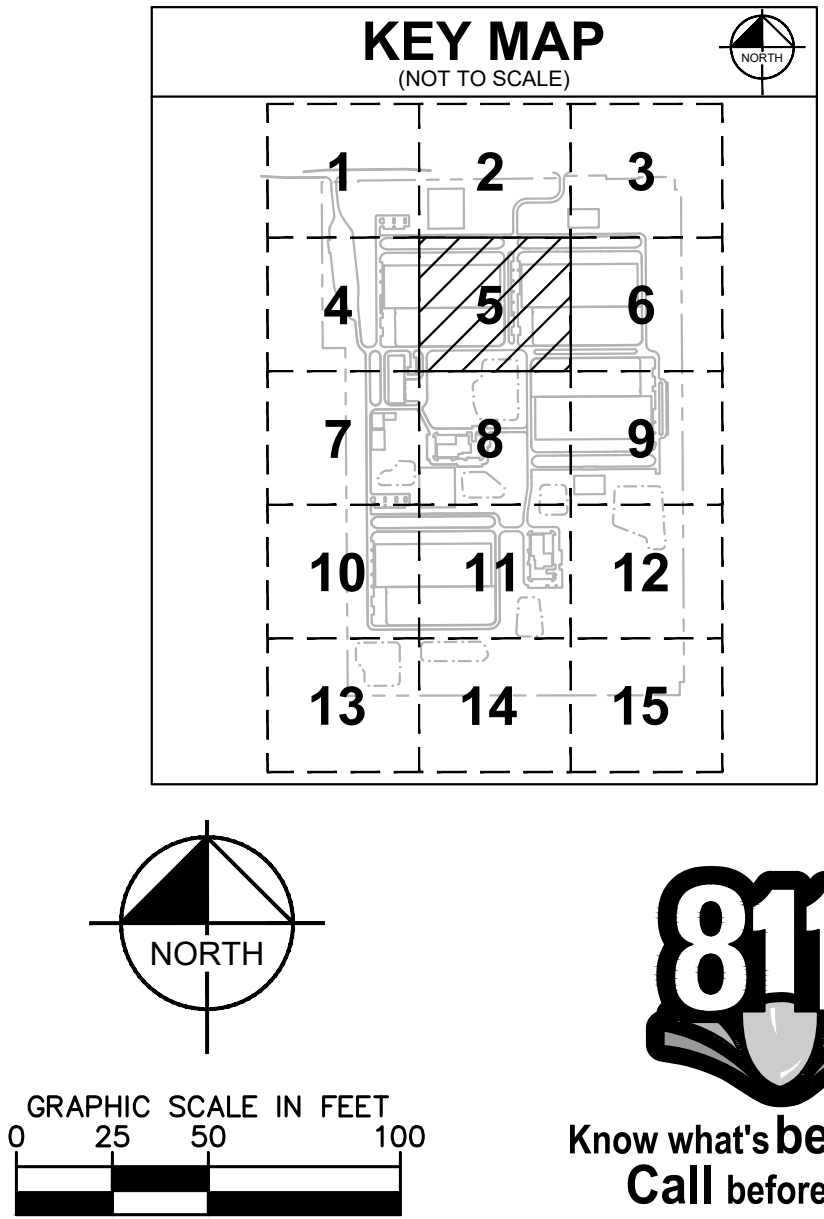
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SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND

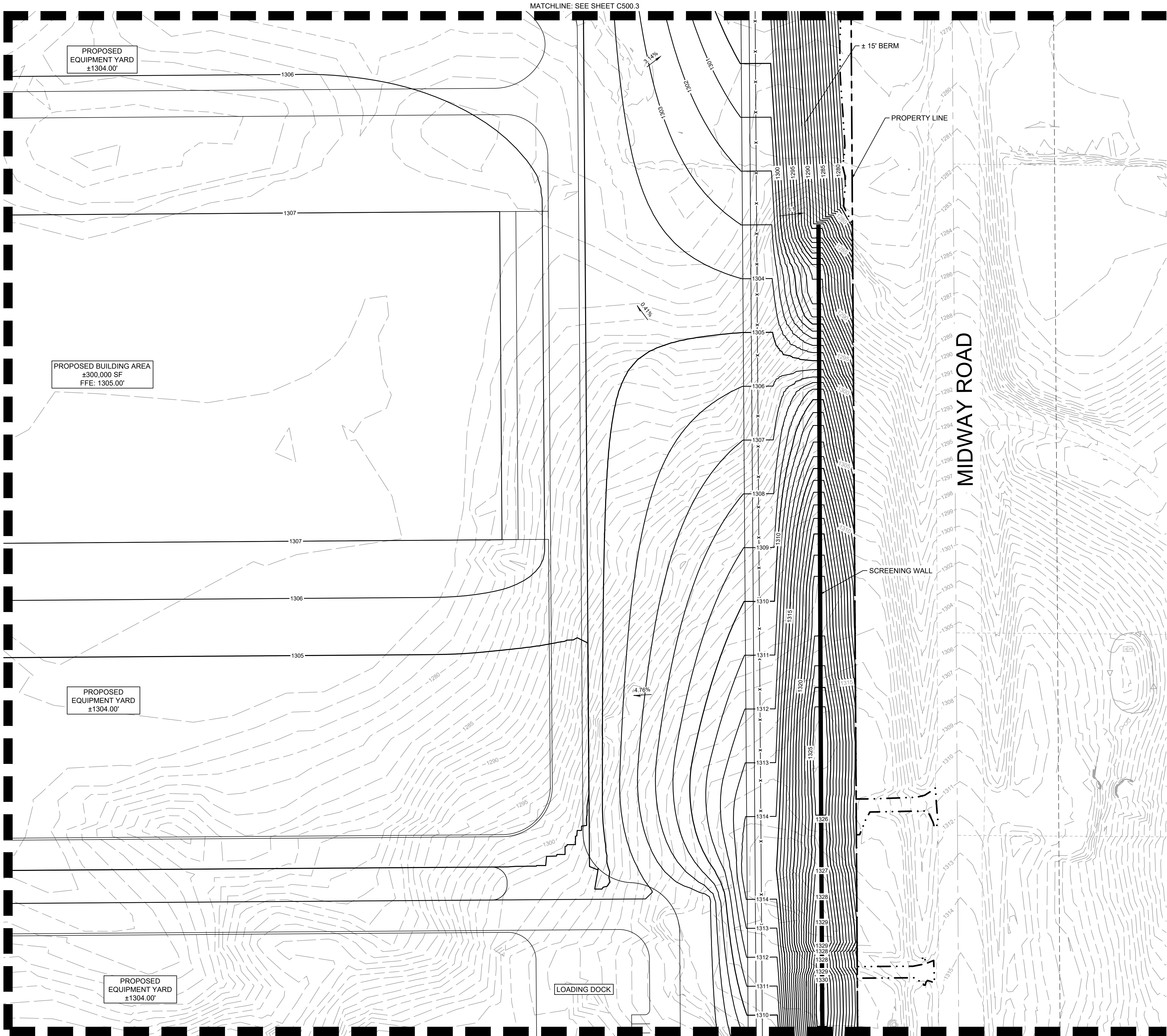


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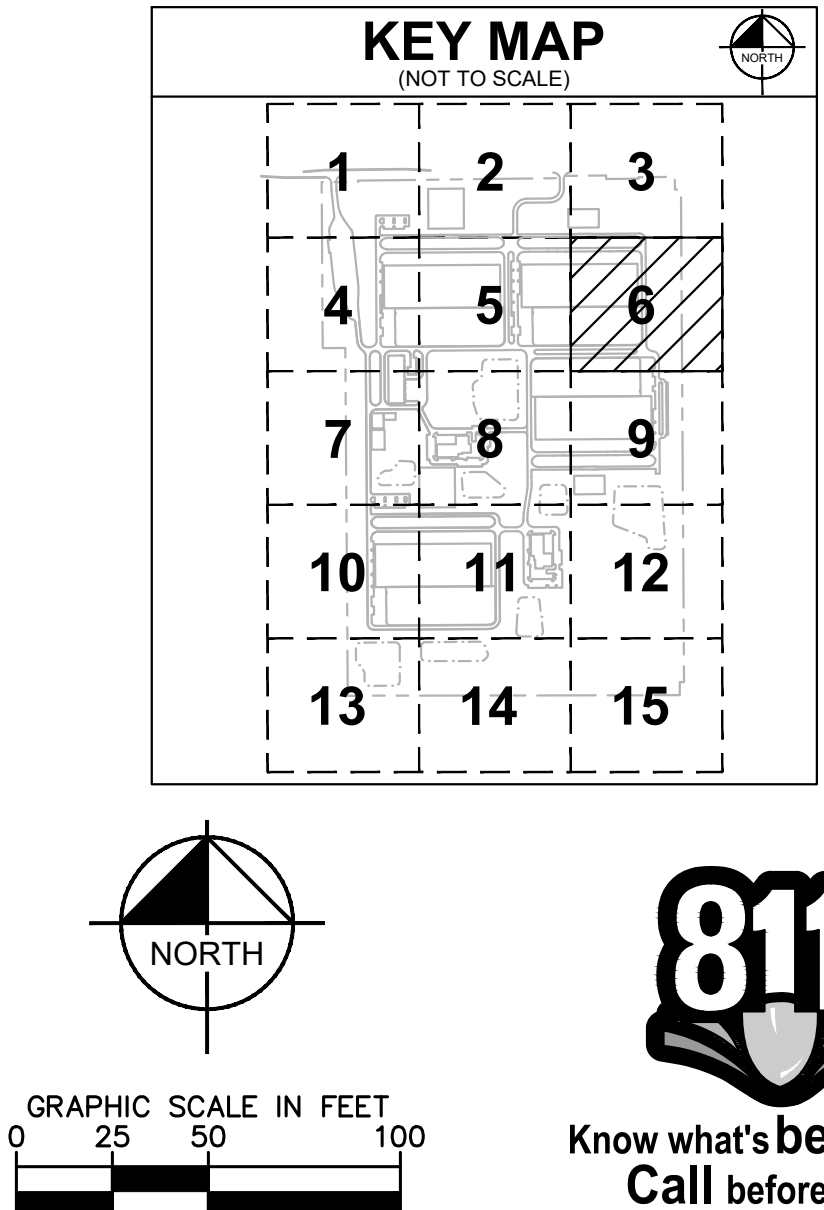
HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	MINNESOTA	SHEET NUMBER C500.5	No.	REVISIONS	DATE	BY
GRADING AND DRAINAGE PLAN		KHA PROJECT 161333002		DATE 08/15/2025		SCALE AS SHOWN
		DESIGNED BY JDS		DRAWN BY KLSC		
		CHECKED BY BMW				
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MATCHLINE: SEE SHEET C500.5



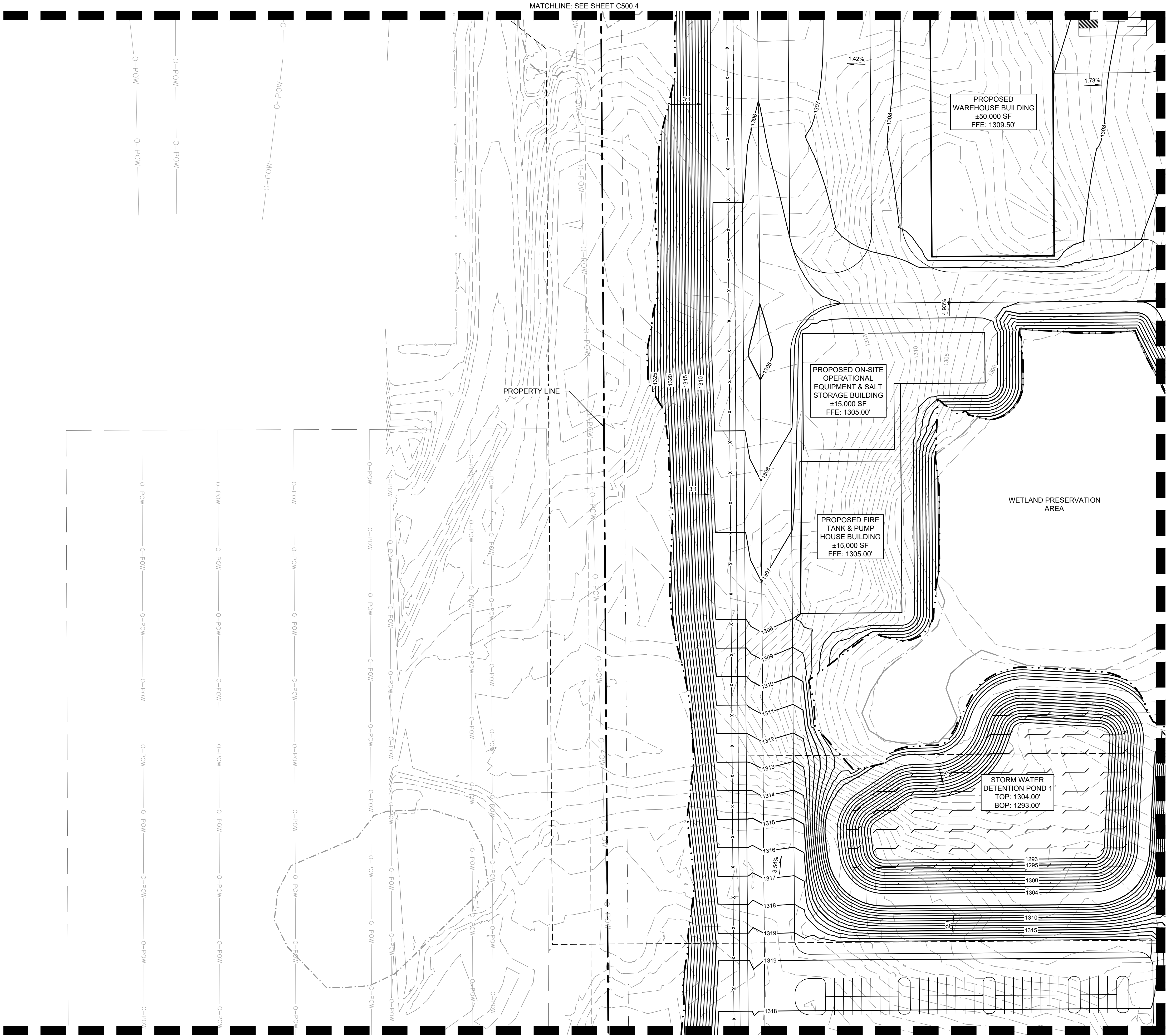
SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND



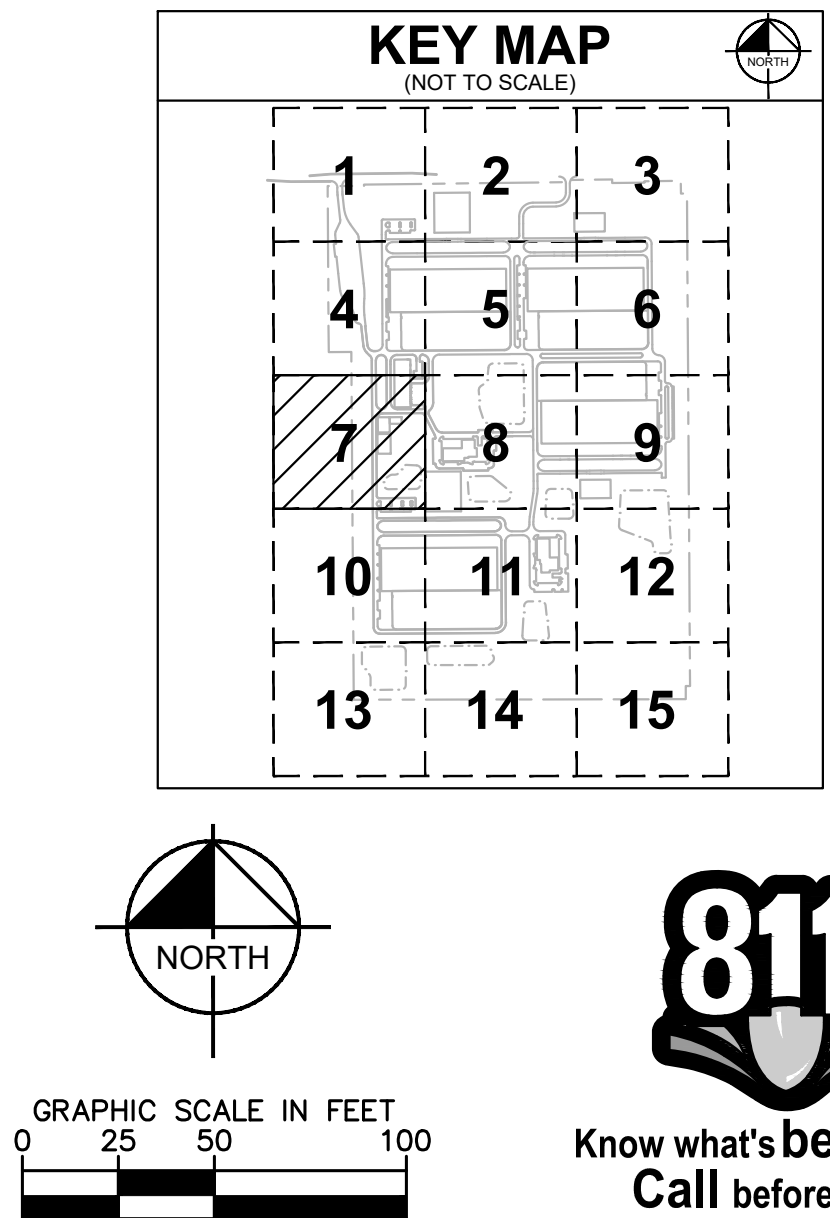
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		MINNESOTA		SHEET NUMBER C500.6	
GRADING AND DRAINAGE PLAN		KHA PROJECT 161333002		Kimley»»Horn	
		DATE 08/15/2025		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	
		SCALE AS SHOWN			
		DESIGNED BY JDS			
		DRAWN BY KLSC			
CHECKED BY BMW				No.	
				REVISIONS	
				DATE	
				BY	

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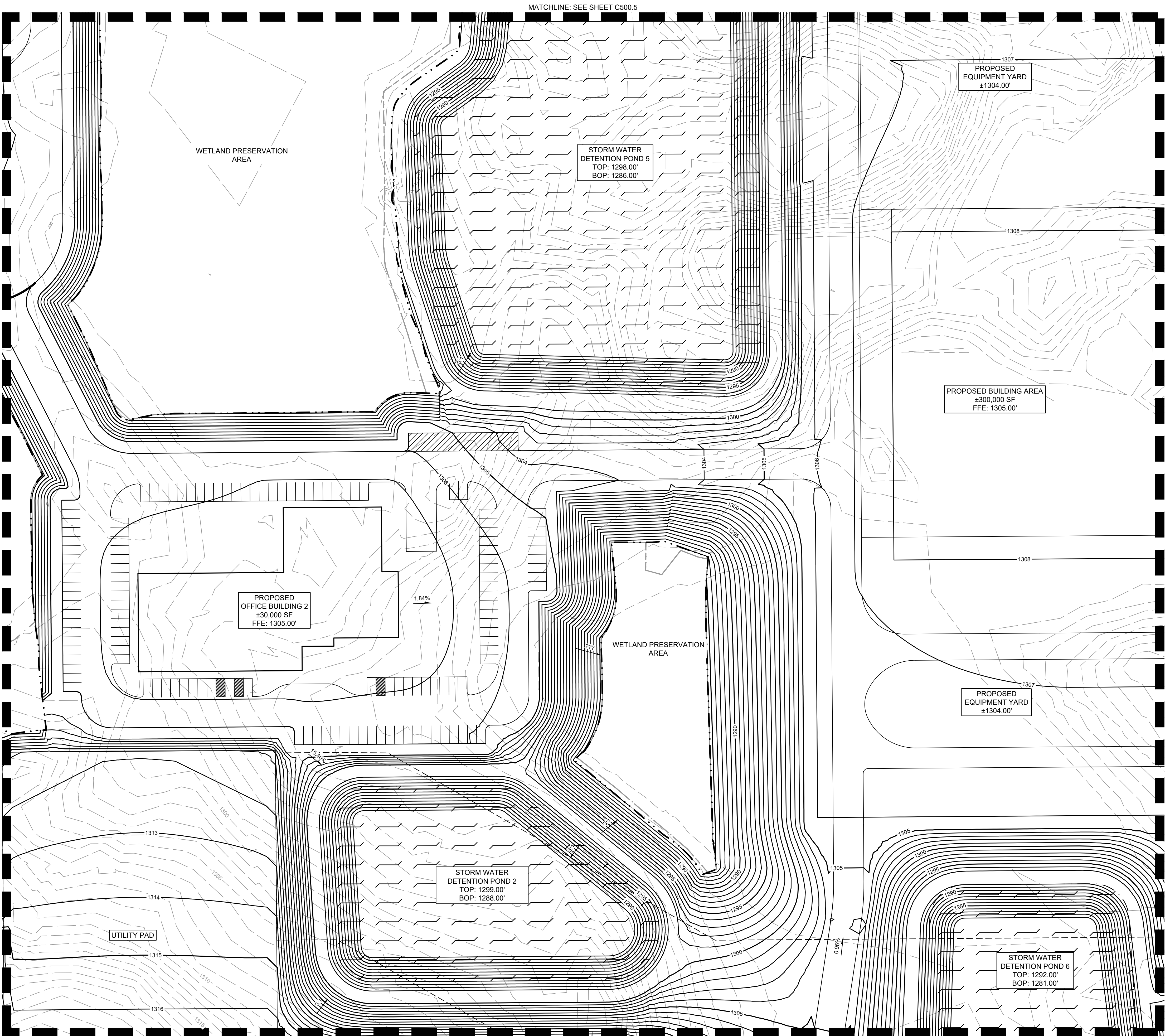


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SHEET NUMBER		HERMANTOWN		HERMANTOWN		MINNESOTA	
C500.7		HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC		GRADING AND DRAINAGE PLAN			
		KHA PROJECT 161333002		Kimley»Horn			
		DATE 08/15/2025		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM			
		SCALE AS SHOWN					
		DESIGNED BY JDS					
		DRAWN BY KLSC					
		CHECKED BY BMW					
						REVISIONS	
						No.	
						DATE	
						BY	

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MATCHLINE: SEE SHEET C500.7

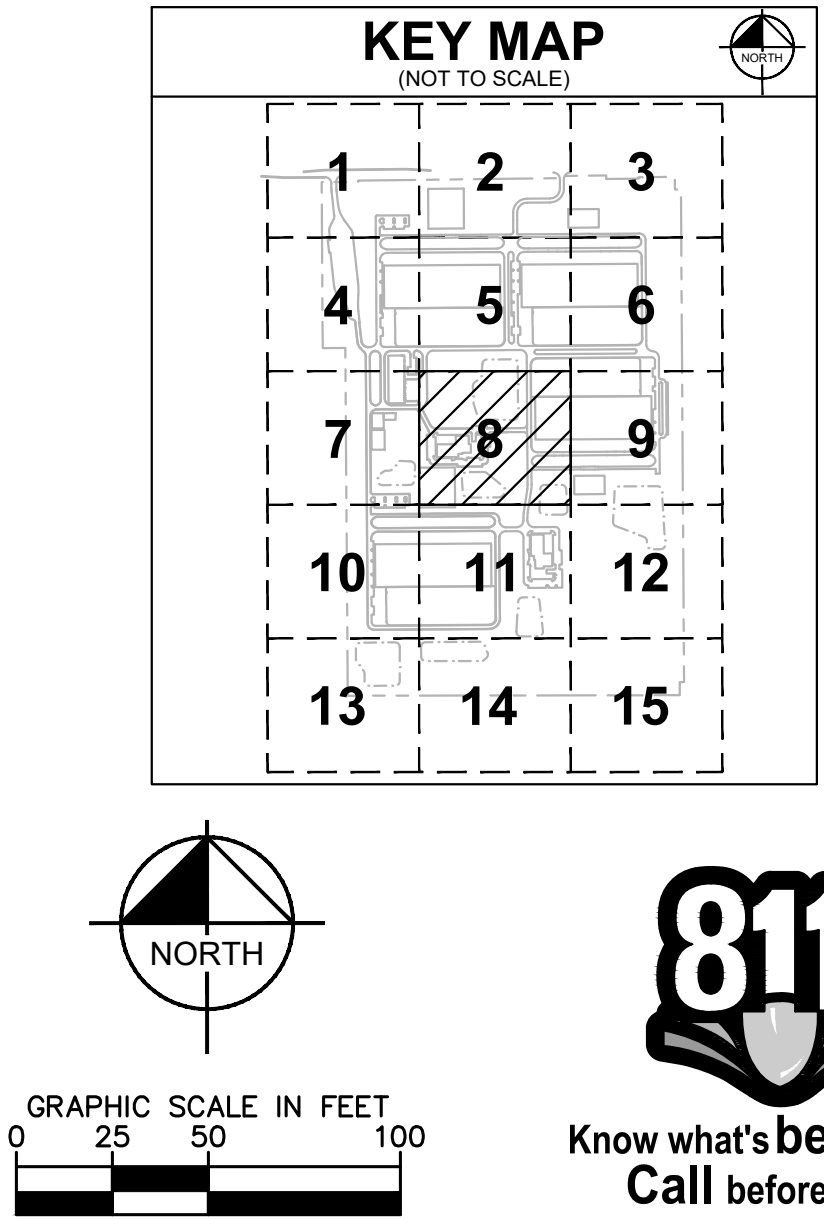


MATCHLINE: SEE SHEET C500.5

MATCHLINE: SEE SHEET C500.11

MATCHLINE: SEE SHEET C500.9

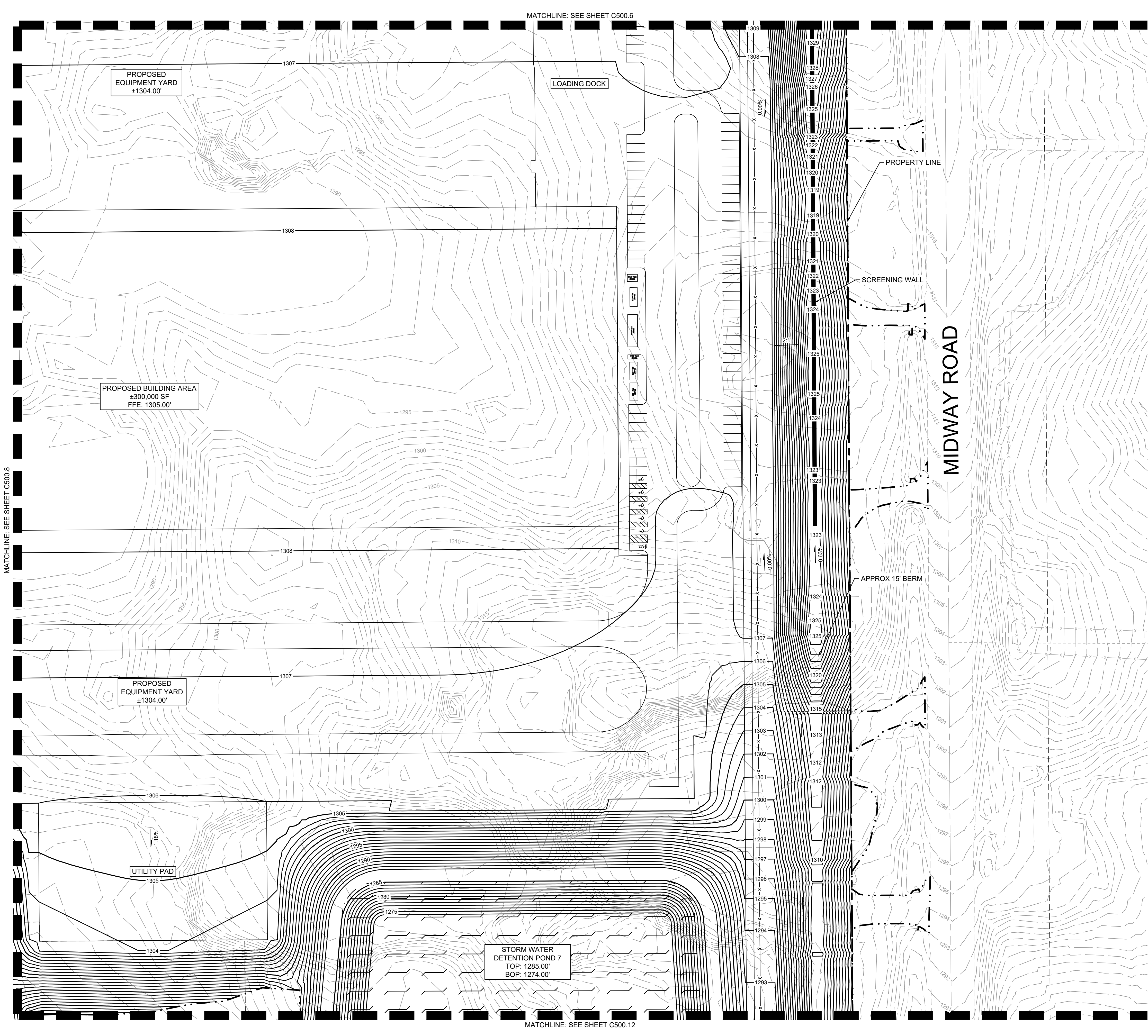
SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND



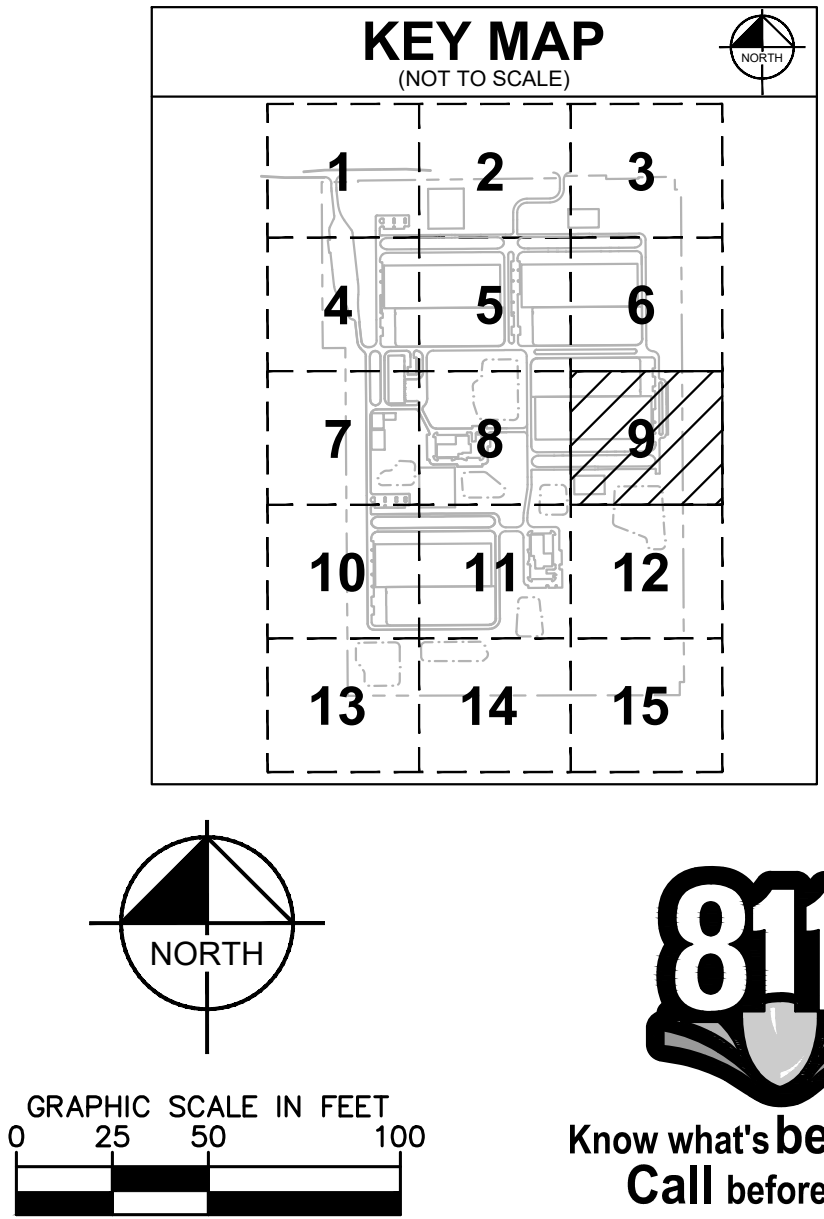
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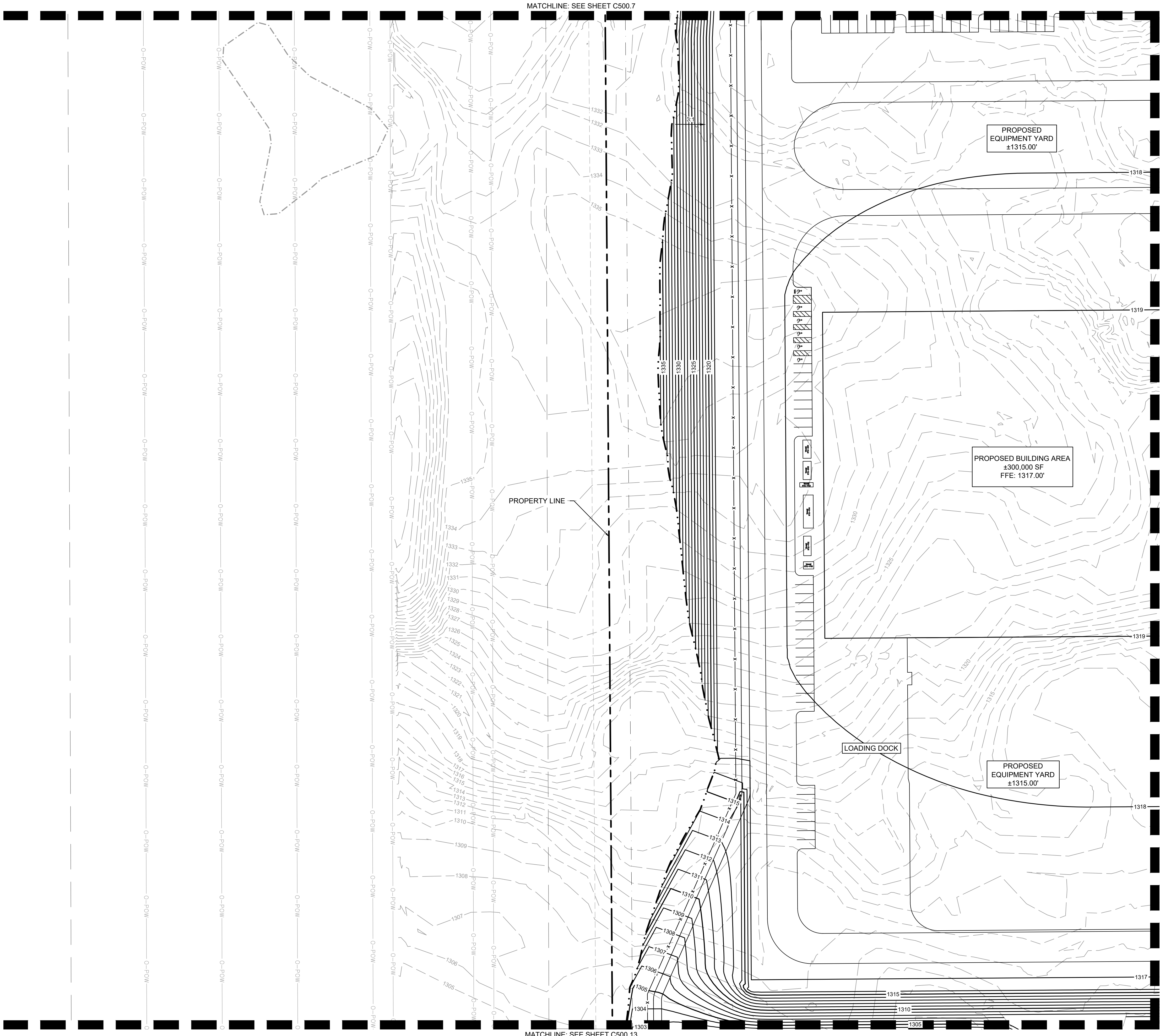


SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND

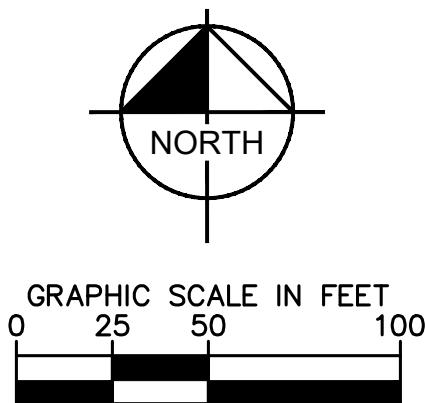
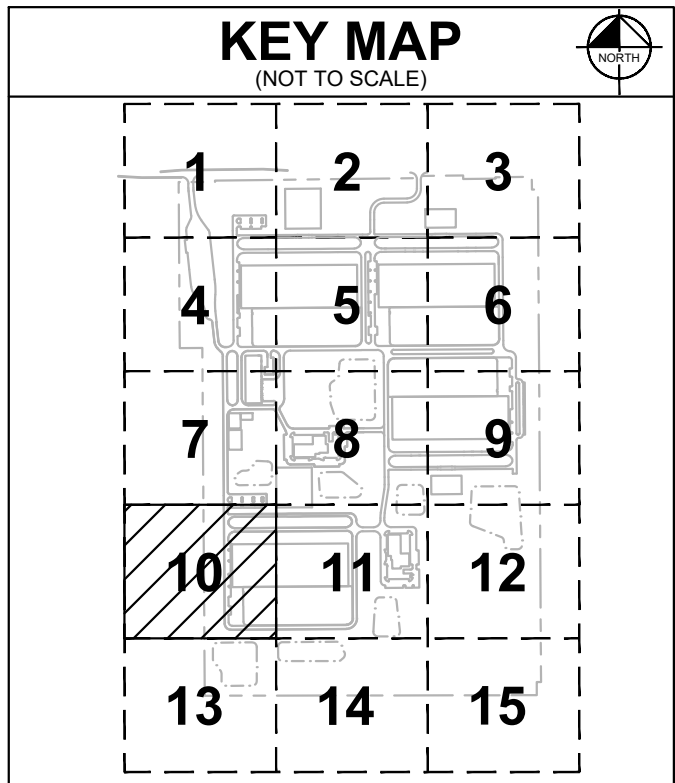


HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	MINNESOTA	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLS CHECKED BY BMW	© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE 612-315-1272 WWW.KIMLEY-HORN.COM	Kimley»Horn	No.	REVISIONS	DATE	BY

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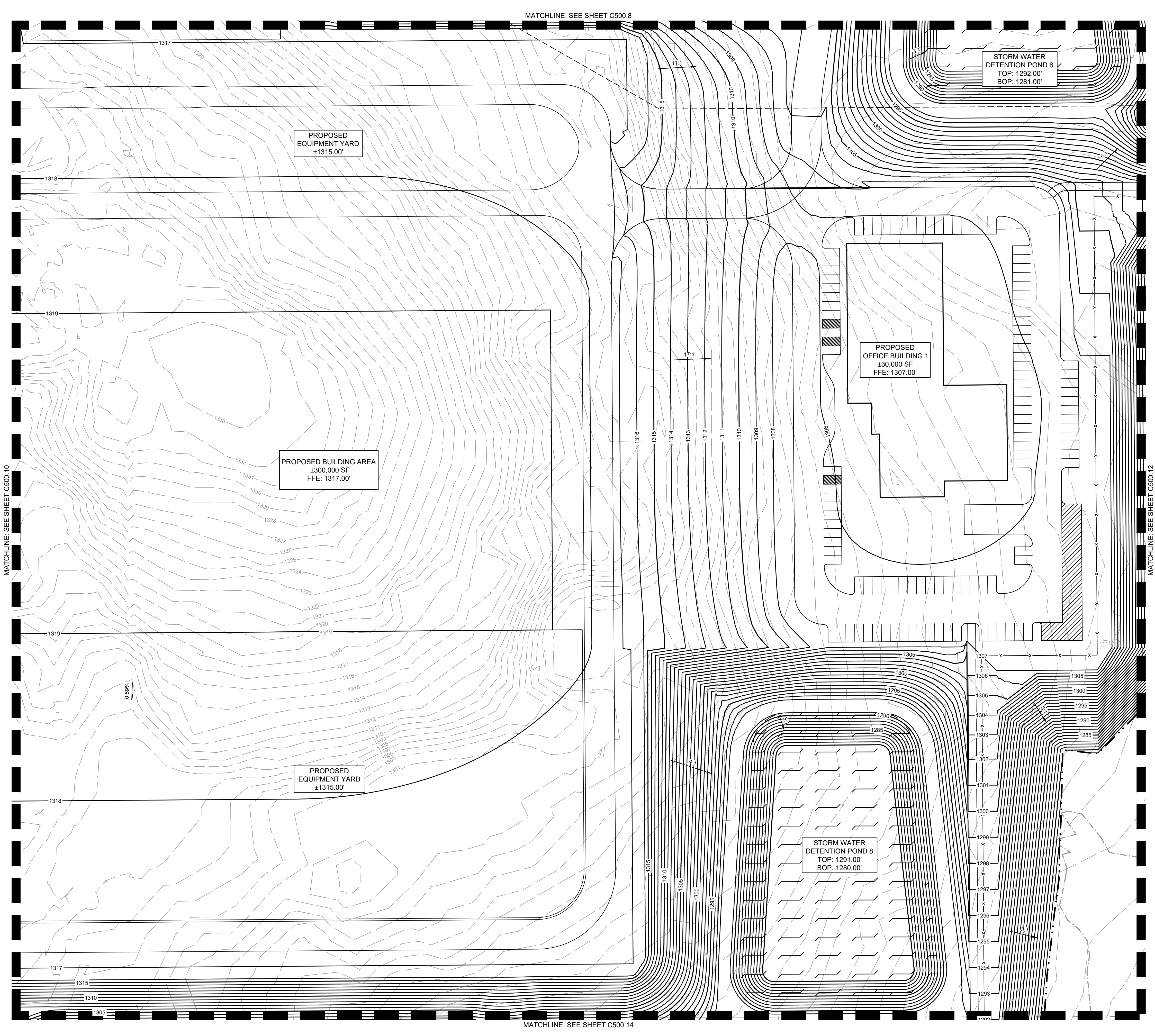


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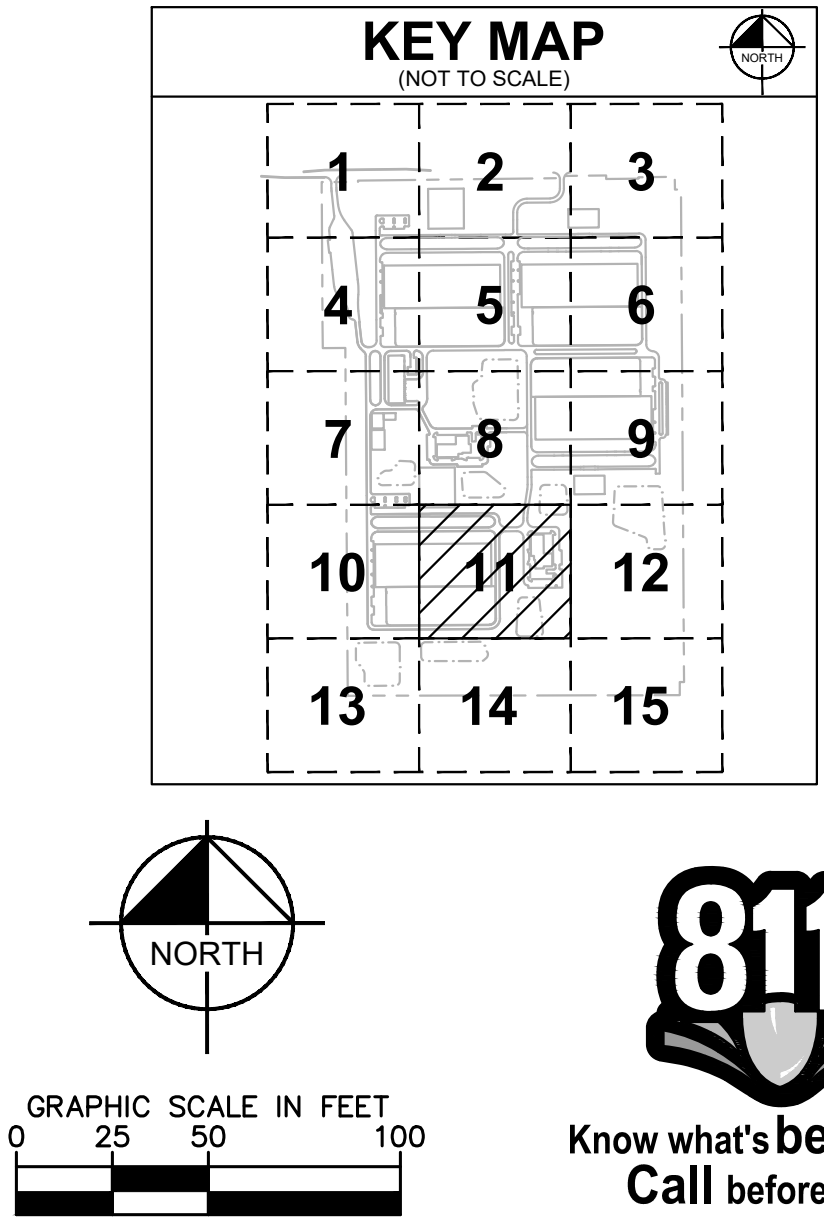


SHEET NUMBER		HERMANTOWN		MINNESOTA		HERMANTOWN	
C500.10		HERMANTOWN INDUSTRIAL		PREPARED FOR		HARMONY GROUP LLC	
		GRADING AND DRAINAGE PLAN					
		KHA PROJECT		Kimley»Horn			
		161333002		© 2025 KIMLEY-HORN AND ASSOCIATES, INC.			
		DATE		11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344			
		08/15/2025		PHONE: 612-315-1272			
		SCALE AS SHOWN		WWW.KIMLEY-HORN.COM			
		DESIGNED BY JDS					
		DRAWN BY KLSC					
		CHECKED BY BMW					
						No.	
						REVISIONS	
						DATE	
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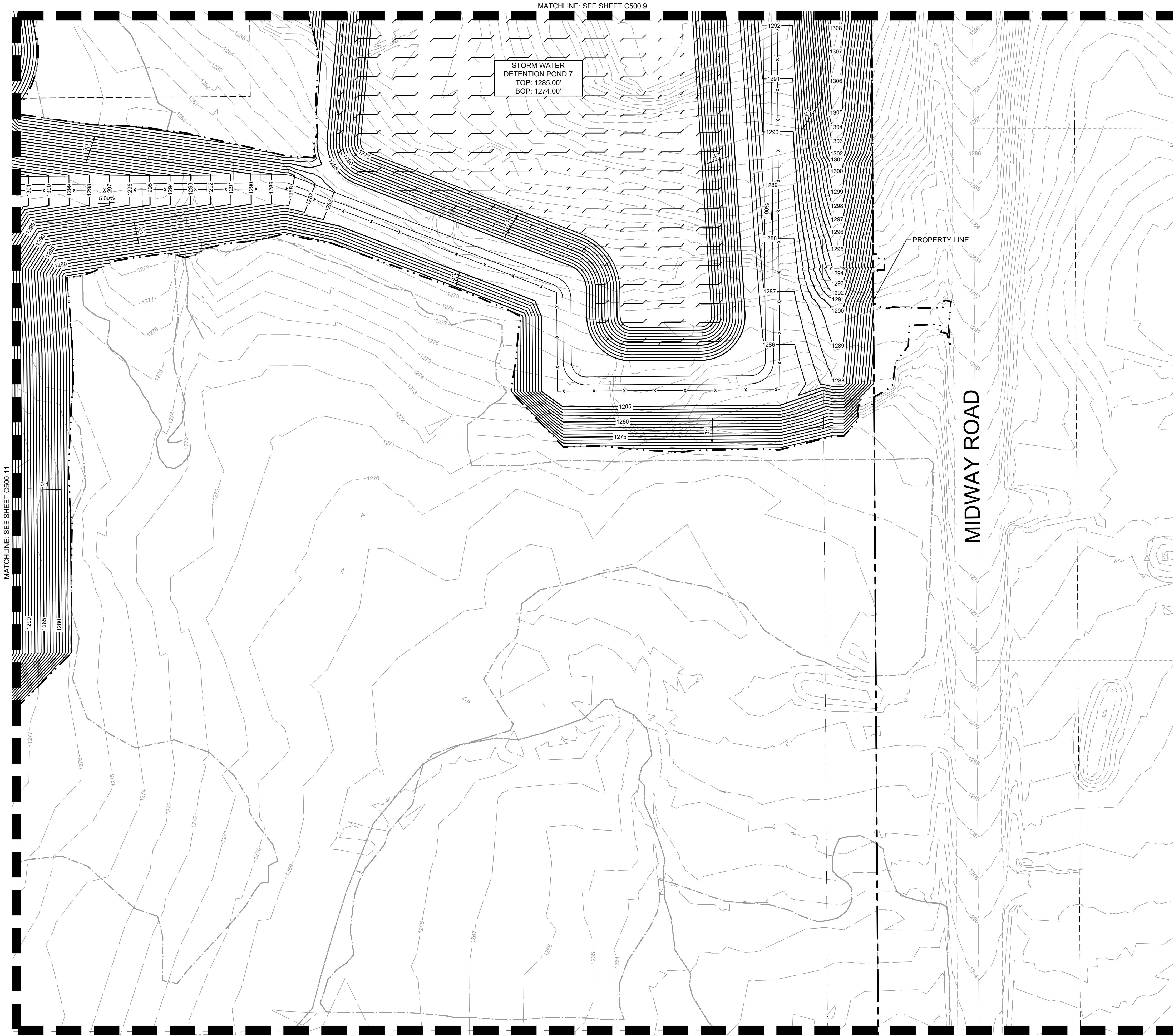


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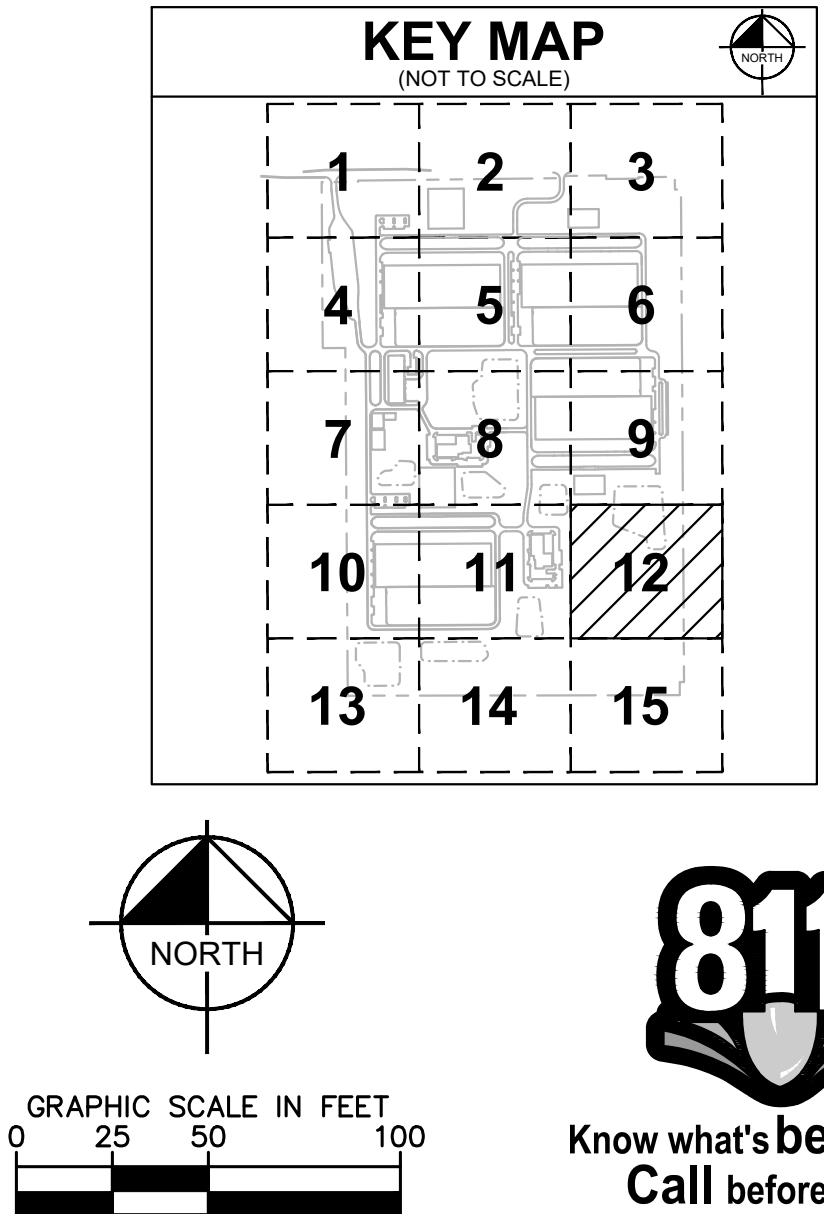


SHEET NUMBER C500.11	HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC HERMANTOWN MINNESOTA	GRADING AND DRAINAGE PLAN				KHA PROJECT 161333002		 © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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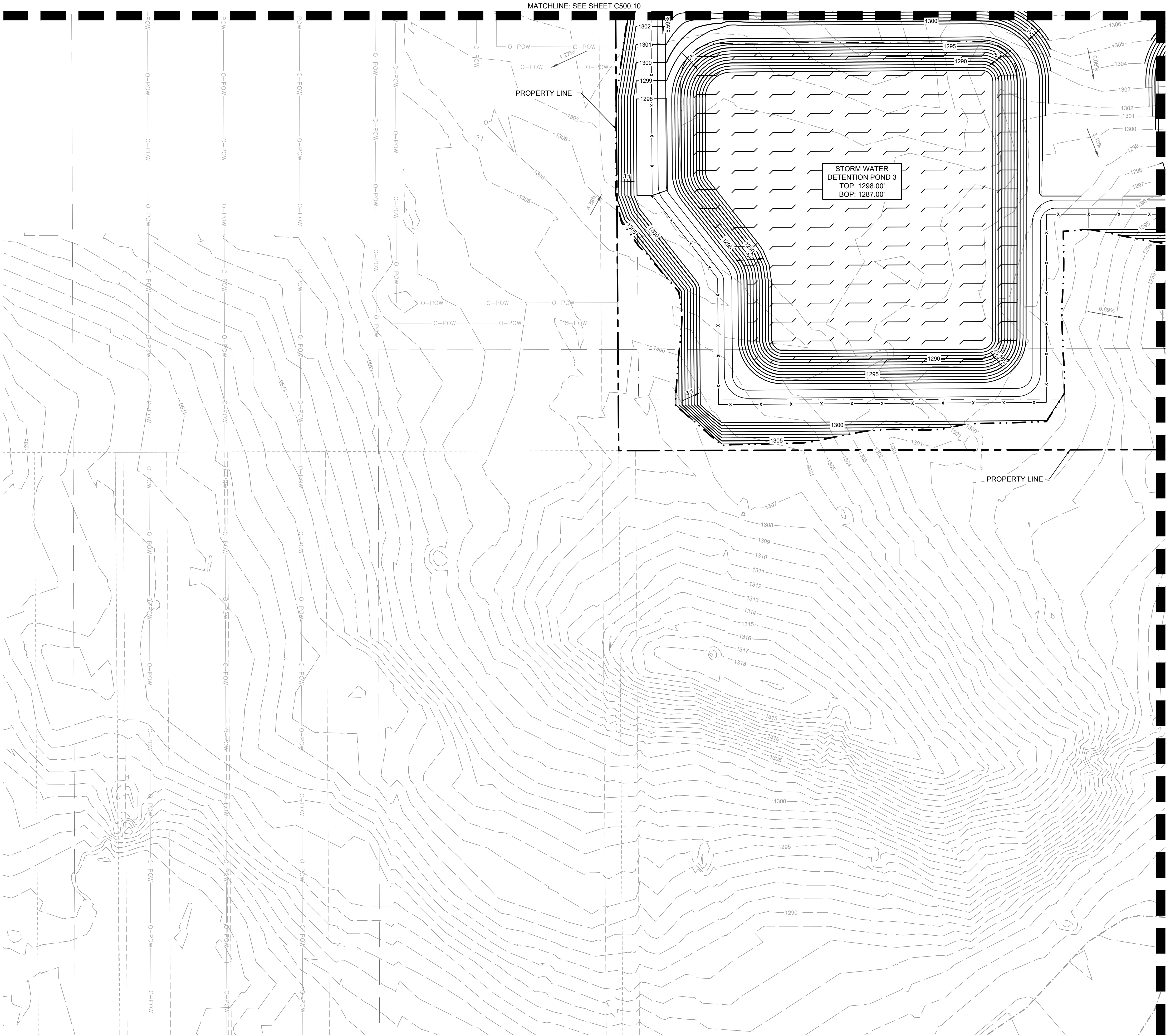
SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND



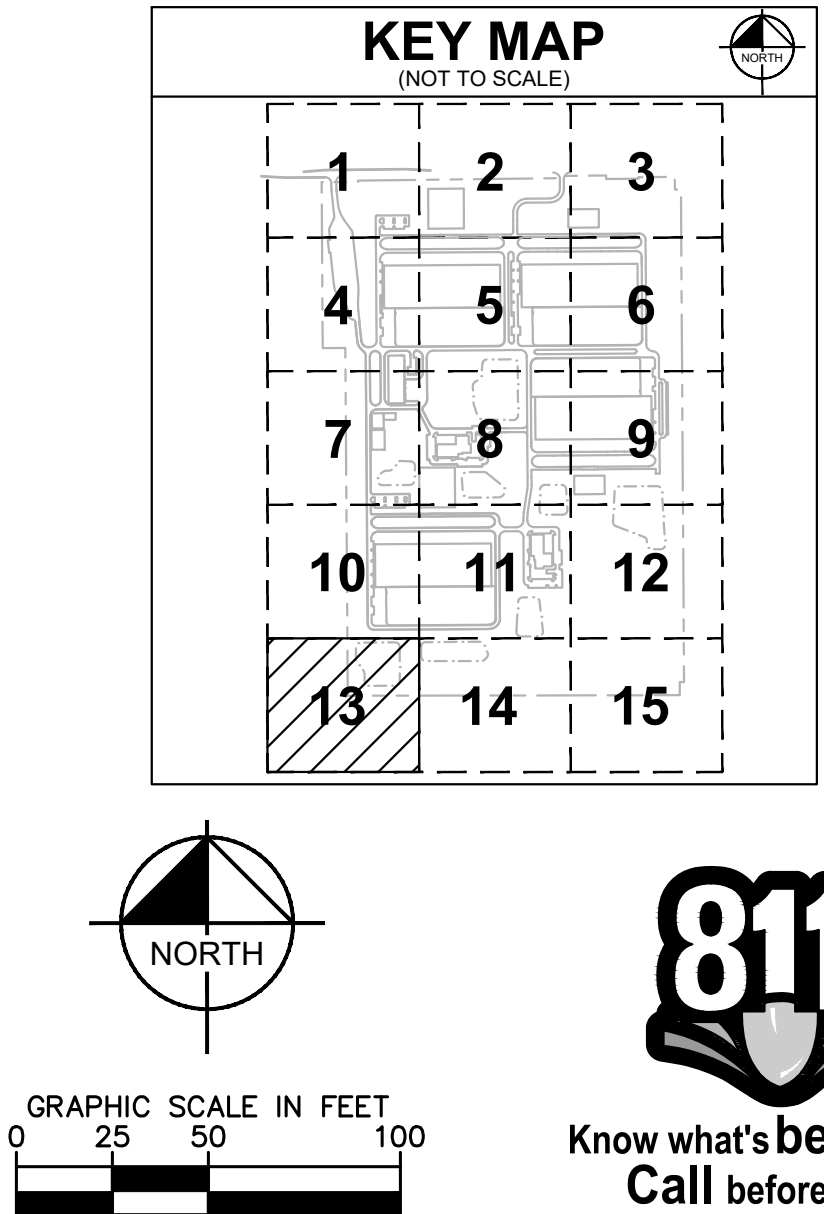
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	GRADING AND DRAINAGE PLAN	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC CHECKED BY BMW		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY
SHEET NUMBER C500.12								

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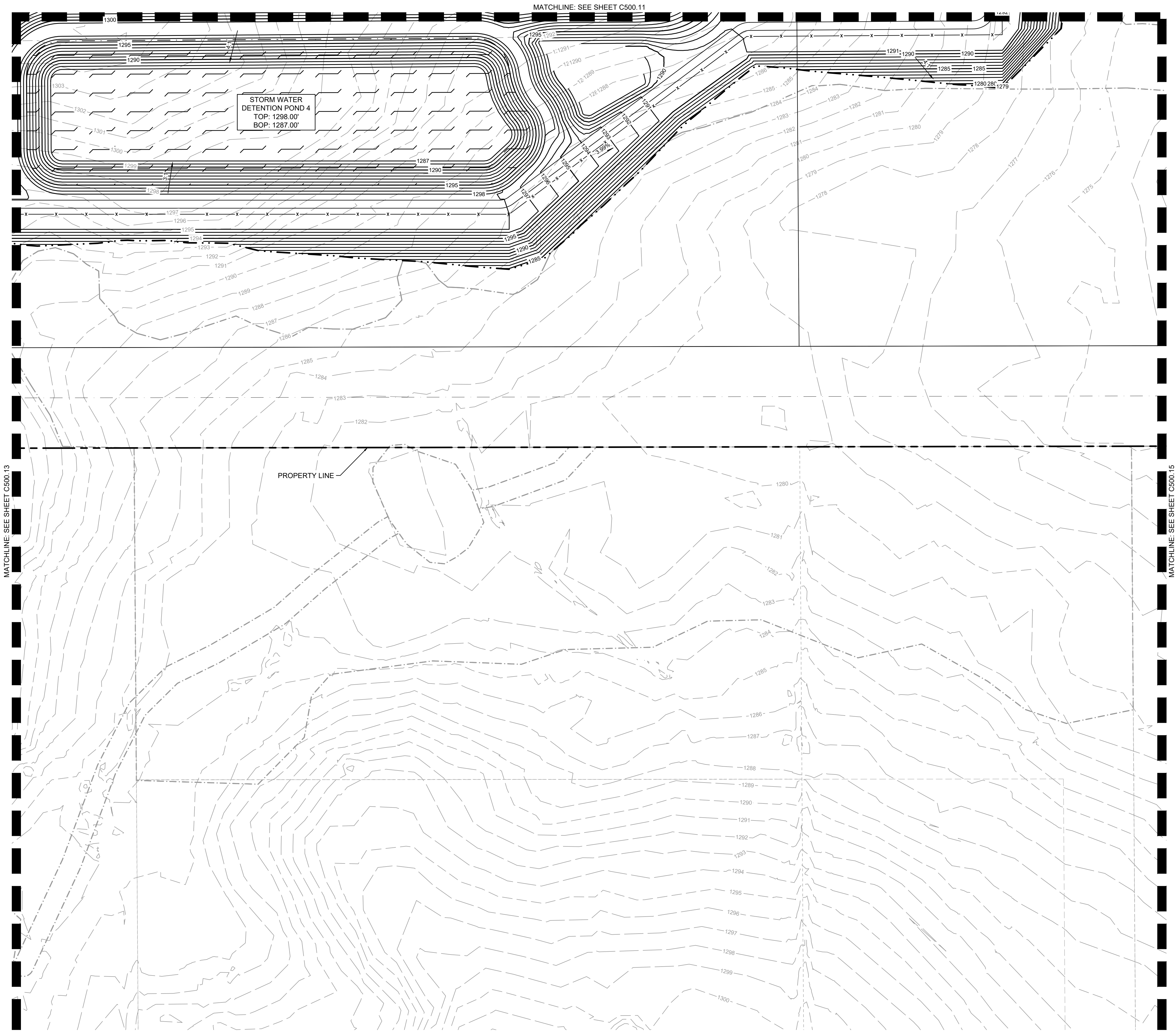
SEE SHEET C500.0 FOR GRADING PLAN NOTES AND LEGEND



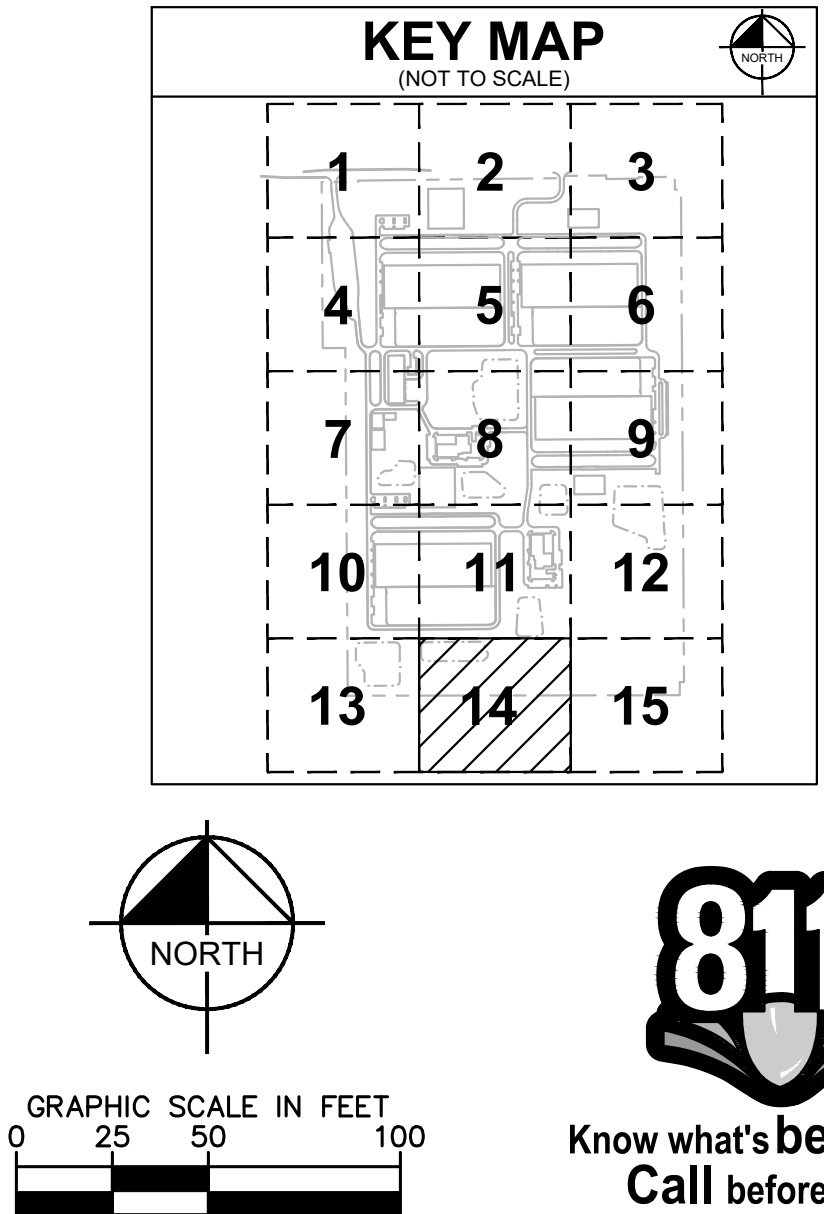
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		GRADING AND DRAINAGE PLAN						
SHEET NUMBER C500.13		REVISIONS		DATE		BY		

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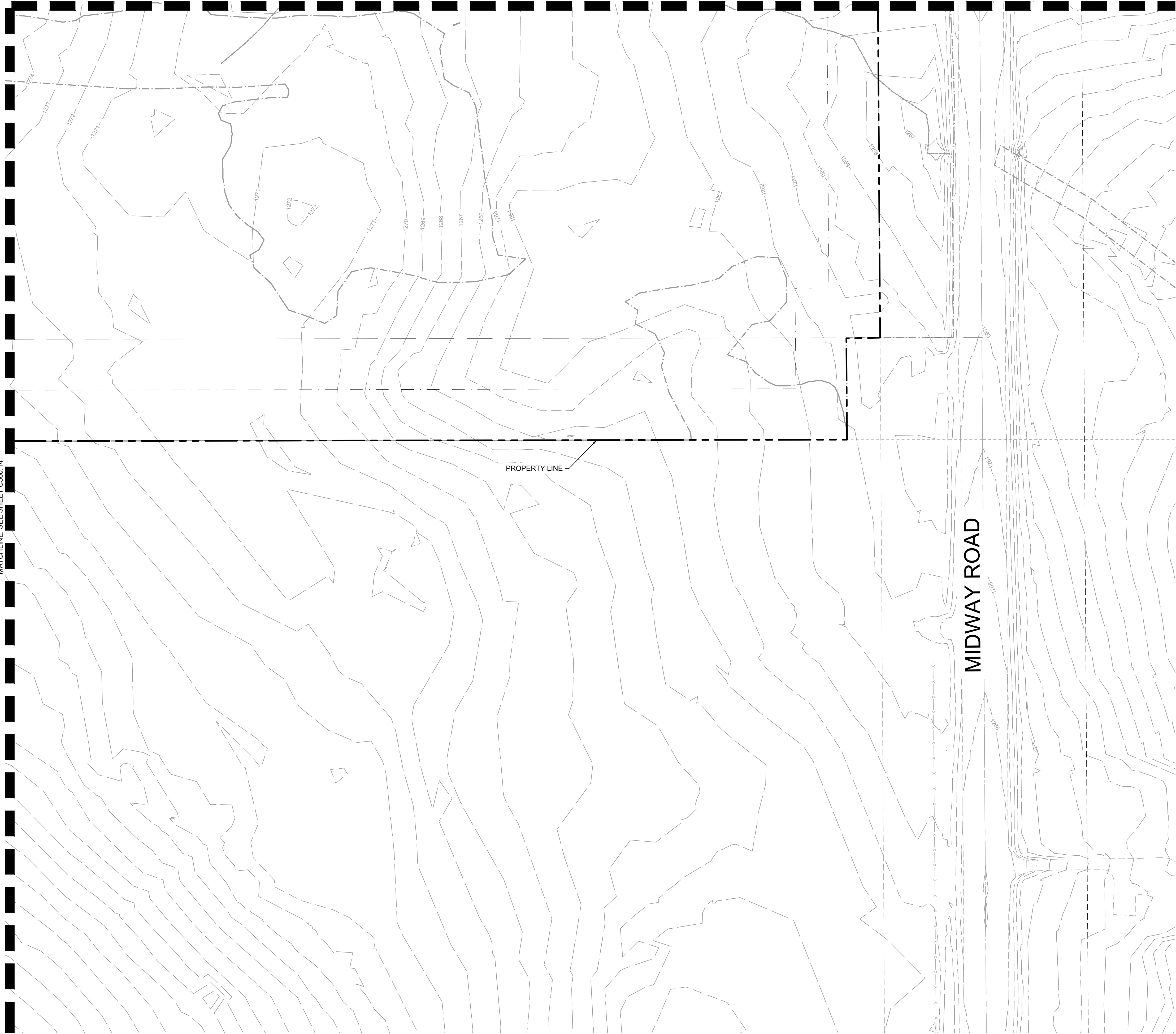
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				No.	DATE	
SHEET NUMBER C500.14						

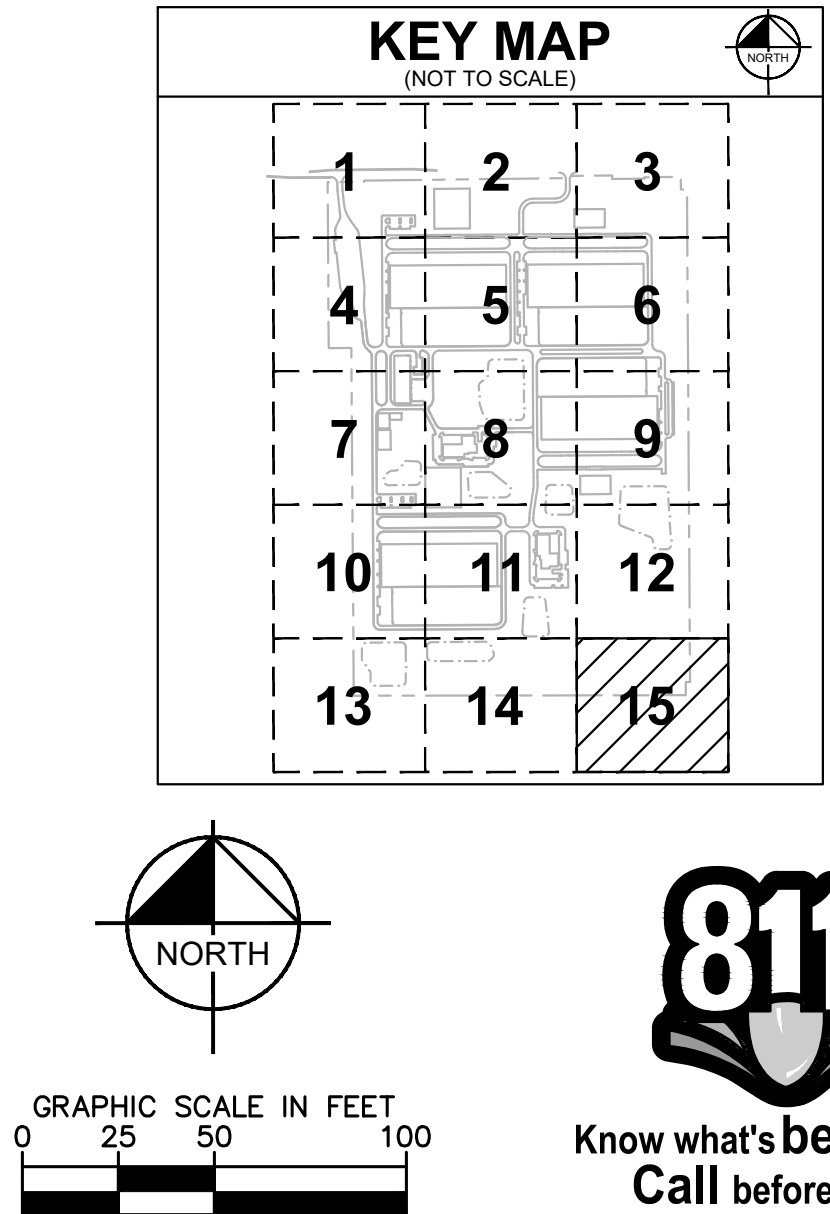
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MATCHLINE: SEE SHEET C500.14

MATCHLINE: SEE SHEET C500.12



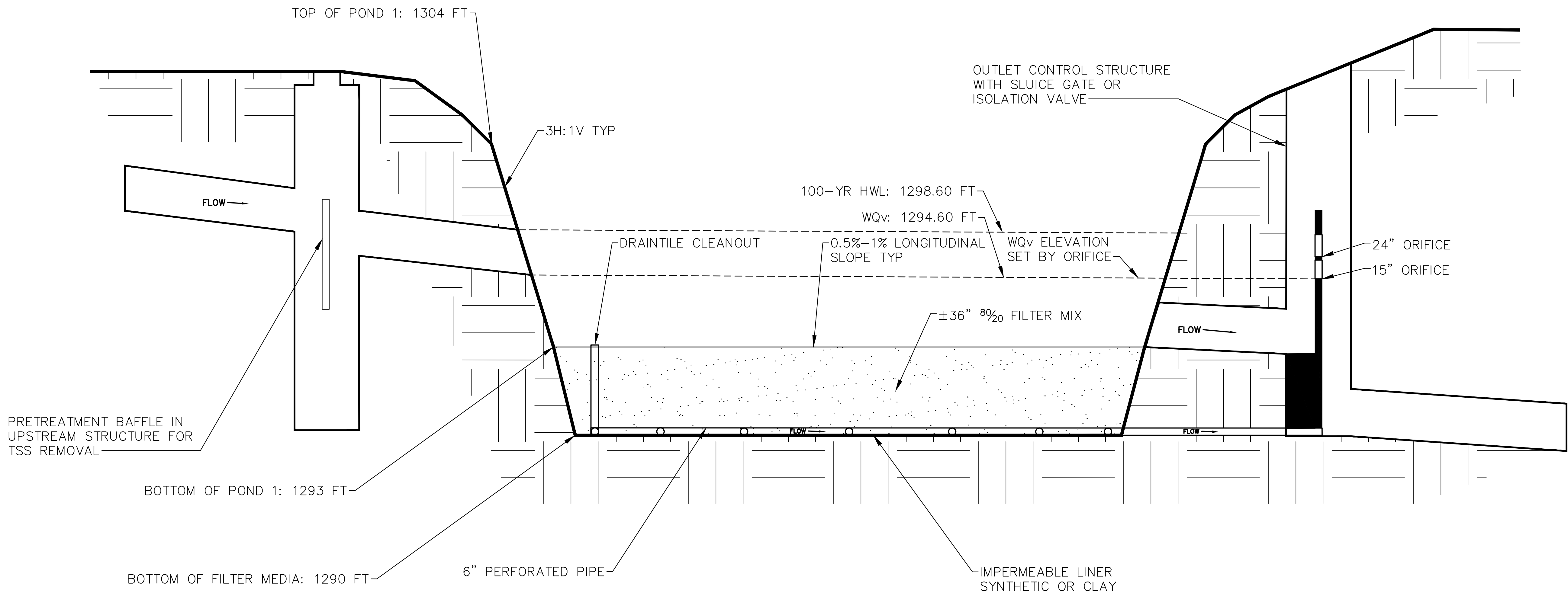
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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC HERMANTOWN MINNESOTA	GRADING AND DRAINAGE PLAN	KHA PROJECT 161333002		Kimley»»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY
		DATE 08/15/2025						
		SCALE AS SHOWN						
		DESIGNED BY JDS						
		DRAWN BY KLSC						
		CHECKED BY BMW						
		SHEET NUMBER C500.15						

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STORMWATER DETENTION POND 1

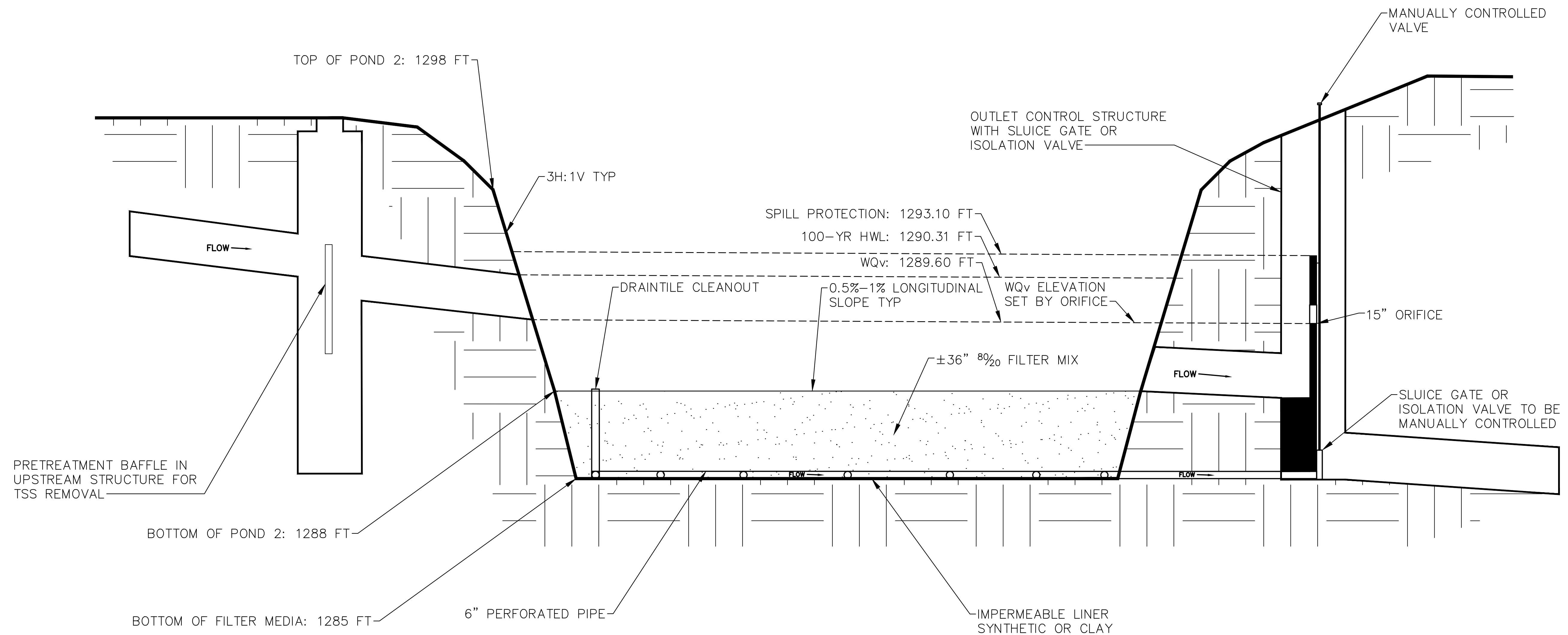


***NOTES:**

- NOT TO SCALE
- STORMWATER CONVEYANCE AND TREATMENT IS SCHEMATIC AND WILL BE FURTHER REFINED
- FILTRATION MEDIA DEPTH OF 3' IS ASSUMED FOR ALL PONDS
- SPILL PROTECTION VOLUME WILL BE CALCULATED BASED ON THE 25-YR, 6-HOUR STORM FOR ALL PONDS SERVING CHEMICAL/FUELING UNLOADING AREAS OR "HOT SPOT" AREAS

HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC HERMANTOWN MINNESOTA		POND DETAILS		KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC, JN CHECKED BY BMW		Kimley»»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
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STORMWATER DETENTION POND 2



*NOTES:

- NOT TO SCALE
- STORMWATER CONVEYANCE AND TREATMENT IS SCHEMATIC AND WILL BE FURTHER REFINED
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- SPILL PROTECTION VOLUME WILL BE CALCULATED BASED ON THE 25-YR, 6-HOUR STORM FOR ALL PONDS SERVING CHEMICAL/FUELING UNLOADING AREAS OR "HOT SPOT" AREAS

[illegible]

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 612-315-1272
WWW.KIMLEY-HORN.COM

161333002
DATE 08/15/2025
SCALE AS SHOWN
DESIGNED BY JDS
DRAWN BY KLSC, JN
CHECKED BY BMW

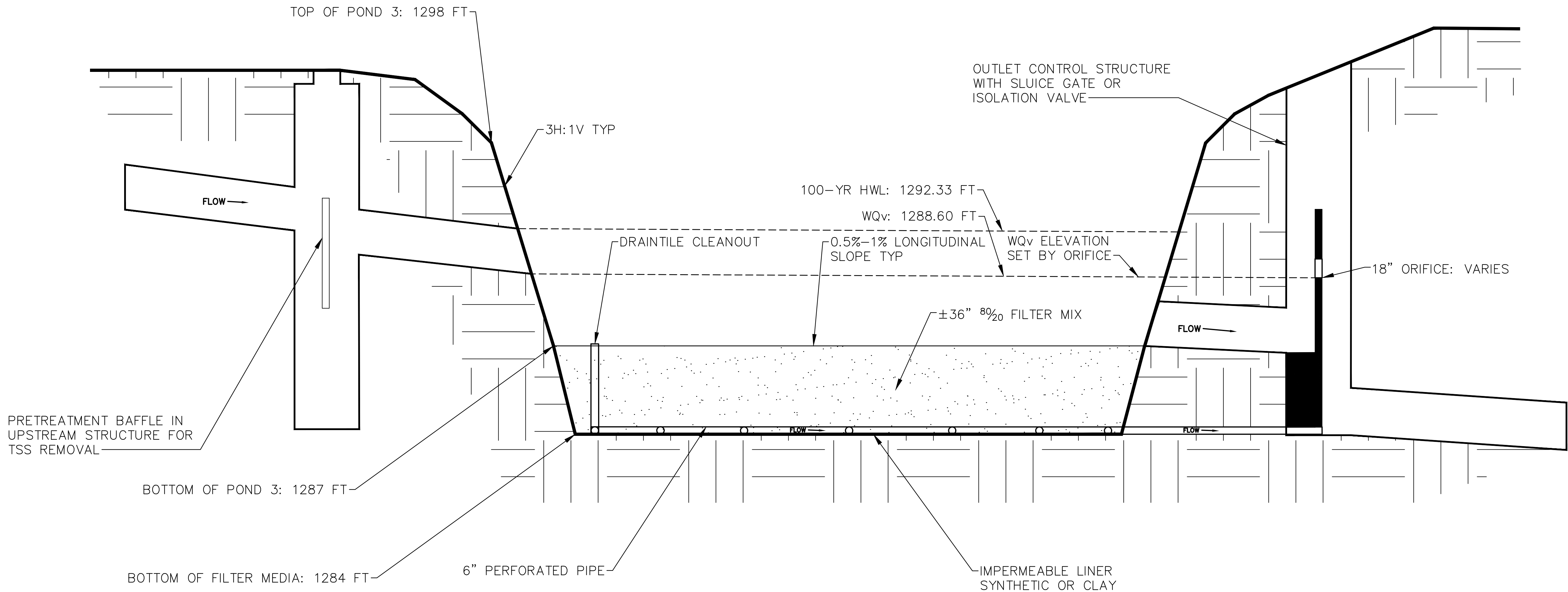
POND DETAILS

HERMANTOWN
INDUSTRIAL
PREPARED FOR
HARMONY GROUP
LLC
ANTOWN MINNE

SHEET NUMBER
C502.2

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STORMWATER DETENTION POND 3

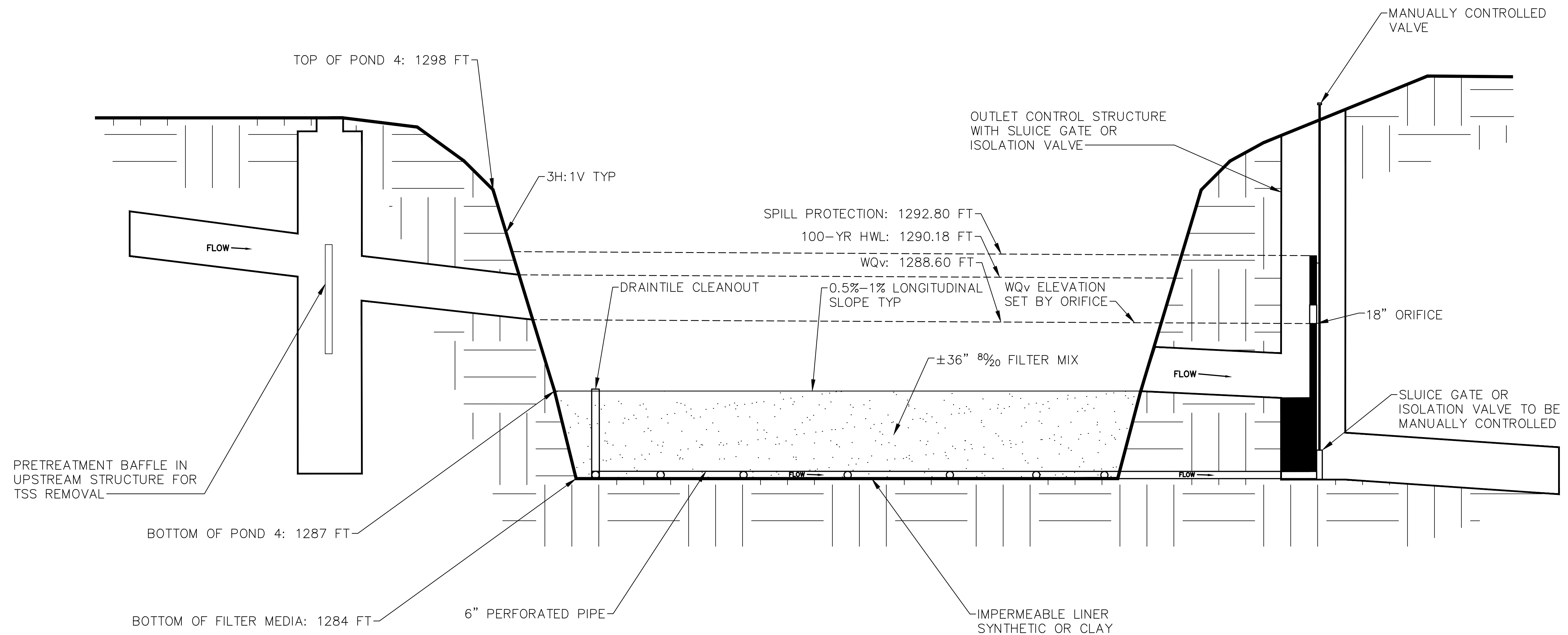


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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC	HERMANTOWN MINNESOTA	SHEET NUMBER C502.3	POND DETAILS	KHA PROJECT 161333002				Kimley»»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	No.	REVISIONS		DATE	BY
				DATE 08/15/2025									
				SCALE AS SHOWN									
				DESIGNED BY JDS									
				DRAWN BY KLSC, JN									
CHECKED BY BMW													

STORMWATER DETENTION POND 4

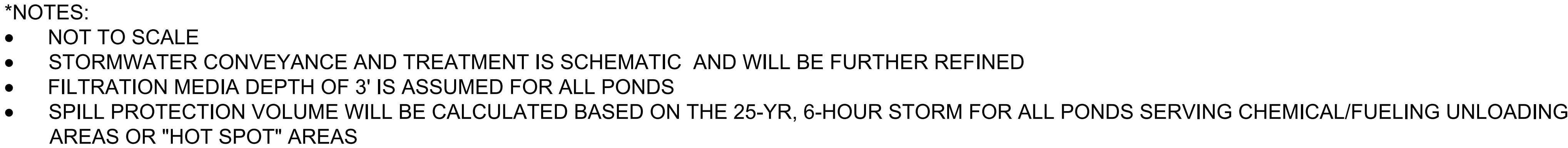


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SHEET NUMBER		HERMANTOWN MINNESOTA	
C502.4		HERMANTOWN MINNESOTA	
POND DETAILS		HERMANTOWN MINNESOTA	
HERMAN TOWN INDUSTRIAL		HERMANTOWN MINNESOTA	
PREPARED FOR		HERMANTOWN MINNESOTA	
HARMONY GROUP		HERMANTOWN MINNESOTA	
LLC		HERMANTOWN MINNESOTA	
SCALE AS SHOWN		HERMANTOWN MINNESOTA	
DESIGNED BY JDS		HERMANTOWN MINNESOTA	
DRAWN BY KLSC, JN		HERMANTOWN MINNESOTA	
CHECKED BY BMW		HERMANTOWN MINNESOTA	
161333002		HERMANTOWN MINNESOTA	
DATE		HERMANTOWN MINNESOTA	
08/15/2025		HERMANTOWN MINNESOTA	
Kimley»Horn		HERMANTOWN MINNESOTA	
2025 KIMLEY-HORN AND ASSOCIATES, INC.		HERMANTOWN MINNESOTA	
11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344		HERMANTOWN MINNESOTA	
PHONE 612-315-1272		HERMANTOWN MINNESOTA	
WWW.KIMLEY-HORN.COM		HERMANTOWN MINNESOTA	
REVISIONS		HERMANTOWN MINNESOTA	
DATE		HERMANTOWN MINNESOTA	
BY		HERMANTOWN MINNESOTA	
No.		HERMANTOWN MINNESOTA	

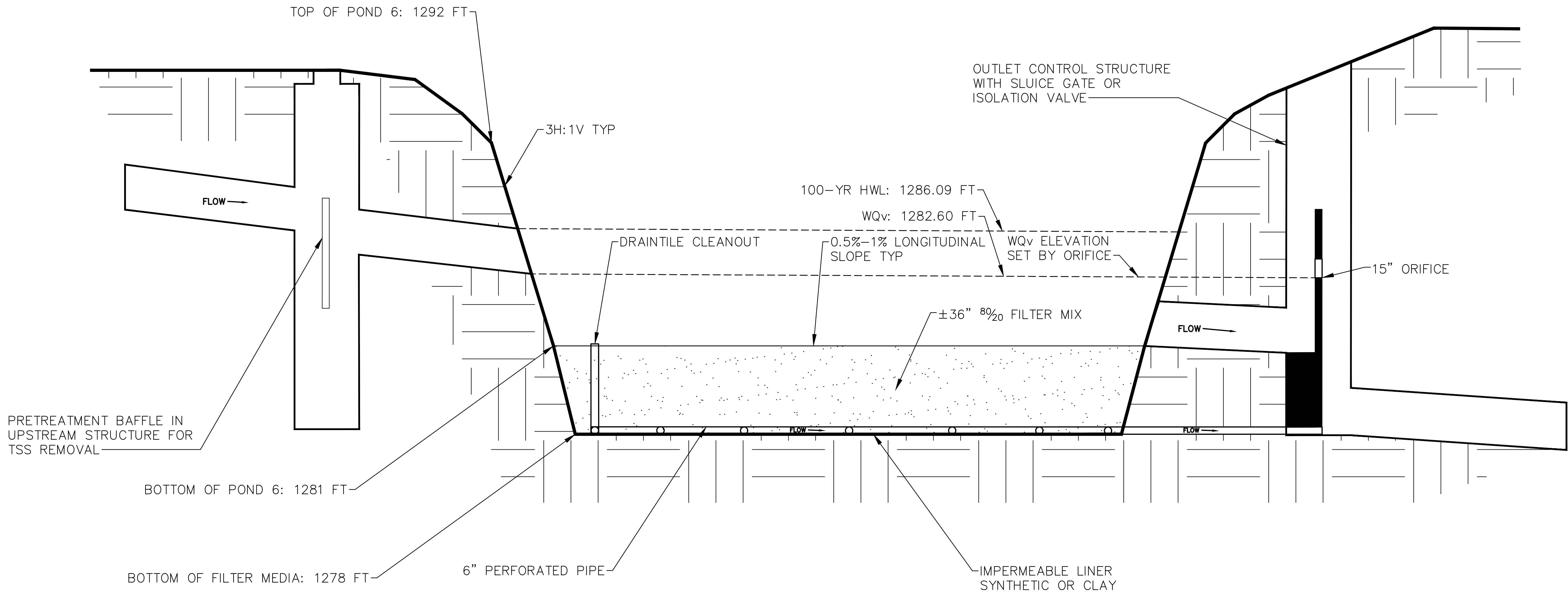
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HERMANTOWN INDUSTRIAL		POND DETAILS		KHA PROJECT 1613330002	
PREPARED FOR HARMONY GROUP LLC		DESIGNED BY JDS		DATE 08/15/2025	
DRAWN BY KLSC_JN		SCALE AS SHOWN			
CHECKED BY BMW		DRAWN BY KLSC_JN			
MINNESOTA					

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STORMWATER DETENTION POND 6

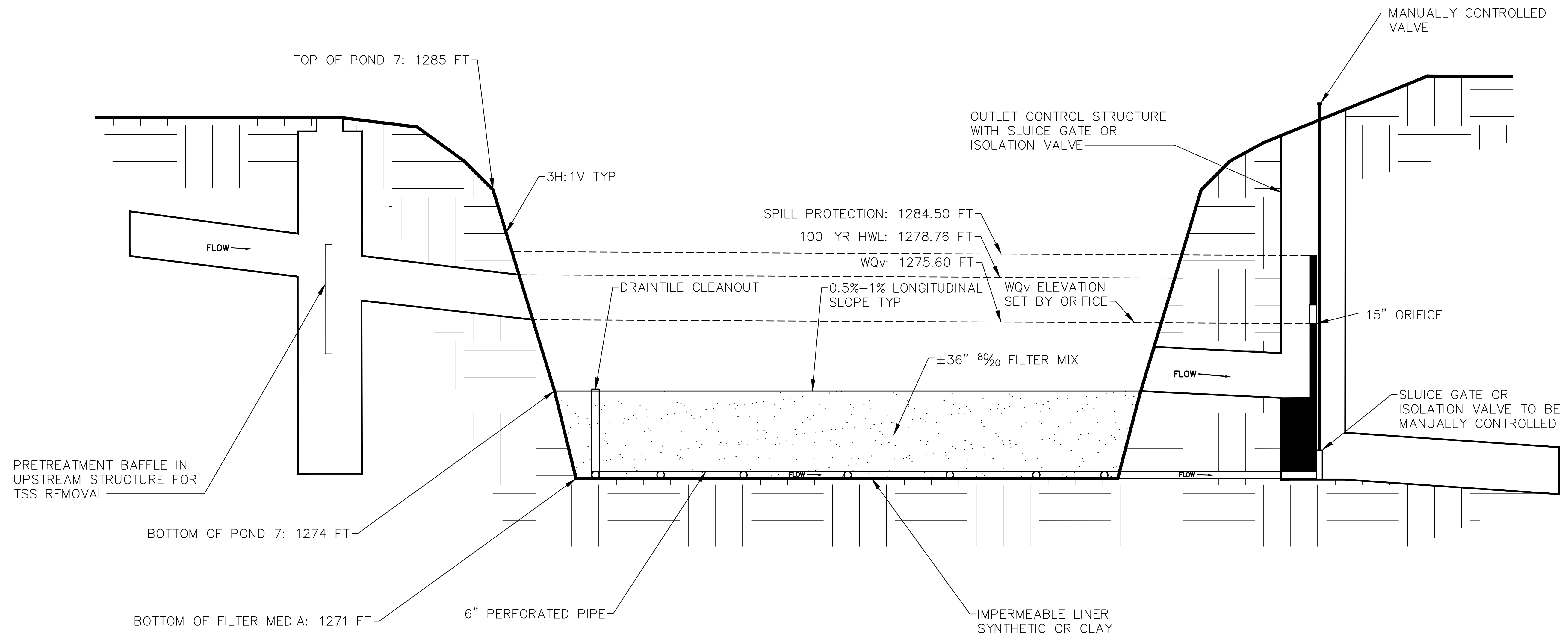


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HERMANTOWN INDUSTRIAL PREPARED FOR HARMONY GROUP LLC HERMANTOWN MINNESOTA	POND DETAILS	KHA PROJECT 161333002 DATE 08/15/2025 SCALE AS SHOWN DESIGNED BY JDS DRAWN BY KLSC, JN CHECKED BY BMW	Kimley»»Horn 2025 KIMLEY-HORN AND ASSOCIATES, INC. 11895 SINGLETREE LANE, SUITE 225, EDEN PRAIRE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY
SHEET NUMBER		C502.6					

STORMWATER DETENTION POND 7



*NOTES:

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|------------------------------|--------------------|--|----|
| SHEET NUMBER | C502.8 | HERMANTOWN
MINNESOTA | |
| HERMANTOWN INDUSTRIAL | | POND DETAILS | |
| PREPARED FOR | | | |
| HARMONY GROUP LLC | | | |
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| | | | |
| | | | |
| KHA PROJECT
161333002 | DATE
08/15/2025 |  <p>2025 KIMLEY-HORN AND ASSOCIATES, INC.
11995 SINGLETREE LANE, SUITE 225, EDEN PRAIRIE, MN 55344
PHONE 612-315-1272
WWW.KIMLEY-HORN.COM</p> | |
| SCALE AS SHOWN | DESIGNED BY JDS | | |
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| No. | REVISIONS | DATE | BY |
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