



## **Hermantown City Council Meeting - Monday, April 7, 2025**

Hermantown's upcoming City Council meeting is scheduled to begin at 6:30 p.m. with members of the public invited and welcome to take part.

Public comment may also be submitted in advance of the meeting. Comments, questions, or concerns can be e-mailed to Community Engagement Director, Joe Wicklund, at [jwicklund@hermantownmn.com](mailto:jwicklund@hermantownmn.com) up to 3:30 p.m. the day of the meeting with the e-mail title "City Council Meeting."

It is important to note that all comments regarding this meeting are public data.

Remote options for attending Hermantown City Council meeting are no longer necessary for public health considerations.

**The 4:30 p.m. Pre-Agenda Meeting will be available in-person only at City Hall.** Public comment is not a factor in the pre-agenda meeting, but the meeting is open and members of the public are invited and welcome to attend to this meeting.



## **AGENDA**

**Pre-Agenda Meeting Monday, April 7, 2025 at 4:30 p.m.**

**Council Chambers, City Hall - Hermantown Governmental Services Building**

**Pre-agenda:** The Pre-agenda meeting is a work session between the City Council and City staff to review the upcoming City Council meeting and future meetings. The agenda is the same document as the upcoming City Council meeting, but does not follow the same format as the City Council meeting. It is a time for the City Council and City staff to have discussions about the agenda items, and asking and answering questions. Traditionally it is not a time for public comment on the agenda items, as the public can listen to the conversation and ask questions or provide input at the upcoming City Council meeting.

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**City Council Meeting Monday, April 7, 2025 at 6:30 p.m.**

**Council Chambers, City Hall - Hermantown Governmental Services Building**

### **Invitation to participate:**

The Hermantown City Council welcomes your thoughts, input and opinions to this meeting. The agenda for this meeting contains a brief description of each item to be considered, and the City Council encourages your participation. If you wish to speak on an item contained in the agenda, you will be allowed to address the Council when a motion is on the floor. If you wish to speak on a matter that does not appear on the agenda, you may do so during the public comment period regularly scheduled and set for the beginning of the meeting.

When addressing the City Council, please state your name and address for the record. Please address the City Council as a whole through the Mayor. Comments to individual Council Members or staff are not permitted. Speakers will be limited to three (3) minutes.

### **Order of discussion**

1. Reading of the resolution title by Mayor
2. Motion/Second
3. Staff Explanation
4. Initial Discussion by City Council
5. Mayor invites public to speak to the motion (3-minute rule)
6. Follow up staff explanation and/or discussion by City Council
7. Call of the vote

**CITY OF HERMANTOWN  
AGENDA**

**Pre-Agenda Meeting Monday, April 7, 2025 at 4:30 p.m.  
Council Chambers, City Hall - Hermantown Governmental Services Building**

**City Council Meeting Monday, April 7, 2025 at 6:30 p.m.  
Council Chambers, City Hall - Hermantown Governmental Services Building**

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

4. **ANNOUNCEMENTS**

*Council Members may make announcements as needed.*

5. **PUBLIC HEARING**

*Only when necessary. The rule adopted three minutes per person if necessary. Any action required after the public hearing will be taken immediately following the closing of the public hearing.*

6. **COMMUNICATIONS**

A. Correspondence 25-35 through 25-58 placed on file

[6](#)

7. **PRESENTATIONS**

A. **Accessory Dwelling Units**

Eric Johnson, Community Development Director  
*(Pre-Agenda Only)*

[9](#)

B. **Water Testing**

Paul Senst, Public Works Director  
*(Pre-Agenda Only)*

[16](#)

C. **FEMA Floodplain Ordinance**

Eric Johnson, Community Development Director  
*(Pre-Agenda Only)*

[24](#)

D. **THC Licensing Conversation**

John Mulder, City Administrator  
*(Pre-Agenda Only)*

E. **Trail Amenities Presentation**

Eric Johnson, Community Development Director  
*(Pre-Agenda Only)*

[31](#)

F. **Water Infrastructure Surcharge**

[33](#)

Trish Crego, Utility & Infrastructure Director  
(Pre-Agenda Only)

8. **PUBLIC DISCUSSION**

*This is the time for individuals to address the Council about any item not on the agenda. The time limit is three minutes per person.*

9. **MOTIONS**

- A. Motion to approve or deny the following Tobacco License Application effective April 8, 2025, through December 31, 2025, contingent upon complete applications being received, successful background checks and license fees being paid in full:

Dollar General      4678 Vaux Road

- B. Appointment of the following to a three-year term:

**Utility Commission**

- Jim Sweeney (*Pending Interview*)

10. **CONSENT AGENDA**

*All items on the Consent Agenda are items which are considered routine by the City Council and will be approved by one motion via voice vote. There will be no discussion of these items unless a Council Member or citizen requests, in which event the item will be removed from the Consent Agenda and considered at the end of the Consent Agenda.*

- A. **Minutes** - Approval or correction of March 17, 2025 City Council Continuation Minutes [39](#)
- B. **Accounts Payable** - Approve general city warrants from March 15, 2025 through March 31, 2025 in the amount of \$1,035,010.27 [47](#)

11. **ORDINANCES**

- A. **2025-10 An Ordinance Amending Chapter 2, Definitions** [58](#)  
*(first reading)*
- B. **2025-11 An Ordinance Amending Chapter 5, Land Use Regulations** [60](#)  
*(first reading)*
- C. **2025-12 An Ordinance Amending Title 2 Of The Hermantown City Code By Amending The Official Zoning Map** [72](#)  
*(first reading)*

12. **RESOLUTIONS**

*Roll call will be taken only on items required by law and items requiring 4/5's votes, all others can be done by voice vote.*

- A. **2025-58 Resolution Designating April 8, 2025 As "Steve Overom Day" In** [79](#)



**The City Of Hermantown**

*(motion, roll call)*

- B. **2025-59 Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Agreement For The Use Of The City Of Hermantown Athletic Fields With The Hermantown Youth Baseball** [82](#)

*(motion, roll call)*

- C. **2025-60 Resolution Approving Preliminary Planned Unit Development With KTJ 360 LLC For The Hermantown Cottages Development** [88](#)

*(motion, roll call)*

- D. **2025-61 Resolution Requesting Advance Funding For The City Of Hermantown From Municipal State Aid Funds For S. P. 202-101-014 And S.P. 202-104-012 In The Amount Of \$800,000.00** [118](#)

*(motion, roll call)*

- E. **2025-62 Resolution Approving Change Order Numbers 19 & 20 (KA Change Order #6) For The NorthStar Ford Arena In The Amount Of \$223,106.09** [120](#)

*(motion, roll call)*

- F. **2025-63 Resolution Approving Pay Request Number 10 For The NorthStar Ford Arena To Kraus-Anderson Construction Company In The Amount Of \$2,093,908.17** [179](#)

*(motion, roll call)*

13. **CLOSED SESSION**

14. **RECESS**

## 2025 CORRESPONDENCE

<u>DATE</u>	<u>LOG #</u>	<u>FROM</u>	<u>TO</u>	<u>REGARDING</u>	<u>FILED</u>
2/28/2025	25-35	Arthur Johnson, Jr., 4263 Heartwood Ln.	Mayor	Proposed Arrowhead Rd. Apartment	2/27/2025
2/28/2025	25-36	Gail Samarzia, 4268 Heartwood Ln.	Mayor Wayne Boucher	Proposed Development 492x W Arrowhead Rd.	2/24/2025
2/28/2025	25-37	Sarah Schonberger, sschonberger@niyamit.com	Mayor & City Council	National Flood Insurance Program	2/24/2025
2/28/2025	25-38	Susie Stephenson, 4292 Heartwood Ln.	Mayor & City Council	Soumis Building Project, 492x Arrowhead Rd.	2/24/2025
2/28/2025	25-39	Darryl Lislowski, 4254 Heartwood Ln.	Mayor & City Council	Soumis Construction Project, 492x Arrowhead Rd.	2/24/2025
2/28/2025	25-40	John Bonte, 4280 Heartwood Ln.	Mayor & City Council	Potential Addition of Apartment Complex, 492x Arrowhead Rd.	2/24/2025
2/28/2025	25-41	Carol Kubiski, 4254 Heartwood Ln.	Mayor & City Council	Arrowhead Rd. Apartment Bldg.	2/27/2025
3/4/2025	25-42	Wayne Boucher, Mayor	Rep. Mary Franson	H.F. No 972 Letter of Support for Duluth; Lakewood Water Treatment Plant Improvements	3/3/2025
3/4/2025	25-43	Mark Papko, Duluth International Airport	John Geissler, Councilor	Duluth International Airport Zoning Ordinance	2/26/2025
3/5/2025	25-44	Wayne Boucher, Mayor	Rep. Pete Stauber	Letter of Support for City of Duluth's Lakewood Water Treatment Plant	3/4/2025
3/7/2025	25-45	Eric Johnson, Comm. Dev. Dir.	Dan Belden & Peter Douglas, WLSSD	Comprehensive Plant Urban Service Area Boundary Expansion	3/6/2025
3/11/2025	25-46	MN Bureau of Mediation Services	John Mulder, City Administrator	Contract Mediation	3/10/2025
3/19/2025	25-47	Sandy Karnowski, HYBA	Joe Wicklund, Asst. City Admin/Communications	Sponsorship	3/17/2025

## 2025 CORRESPONDENCE

<u>DATE</u>	<u>LOG #</u>	<u>FROM</u>	<u>TO</u>	<u>REGARDING</u>	<u>FILED</u>
3/19/2025	25-48	Northern Natural Gas	City of Hermantown	Natural Gas Safety Data Sheet and Map	3/17/2025
3/19/2025	25-49	Eric Johnson, Comm. Dev. Dir.	Planning Commission	Oppidan PUD, 4110 Lavaque Rd.	3/18/2025
3/19/2025	25-50	Eric Johnson, Comm. Dev. Dir.	Planning Commission	Amendments to the City Zoning Code Regarding Communication Services Facilities	3/18/2025
3/19/2025	25-51	Eric Johnson, Comm. Dev. Dir.	Planning Commission	Amendments to the City Zoning Code Regarding Communications Services Facilities	3/18/2025
3/19/2025	25-52	Eric Johnson, Comm. Dev. Dir.	Planning Commission	Rezone of Parcels 395-0010-08985, 395-0010-09040, 395-0010-09015, 395-0010-09055, 395-0010-09015, 395-0010-09170, 395-0010-09180, 395-0010-09182, 395-0010-09200, 395-0010-09202, 395-0010-09207, 395-0010-09210, 395-0010-09215 and 395-0010-09220 from S-1, Suburban BLM, Business and Light Manufacturing	3/18/2025
3/19/2025	25-53	Eric Johnson, Comm. Dev. Dir.	Planning Commission	2045 Comprehensive Plan	3/18/2025
3/24/2025	25-54	Jim Brenning, City of Duluth	Alissa McClure, City Clerk	Resolution No. 25-PUC-001, Water Infrastructure Surcharge	3/21/2025
3/25/2025	25-55	Gopher State One Call	City of Hermantown	Notice to Local Governmental Units	3/24/2025
3/31/2025	25-56	Wayne Boucher, Mayor	Hon. Susan Collins	Letter of Support for City of Duluth's Lakewood Water Treatment Plant	3/27/2025
4/1/2025	25-57	United States Dept. of Commerce	John Mulder, City Administrator	2025 Annual Survey of Public Employment & Payroll	4/1/2025

## 2025 CORRESPONDENCE

<u>DATE</u>	<u>LOG #</u>	<u>FROM</u>	<u>TO</u>	<u>REGARDING</u>	<u>FILED</u>
4/1/2025	25-58	Elevated Management	Eric Johnson, Comm. Dev. Dir.	Maple Fields Mobile Home Park, Park Closure Statement	3/26/2025



**CITY COUNCIL MEETING DATE:** 04/07/2025

**TO:** Mayor & City Council

**FROM:** Eric Johnson, Community Development Director

**SUBJECT:** Accessory Dwelling Units

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☐ **RESOLUTION:**

☐ **ORDINANCE:**

☒ **OTHER:** Memo

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### **REQUESTED ACTION**

Direction from City Council on creation of an ordinance allowing Accessory Dwelling Units in residentially zoned districts

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### **BACKGROUND**

City staff has been discussing the addition of accessory dwelling units (ADU) to residentially zoned districts for the past 18 months. In January 2024, ADU's were discussed at the Planning and Zoning Commission meeting. There was a general support of ADU's from the Commission but no further action was taken at the time.

Recently, there has been requests from City residents to allow ADU's in residential areas. As a result, City staff has reviewed other municipalities to understand what they allow and under what conditions.

Staff reviewed zoning ordinances from the following communities:

- St. Louis County
- City of Duluth
- City Minneapolis
- City of Richfield
- City of Northfield
- City of Burnsville
- City of White Bear Lake
- City of Golden Valley

All of these communities allowed ADU's and identified conditions under which they could be permitted. Generally, the following apply to most of the communities:

- Minimum size: 300 square feet
- Maximum size: 800 square feet
- Primary residence owner must live on premises
- Water and sewer connections from primary structure
- Minimum of 1 additional parking space for the ADU

- May be part of a garage or separate structure
- Maximum heights ranging from 12 feet to 21 feet

Assuming City Council directs staff to continue with the permitting of ADU's, staff will draft an ordinance update to the S-1, R-1 and R-3 zoning districts. The draft ordinance would be brought to the Planning and Zoning Commission for a public hearing and recommendation, then to the City Council for their action.

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**SOURCE OF FUNDS (if applicable)**

N/A

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**ATTACHMENTS**

Accessory Dwelling Units – Community specific memo

## **Accessory Dwelling Units – March 31, 2025**

### **St. Louis County, MN**

- 1 ADU allowed per 1 acre minimum lot in shoreland areas
- Maximum size – 700 square feet
- Maximum height – 20 feet
- ADU may be part of a garage
- ADU may not be used for commercial or rental purposes
- ADU must meet all setbacks per underlying zoning district
- ADU must have adequate septic along with principal structure
- Applies to both shoreland and non-shoreland areas
- ADU's are allowed on lots less than ½ acre in shoreland areas, however
  1. Maximum size – 250 square feet
  2. Maximum height – 14 feet

### **Duluth, MN**

- Must be attached to permanent foundation (no RV's)
- Primary residential owner does not need to live on premises
- Maximum of 800 square feet. May not exceed square footage of principal structure
- 20 feet maximum height. May not exceed height of principal structure
- 1 additional parking space required
- Connected to public water and sanitary. May be stubbed from house or have its own services

Accessory dwelling units are secondary or subordinate dwelling units added to an existing one or two family dwelling; these are often called granny flats, mother-in-law homes, or carriage houses. These must be located on the same platted lot or tax parcel as a primary residential structure and must be owned by the same owner, but may be rented (with an approved rental permit from the Life Safety Division of the City of Duluth Fire Department).

Accessory dwelling units must provide the basic requirements for living, sleeping, cooking, eating, and sanitation, and are constructed on compliant permanent footings or foundation, with permanent connections to public sanitary sewer and water (which may be stubbed from the primary dwelling).

No recreational vehicle, or structure on a chassis, can be an accessory dwelling unit. Only one accessory dwelling unit is allowed per one or two family dwelling.

The city does not require that the owner of a primary residential structure with an accessory dwelling unit live on site. Traditionally that has been common, with the owner living on site in the primary residential structure and renting out the accessory dwelling to family or non-family members. But residency is not a requirement in the zoning code. The owner of the parcel that contains the primary and accessory dwellings may live outside the city or state.

Accessory dwelling units must not exceed 800 square feet of total floor space, nor shall it exceed the total floor area square footage of the principal structure. It should be designed and built consistent in

character and design with the primary dwelling, and shall not exceed the height of the principal residential structure or 20 feet, whichever is greater. In addition, at least one off-street parking space shall be provided in addition to off-street parking that is required for the primary dwelling.

#### Minneapolis, MN

- Minimum size – 300 square feet. Maximum size 800 square feet
- Maximum height – 21 feet
- Water and sewer connections are from primary structure

ADUs are accessory to both owner-occupied and non-owner-occupied single- and two-family dwellings.

Minimum ADU size is 300 sq. ft.; maximum is 800 sq. ft. Maximum building height is 21 feet.

Eaves/overhangs shall not extend closer than two feet to the lot line (exception for alley side). Openings (windows, doors, vents, etc.) are not permitted within three feet of side (shared) property line (exception for alley side).

Habitable space in the ADU and hallways, bathrooms, toilet rooms, laundry rooms shall have a ceiling height of not less than seven feet.

Water and sewer connections are specific to a PID number. A detached ADU is an accessory structure to the primary dwelling and is typically served through water and sewer service extensions from the primary structure to the ADU. However, dedicated water and/or sewer services to a detached ADU may be allowed in special circumstances. The layout and design of any new services shall be in accordance with engineering design standards and governing ordinances as well as the Minnesota Plumbing Code.

#### Richfield, MN

- No more than one ADU shall be allowed on a lot.
- ADU must be attached to a garage or to the primary residential structure. Standalone units are not allowed
- The lot must meet current width and depth requirements.
- The creation of an ADU shall not create a separate tax parcel.
- An owner of the property must live on the lot. Proof of homesteading shall be required, and a rental license is required for the non-owner-occupied unit.
- ADUs must have a minimum floor area of 300 square feet, and cannot exceed 800 square feet.
- Exterior materials for new ADU construction must match the structure to which the ADU is attached.
- On the main residential structure, no additional entrances facing the public street may be added.
- No exterior stairways constructed with raw or unfinished lumber may be added to access an ADU.
- Excess garage space may be converted to an ADU without replacement so long as at least two auto parking spaces are preserved.
- A minimum of three off-street parking spaces are required in order to add an ADU of any kind.



### Northfield, MN

- ADUs can be located as part of a detached garage or can be their own separate structure. If the ADU is part of a garage, then the garage regulations should be followed.
- Limit on size: cannot exceed 50% of the gross floor area of the main home or 1,000 square feet, whichever is less.
- Constructed to be compatible with the main home and neighborhood.
- Must be at least 10 feet from the main home.
- Parking is not required, but have to provide unrestricted, improved access must be provided from the street to the ADU entrance.
- Must have a kitchen, bathroom, sanitary and water services.
- The ADU or main home may be rented if the owner of the property lives resides on the property.

### Burnsville, MN

- Be built and maintained with a consistent look/style of the primary home
- Be constructed on a permanent foundation with no wheels
- Contain no more than two bedrooms
- Be a minimum of 300 square feet
- Not exceed more than 50% of the primary home's square footage
- Have 1 additional parking space for ADU

**Garage Conversion:** A garage cannot be converted into an ADU unless a new 440-square-foot (or larger) garage is built without the need for a variance

**Entry Door:** If the exterior door for the ADU is on the same wall as the primary residence front door, the doors must be at least 20 feet apart

Both attached and detached ADUs must be connected to and served by the same municipal water, sanitary sewer, gas and electric utility, private well and/or septic system as the primary home. Temporary water, sewer and electrical connections are not allowed.

Properties that contain an ADU must provide one additional off-street parking space (in addition to the two spaces required for the primary home). An additional garage may be constructed if it complies with all state and City regulations.

All dwellings must be built and maintained to comply with all City Codes, and residents must adhere to the following:

Property owner must live in either the primary residence or ADU as their permanent home a minimum of 185 days each year

An ADU cannot be subdivided or sold separately from the primary home

Park Dedication fees are required when adding an ADU. These, and any additional utility connection fees will be collected if and when a building permit is issued for renovations

### White Bear Lake, MN

- ADUs shall be located in existing single family structures (principal or accessory), with the owner of the single family structure residing in the principal structure. Separate ownership of the accessory unit is not permissible
- Exterior modifications which detract from the single family character of the neighborhood will not be permitted
- ADUs shall not exceed 880 square feet or 40% of the habitable area within the single family home, whichever is less
- Where conditions or circumstances of a specific property make implementation of the zoning code standards impractical, City Council *may* alter the conditions of the section for the specific property in question
- If you are renting an ADU to a non-relative you are required to have a [rental license](#)

Begins with the homeowner submitting a [Land Use Application](#), including plans, to the Community Development Department

1. City staff brings the application to the Planning Commission and makes a recommendation for approval as-is, approval with additional conditions or denial. In turn, the Planning Commission hears the case and makes one of the above recommendations to City Council
2. City Council hears the case and has the final authority in approving or denying the application

The process typically takes 2-3 months and requires a non-refundable [application fee](#).

### Golden Valley, MN

- One ADU per lot. An ADU is only allowed in conjunction with a single-family home.
- The property owner must reside in either the principal dwelling or ADU as either their sole or primary residence.
- Minimum floor area: 250 square feet
- Maximum floor area: 950 square feet or 35 percent of the home's livable floor area, whichever is less
- Height: 12 feet measured from the structure floor to the top plate or highest horizontal component of the frame building.
- Setbacks: 35' – Front yard; 10' – side yard; 25' – rear yard; 10' minimum from existing home
- Designed and use materials that complement and match the principal dwelling.
- Entrances shall only face the side or rear yard.
- One additional off-street parking space is required for the ADU above the minimum required for single-family homes. The creation of an ADU by conversion of garage space shall not reduce the home's provide off-street parking below the minimum requirements.
- Utility connections for the ADU shall be provided from the existing principal structure so long as adequate capacity exists or can be provided.





**CITY COUNCIL MEETING DATE:** April 7, 2025

**TO:** Mayor & City Council

**FROM:** Paul Senst, Public Works Director

**SUBJECT:** Water Testing Updates/Changes

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☐ **RESOLUTION:**

☐ **ORDINANCE:**

☒ **OTHER:**

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### **REQUESTED ACTION**

Understanding of changes to the way we water test, costs, and responsibilities.

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### **BACKGROUND**

Our water supply has been tested by the City of Duluth once per week per the Minnesota Dept. of Health (MDH) guidelines. The cost of this has been borne by the City of Duluth. The City has tests at four different sites, alternating between two different sites each week.

The samples are tested for Total Coliform & E.Coli, & Residual Chlorine.

As of 4/1/2025 the City of Duluth will NO LONGER provide this service. It will need to have samples collected by City Staff and tested by an outside source.

Along with this testing being passed on to the City, because the population of Hermantown has grown, the MDH has reviewed our system and we now must sample from eight sites in the City of Hermantown.

Along with the weekly testing at the eight different sites, we may have to test for other items as directed by MDH. I have attached a copy of the spread sheet we get annually from the MDH as to what we have to test for additionally.

We have solicited a pricing from PACE Analytical to perform the testing on an Annual Basis for us, which is attached.

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### **SOURCE OF FUNDS (if applicable)**

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### **ATTACHMENTS**

Quote(s) from:  
Pace testing



4730 Oneota St  
Duluth, MN 55807  
Phone: 218-727-6380  
Fax: 218-727-3049

#### Quote Prepared for:

City of Hermantown  
4971 Lightning Drive  
Hermantown, MN 55811  
United States

Paul Sens  
218-729-3640  
psens@hermantownmn.com

#### Quote Information

Quote Name	00182176 - City-of-Hermantown_Analytical-Testing_0321202	Created Date	3/21/2025
		Expiration Date	6/30/2025
Quote Number	00182176		

#### Pace® Contact Information

Account Executive  
Fiona Parcher

[fiona.parcher@pacelabs.com](mailto:fiona.parcher@pacelabs.com)

Project Manager

Melissa Hogfeldt

[melissa.hogfeldt@pacelabs.com](mailto:melissa.hogfeldt@pacelabs.com)

218-336-2117

#### Project Information

Standard TAT:	10 Business Days	Report Level	Level 2
Project Location	MN	EDD Requirements:	None
		Certification	MDH
		Requirements	

#### Payment Information

Customer Invoice Paul Sens

To Contact:

Payment Terms: 30 Days

Customer Invoice psens@hermantownmn.com

To Email:

#### Minimum Laboratory Fee (per work order)

\$300

#### Quote Details

Quantity	Method	Matrix	Product	Sales Price	Sub-Total	Total-Price
96.00	SM 9223B/ Quanti Tray (enumeration)	Water Only	Total Coliform & E. Coli	\$87.00	\$8,352.00	\$8,352.00
96.00	SM 4500-CI	Water Only	Chlorine, Total Residual (water)	\$26.00	\$2,496.00	\$2,496.00
10.00	SM 9223B/ Quanti Tray (enumeration)	Water Only	Total Coliform & E. Coli	\$87.00	\$870.00	\$870.00
106.00			Sample Disposal (per sample)	\$9.00	\$954.00	\$954.00
13.00			Environmental Impact Fee (Per Invoice)	\$35.00	\$455.00	\$455.00



Estimated Grand-Total

\$13,127.00

#### Additional Pricing Considerations:

***If you have specific questions about any conditions noted below, please contact your Pace Analytical Representative.***

- Unless accepted, signed and returned, or unless noted above, proposal expires 60 days from Created Date above.
- Quoted prices include standard Pace Analytical QA/QC, reporting limits, compound lists and standard report format unless noted otherwise.
- If project specific MS/MSD samples are submitted, they may be billable.
- Volatile soils need to be frozen within 48 hours of collection. To facilitate this, they should be submitted to the lab within 40 hours of collection.
- TAT (Turn Around Time) is in working days unless otherwise specified above.
- To ensure requested TAT is available, please coordinate with your Pace Analytical representative at time of sample submittal.
- Any deviation from the above quoted scope of work, including sample arrival date and volume, may result in adjustment of prices.
- Please include Quote Number on Chain-of-custody to ensure proper billing.
- Pricing includes standard delivery of bottle/sample kits and coolers.
- Charges will apply for non-standard shipping and for projects where shipping exceeds 10% of the total analytical costs of the shipment.
- All air and air-related equipment charges (i.e. rental fees for unused, unreturned or damaged equipment, are detailed in the Pace® Canister Use Policy)
- PACE RESERVES THE RIGHT TO SURCHARGE ON CREDIT CARD PAYMENTS BASED ON CARD TYPE AND ZIP CODE.
- PACE RESERVES THE RIGHT TO PASS ALONG ALL EXPEDITED SHIPPING FEES. A MINIMUM FEE OF \$100 PER COOLER MAY BE APPLIED.

[For New Customer and Credit Application Form, Click Here](#)

#### Pace Analytical Terms and Conditions

These Standard Terms (Terms) govern all services that Pace Analytical \_\_\_\_\_ ("Lab") will perform on behalf of \_\_\_\_\_ ("Client"), and supersede any other written provisions (including purchase/work orders) related to the services, as well as all prior discussions, courses of dealing, and/or performance, unless a separate, executed agreement for the same or similar services already exists between the Lab and Client (collectively "the Parties), or the Parties subsequently agree to terminate or amend these Terms, as allowed in Section 10 and 12, respectively.

##### **1. Definitions:**

**Chain of Custody (COC):** A document evidencing the collection, handling, delivery, etc. of a sample or Sample Delivery Group

**Holding Time:** The maximum amount of time a sample may be stored before being analyzed.

**Sample Delivery Acceptance (SDA):** The date and time when Lab officially receives a sample or Sample Delivery Group, as evidenced by either a notation on the Chain of Custody or an entry in the Lab's information management system (LIMS).

**Sample Delivery Group (SDG):** A set of samples normally shipped and reported to the Lab as a group.

**Turnaround Time (TAT):** The maximum allowable period within which Lab must report out its analytical testing results to Client, calculated from the date of SDA.

##### **2. Client's Obligations:**

a. To initiate Lab's services, Client must reference a quotation number (if applicable) and complete one of the following steps:

- i. Submit a completed purchase order by:
  1. hand (i.e., in person)
  2. mail, or
  3. e-mail; or
- ii. Place an order by:
  1. telephone
  2. e-mail, or
  3. delivering a sample (or SDG) to Lab and completing the COC

b. Subject to occasional, mutually agreed-upon exceptions, Client must give five (5) days' prior notice for each sample delivery and provide the following information:

- i. Name of the responsible project manager
- ii. Name of the person submitting the sample
- iii. Name/location of collection site
- iv. Date and time of collection
- v. Specific testing being requested, and
- vi. Sufficient details about reporting requirement(s).

c. Client shall also:



- i. Remain liable for any loss or damage to sample(s) until SDA (including that which may occur as a result of third-party shipping delays)
- ii. Payment Terms: Net 30 days from date of invoice unless a valid fully executed agreement is on file with Pace.
- iii. Notify Lab about any disputed charges or results within 30 days of receiving applicable invoice
- iv. Reimburse Lab for any costs\* related to delinquent payments
- v. Demonstrate its (or, if applicable, the Prime Client's) credit worthiness by accessing the following link: <https://www.pacelabs.com/my-account.html> and clicking on "Client Profile Information." (Note: Client must pre-pay for services pending completion of this process and Lab's approval of a credit line.)
- vi. Pay for any services it orders on any already analyzed sample
- vii. Obtain Lab's written consent before assigning billing or payment of Lab services to any third party, (failure to do so shall mean Client remains responsible for the payment of any outstanding balance)
- viii. Refrain from using any of Lab's supplies (e.g., containers) in connection with any non-Lab work
- ix. Ensure that any sample(s) containing any known hazardous substance is (are) labeled, packaged, manifested, transported, and delivered to Lab in accordance with all applicable regulations. (No SDA of any "high hazard" sample can occur without Lab's express permission.)
- x. Obtain Lab's prior written consent before publishing Lab's name and/or any data
- xi. Reimburse Lab for any out-of-scope services and related expenses (e.g., defending its analytical results or responding to a subpoena for documents and/or expert testimony)
- xii. Excuse Lab for any failure or delay in its performance caused by someone or something outside its control, e.g., a third party or "Force Majeure" event or circumstance, such as natural disasters or government shutdowns; and
- xiii. Accept responsibility for any claims, damages, losses, expenses\*, etc. to the extent caused by Client's: breach of these Terms; negligence or willful misconduct (includes Client's use of Lab data for anything other than the specific purpose for which it was intended), or violation of applicable laws.

### **3. Lab's Obligations:**

Lab shall:

- a. Perform its services in accordance with generally accepted analytical and environmental laboratory practices and professionally recognized standards.
- b. Identify on quotation if services will be sent to another Lab location or to a third party.
- c. Promptly notify Client of any:
  - i. Missing sample or otherwise compromised sample(s)
  - ii. Significant delays or other issues affecting Lab's services, or
  - iii. Subpoena or similar demand for Lab compliance
- d. Maintain high-quality services.
- e. Prepare and keep accurate records.
- f. Obtain/maintain any permit(s), license(s), or certification(s).
- g. Charge its fees on a net 30 basis (unless otherwise agreed).
- h. Impose a one and one half percent (1.5%) per month late charge on any unpaid balances.
- i. Assess a two and one half percent (2.5%) surcharge on any payments made by credit card. (Client can avoid this charge by paying with a debit card, an e-check/check by phone, a wire transfer, or an ACH payment.)
- j. Invoice Client for each sample or SDG as reported.
- k. Assume risk of loss or damage to any Client sample(s) upon SDA.
- l. Initiate analysis within established holding times – so long as SDA occurred within 48 hours of collection or the first half of the maximum allowed holding time.
- m. Indemnify Client for any claims, damages, losses, expenses\*, etc. to the extent they were caused by Lab's breach of these Terms, negligence or willful misconduct, or the negligence and willful misconduct of persons for whom Lab is legally responsible.
- n. Warrant the results, with the express understanding that this warranty is exclusive and does not extend to any merchantability or fitness for a particular purpose.

### **4. Lab's Discretionary Actions:**

Lab may:

- a. Cease all services, including any release of data, if Client does not pay as agreed
- b. Reject or rescind any SDA if Lab decides sample poses any risk or hazard.
- c. Charge or bill Client directly for:
  - i. Any supplies (including containers) that are not used or returned
  - ii. Expedited outbound/return shipping for any sample that is not time-sensitive
  - iii. Disposal of any air samples that have not been reclaimed within seven (7) days of Lab's SDA thereof
  - iv. Disposal of any other sample not been reclaimed within 21 days of Lab's SDA thereof, or as otherwise required
  - v. A minimum fee for invoicing and/or handling any sample
  - vi. A sample that underwent SDA, but was not analyzed, at Client's direction
  - vii. Additional shipping and handling as deemed necessary
  - viii. Change in scope and/or rescheduling fees
  - ix. Minimum fees or additional surcharges as necessary
  - x. Reasonable attorneys' fees
  - xi. Project resampling related to missed deliveries, etc.
  - xii. Off cycle pricing increase dictated by the market
  - xiii. Any request for re-analysis following release of the report if the results are within the variability of the method (or



acceptable parameters)

- d. Return unused portions of samples found or suspected to be hazardous to Client, at Client's cost.
- e. Retain Client's unreleased data and/or cancel Client's web portal access pending payment in full.
- f. Increase prices on an annual basis to support market-driven cost-increases.

**5. Multiple Dilutions:** Lab will report a single value for each analyte based on the most appropriate analysis or dilution for that analyte. Based on general screening where appropriate, samples will be reported on a dilution-only basis due to concentrations of target analytes present. Lab may attempt a 10-fold more concentrated analysis if practicable. Client may also request and pay for additional dilutions if practicable.

**6. Dry Weight Correction / Percent (%) Moisture:** Consistent with all applicable reporting methods, Lab will automatically analyze any solid sample (soil) for % moisture to allow for dry weight correction and charge accordingly. If "wet weight" reporting is requested by the client or the regulatory agency, Lab will maintain the charge for dry weight correction even if the results were not corrected for the applicable reporting criteria.

**7. Confidentiality:** The Parties agree that they will take all reasonable precautions to prevent the unauthorized disclosure of any proprietary or confidential information of each other and that they will not disclose such information except to those employees, subcontractors, or agents who have expressly agreed to maintain confidentiality.

**8. Governing Law:** These Terms shall be construed and interpreted pursuant to the laws of the State of Minnesota without giving effect to the principles of conflicts of law thereof.

**9. Term:** The Parties shall perform the services identified in the applicable purchase order or other agreement until completed or terminated in accordance with Section 10 below

**10. Termination:**

- a. Either party may terminate these Terms upon 30 days' prior written notice.
- b. Lab may immediately terminate for any breach by Client, including its failure to pay within 60 days of Lab's dated invoice.

**11. Limitation of Liability:**

- a. If a court of competent jurisdiction finds that Lab failed to meet applicable standards and if Client suffers damages as a result, Lab's aggregate liability for its negligence or unintentional breach of contract shall not exceed the total fee paid for its services.
- b. This limitation shall not apply to any Client losses arising from Lab's negligence or willful misconduct, so long as Client:
  - i. Notifies Lab of any issue within thirty (30) days of receiving applicable invoice, and
  - ii. Allows Lab to defend its data, even to a regulatory agency that may have previously rejected same.
- c. Notwithstanding the foregoing, neither Lab nor Client shall be liable to the other for special, incidental, consequential, or punitive damages.

**12. Amendment/Change Order:** Any attempt to modify, vary, supplement, or clarify any provision of these Terms is of no effect unless reduced to writing and signed by both Parties.

**13. Storage of Data:** Following final report issuance, Lab will retain back-up data and final test reports for ten (10) years in a format from which the data and/or test report can be reproduced.

**14. Intellectual Property:** Lab shall retain sole ownership of any new method, procedure, or equipment it develops or discovers while performing services for Client pursuant to these Terms. Lab may, however, grant a license to the Client for its use of same.

**15. Non-competition:** Client shall not solicit or recruit any Lab personnel for at least 12 months following the termination of the services governed by these Terms.

**16. Non-assignment:** Neither party may assign or transfer any right or obligation existing under these Terms without prior written notice to the other party, except that Lab may freely transfer the services to another Lab location or, with Client's permission, subcontract the services to a third-party.

**17. Insurance:** Lab carries insurance with the limits of coverage as indicated below and will, upon Client's request, submit certificates of insurance showing same.

- a. General Liability - \$1,000,000 each occurrence; \$2,000,000 general aggregate;
- b. Personal and Advertising Injury - \$1,000,000;
- c. Automobile Liability - \$1,000,000 combined single limit;
- d. Excess Liability Umbrella - \$5,000,000 aggregate; \$5,000,000 each occurrence;
- e. Worker's Compensation Insurance - statutory limits; and
- f. Professional Liability \$5,000,000 aggregate, \$5,000,000 per claim.

**18. Miscellaneous Provisions:**

- a. In the absence of an executed agreement between the Parties, the SDA will constitute acceptance of these Terms by Client.





4730 Oneota St  
Duluth, MN 55807  
Phone: 218-727-6380  
Fax: 218-727-3049

- b. The Parties may use and rely upon electronic signatures and documents for the execution and delivery of these Terms and any amendments, notices, records, disclosures, or other documents of any type sent or received in accordance with these Terms.
- c. The Parties are at all times acting and performing as independent contractors; neither one shall ever be considered an agent, servant, employee, or partner of the other.
- d. These Terms shall be binding upon, and inure to the benefit of, the Parties and their respective successors and assigns.
- e. Lab's compliance with a subpoena or other order shall not violate any requirement for confidentiality between the Parties.
- f. If any Term herein is invalidated or deemed unenforceable, it shall not affect the validity or enforceability of the other Terms.

**IN WITNESS WHEREOF**, Client and Lab have executed this Agreement through their duly authorized representatives as of the last date below:

[Client] \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Pace Analytical

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

\*May include reasonable attorney's fees

Quote Prepared by:

Prepared By

Terrie Fudge

Email

terrie.fudge@pacelabs.com



# 2025 Monitoring Schedule

Hermantown, PWSID 1690043

		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
<b>BACTI/TOTAL CHLORINE RESIDUAL*</b>	Sample Date												
	Required # of Samples	8	8	8	8	8	8	8	8	8	8	8	8
	Send Monthly Report to MDH By the 10th Day	X	X	X	X	X	X	X	X	X	X	X	X
<b>NITRATE**</b>	Sample Date												
	NONE REQUIRED IN 2025												
<b>LEAD/COPPER</b>	Sample Month												
	NONE REQUIRED IN 2025												
<b>WQP***</b>  22	Sample Month												
	NONE REQUIRED IN 2025												
<b>FLUORIDE</b>	Sample Date												
	NONE REQUIRED IN 2025												
	Send Monthly Report to MDH By the 10th Day												
<b>CCR****</b>	Print CCR				X								
	Distribute CCR to Consumers							07/01					
	Copy of CCR & Certification Form to MDH BY JULY 1							07/01					

X - Due within the month indicated

\*Total Chlorine Residual - Only required for systems that add chlorine

\*\*Nitrate - Systems will be notified by MDH if monitoring is increased

\*\*\*WQP - Water Quality Parameters

\*\*\*\*CCR - Consumer Confidence Report

Print your CCR from MDH website



# 2025 Monitoring Schedule

Hermantown, PWSID 1690043

		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
<b>TURBIDITY</b>	NONE REQUIRED IN 2025												
<b>TOC</b>	Sample Date												
	NONE REQUIRED IN 2025												
<b>ALKALINITY</b>	Sample Date												
	NONE REQUIRED IN 2025												
<b>THM/HAA5</b>	Sample Date	01/06			04/07			07/07			10/06		
	Required # of Samples	2			2			2			2		

23

X - Due within the month indicated

Print your CCR from MDH website





**CITY COUNCIL MEETING DATE:** 04/07/2025

**TO:** Mayor & City Council

**FROM:** Eric Johnson, Community Development Director

**SUBJECT:** Floodplain Management Ordinance

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☐ **RESOLUTION:**

☐ **ORDINANCE:**

☒ **OTHER:** Memo

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### **REQUESTED ACTION**

Direction from City Council on a revision to the recently approved Chapter 15 Floodplain Management

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### **BACKGROUND**

On March 3, 2025, the City Council approved Ordinance 2025-09 revising Chapter 15 – Floodplain Management. City staff had been working with MN DNR on this revision for a number of months.

On March 25, 2025, the City received an email from the MN DNR regarding the listed FIRM (Flood Insurance Rate Map) stating the following:

‘Upon review of the city’s adopted ordinance, FEMA noticed one of the effective FIRM panel references missing from section 3.2 of the ordinance (27137C3735E). I looked back in our records and the panel was included in the original draft sent to the City, and then I incorrectly requested it be removed from the version conditionally approved by the DNR, which was sent on January 28, 2024. This is entirely my oversight and I apologize for that.’

**“1502.2 Incorporation of Maps by Reference.** The following maps together with all attached material are hereby adopted by reference and declared to be a part of the official zoning map and this Ordinance. The attached material includes the Flood Insurance Study for St. Louis County, Minnesota, and Incorporated Areas, dated March 25, 2025, and the Flood Insurance Rate Map panel numbers 27137C3733E, 27137C3734E, 27137C3735E, 27137C3741E, 27137C3742E, 27137C3743E, 27137C3744E, 27137C3753E, 27137C3754E, 27137C3755E, 27137C3756E, 27137C3758E, 27137C3761E, 27137C3762E, 27137C3763E, 27137C3764E, 27137C3766E, 27137C3768E, all dated March 25, 2025, all prepared by the Federal Emergency Management Agency. These materials are on file in the office of the City Clerk.”

This additional FIRM Panel, as it applies to Hermantown is located in the NW corner of the City, generally ranging from Hwy 194 on the South, Solway Road on the west, Abrahamson Road on the east and Seville Road on the north.



The inclusion of this additional FIRM panel information can either be accomplished from an administrative process or by an amendment to the ordinance. Staff will pursue the recommended course as directed by the City Council.

---

**SOURCE OF FUNDS (if applicable)**

N/A

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**ATTACHMENTS**

March 25, 2025 MN DNR Email  
FEMA FIRM Panel 27137C3735E

St. Louis County  
Unincorporated Areas  
270416

27137C3735E  
3/25/2025  
Not Printed

27137C3755E  
eff. 3/25/2025

3750E  
/2025

46.847263, -92.275205  
City of Hermantown  
270708





## CH-Alissa McClure

---

**From:** MN\_Floodplain (DNR) <floodplain.dnr@state.mn.us>  
**Sent:** Tuesday, March 25, 2025 1:02 PM  
**To:** CH-Eric Johnson  
**Cc:** CH-Alissa McClure  
**Subject:** RE: Conditional Approval: Hermantown Floodplain Ordinance

Good afternoon Eric,

Upon review of the city's adopted ordinance, FEMA noticed one of the effective FIRM panel references missing from section 3.2 of the ordinance (27137C3735E). I looked back in our records and the panel was included in the original draft sent to the City, and then I incorrectly requested it be removed from the version conditionally approved by the DNR, which was sent on January 28, 2024. This is entirely my oversight and I apologize for that. In the past, when working with local governments on adopted ordinances containing errors/missing panel references, those changes are able to be made administratively without holding another meeting or hearing. With that said, the ordinance needs to be revised to reflect the correct FIRM panel reference, which I've included below. I will leave it up to the City to determine the appropriate steps to amend the adopted ordinance, but please note that the DNR has no expectations that the amendment be processed via another council meeting or hearing.

Again, my apologies for not identifying this change in the version sent in January. If you have any questions or concerns that you would like to discuss feel free to email or give me a call.

***"1502.2 Incorporation of Maps by Reference.** The following maps together with all attached material are hereby adopted by reference and declared to be a part of the official zoning map and this Ordinance. The attached material includes the Flood Insurance Study for St. Louis County, Minnesota, and Incorporated Areas, dated March 25, 2025, and the Flood Insurance Rate Map panel numbers 27137C3733E, 27137C3734E, 27137C3735E, 27137C3741E, 27137C3742E, 27137C3743E, 27137C3744E, 27137C3753E, 27137C3754E, 27137C3755E, 27137C3756E, 27137C3758E, 27137C3761E, 27137C3762E, 27137C3763E, 27137C3764E, 27137C3766E, 27137C3768E, all dated March 25, 2025, all prepared by the Federal Emergency Management Agency. These materials are on file in the office of the City Clerk."*

Respectfully,

**Ricky Hoffman**

Shoreland & Floodplain Planner | Ecological & Water Resources

**Minnesota Department of Natural Resources**

500 Lafayette Rd

St. Paul, MN 55155-4032

Phone: 651-259-5710

Email: [ricky.hoffman@state.mn.us](mailto:ricky.hoffman@state.mn.us)

[mndnr.gov](http://mndnr.gov)



---

**From:** CH-Eric Johnson <eric.johnson@hermantownmn.com>

**Sent:** Friday, March 7, 2025 4:24 PM

**To:** MN\_Floodplain (DNR) <floodplain.dnr@state.mn.us>

**Cc:** Strauss, Ceil C (DNR) <ceil.strauss@state.mn.us>; Speldrich, Bri (DNR) <Brianna.Speldrich@state.mn.us>; Hoffman, Ricky (DNR) <Ricky.Hoffman@state.mn.us>; CH-Alissa McClure <aMcClure@hermantownmn.com>; MN\_Floodplain (DNR) <floodplain.dnr@state.mn.us>

**Subject:** Re: Conditional Approval: Hermantown Floodplain Ordinance

**This message may be from an external email source.**

Do not select links or open attachments unless verified. Report all suspicious emails to Minnesota IT Services Security Operations Center.

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**Caution:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Ricky, the City approved the ordinance on March 3.

We're working with the paper to get the affidavit of publication. Should have next week

I'll get you the checklist and signed/sealed ordinance when I'm back in the office March 17.

Thanks

Eric

Get [Outlook for iOS](#)

---

**From:** MN\_Floodplain (DNR) <[floodplain.dnr@state.mn.us](mailto:floodplain.dnr@state.mn.us)>

**Sent:** Friday, March 7, 2025 4:06:07 PM

**To:** CH-Eric Johnson <[eric.johnson@hermantownmn.com](mailto:eric.johnson@hermantownmn.com)>

**Cc:** Strauss, Ceil C (DNR) <[ceil.strauss@state.mn.us](mailto:ceil.strauss@state.mn.us)>; Speldrich, Bri (DNR) <[Brianna.Speldrich@state.mn.us](mailto:Brianna.Speldrich@state.mn.us)>; Hoffman, Ricky (DNR) <[Ricky.Hoffman@state.mn.us](mailto:Ricky.Hoffman@state.mn.us)>; CH-Alissa McClure <[aMcClure@hermantownmn.com](mailto:aMcClure@hermantownmn.com)>; MN\_Floodplain (DNR) <[floodplain.dnr@state.mn.us](mailto:floodplain.dnr@state.mn.us)>

**Subject:** RE: Conditional Approval: Hermantown Floodplain Ordinance

Good Afternoon Eric,

I wanted to check back in with you on the City's progress in adoption and final publication of the city's floodplain ordinance, in anticipation of the new St. Louis County floodplain maps becoming effective March 25. As a reminder, the DNR is looking for submittal of: 1) A signed/sealed copy of the adopted floodplain ordinance; 2) A copy of the affidavit of publication (for the ordinance summary); 3) The completed ordinance processing checklist (See attachment). Once received, the DNR will review the final materials and assuming no corrections or additional information is needed, the final approval will be drafted and forwarded to FEMA region 5 for final consideration.

Please let me know if the City has any questions regarding this process or the submittal materials needed, or concerns meeting the March deadline for adoption of the floodplain ordinance. Thank you for your ongoing efforts in the City's floodplain management program.

**Respectfully,**

**Ricky Hoffman**



**Minnesota Department of Natural Resources**

500 Lafayette Rd

St. Paul, MN 55155-4032

Phone: 651-259-5710

Email: [ricky.hoffman@state.mn.us](mailto:ricky.hoffman@state.mn.us)

[mndnr.gov](http://mndnr.gov)



---

**From:** MN\_Floodplain (DNR) <[floodplain.dnr@state.mn.us](mailto:floodplain.dnr@state.mn.us)>

**Sent:** Tuesday, January 28, 2025 3:30 PM

**To:** CH-Eric Johnson <[eric.johnson@hermantownmn.com](mailto:eric.johnson@hermantownmn.com)>

**Cc:** Strauss, Ceil C (DNR) <[ceil.strauss@state.mn.us](mailto:ceil.strauss@state.mn.us)>; Speldrich, Bri (DNR) <[Brianna.Speldrich@state.mn.us](mailto:Brianna.Speldrich@state.mn.us)>; Hoffman, Ricky (DNR) <[Ricky.Hoffman@state.mn.us](mailto:Ricky.Hoffman@state.mn.us)>

**Subject:** Conditional Approval: Hermantown Floodplain Ordinance

Good Afternoon Eric,

Thank you for submitting City of Hermantown's draft floodplain management ordinance on January 17, 2025. The DNR's review of the draft is complete, and the agency's conditional approval letter and associated materials have been attached to this email. This letter provides further guidance or "next steps" to follow in order to obtain final DNR approval of your ordinance.

In summary, these next steps include revising the draft based on our recommendations included in the attached comments file, then submitting the following to DNR no later than March 21, 2025:

1. A signed/sealed copy of the adopted floodplain ordinance,
2. A copy of the affidavit of publication (for the ordinance summary), and
3. The completed ordinance processing checklist (See attachment).

Thank you for all your work on this ordinance update and please let me know if you have any questions.

**Respectfully,**

**Ricky Hoffman**

Shoreland & Floodplain Planner | Ecological & Water Resources

**Minnesota Department of Natural Resources**

500 Lafayette Rd

St. Paul, MN 55155-4032

Phone: 651-259-5710

Email: [ricky.hoffman@state.mn.us](mailto:ricky.hoffman@state.mn.us)

[mndnr.gov](http://mndnr.gov)





**CITY COUNCIL MEETING DATE:** 04/07/2025

**TO:** Mayor & City Council

**FROM:** Eric Johnson, Community Development Director

**SUBJECT:** Trail Equipment

---

☐ **RESOLUTION:**

☐ **ORDINANCE:**

☒ **OTHER:** Memo

---

### **REQUESTED ACTION**

Direction from City Council regarding the donation/sponsorship of benches

---

### **BACKGROUND**

City staff has been discussing the possibility of utilizing donations to purchase benches along the trail system. Recently, there has been three inquiries about bench donations/sponsorship along with a memorial plaque mounted to the bench. Staff has compiled material costs for these items:

- Bench with back: \$750.00
- Trash receptacle: \$600.00
- 4' x 8' concrete pad: \$1,000.00
- Plaque: \$150.00
- Total cost of materials: \$2,500.00

The Capital Improvement Plan for 2025 identifies \$75,000.00 for park furniture along the trail (benches, trash receptacles, bike racks, shade structure). This work is anticipated to be part of the proposed trail work this year. Given this planned installation, staff is recommending a \$500.00 donation should a person wish to donate/sponsor a bench. This amount would go towards 'buying down' the cost of the furniture and allow the City to maximize funds.

---

### **SOURCE OF FUNDS (if applicable)**

412-419100-580

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### **ATTACHMENTS**

Furniture Images

**Bench with back**



**Bike rack and trash receptacle**



# Water Rate Increase

All water customers in Hermantown will have a new \$7.50 fee on their bill each month beginning in May.

This new fee funds required improvements to the water treatment facilities we depend upon for our water. These facilities are aging, and the Environmental Protection Agency has deemed it necessary for the City of Duluth to make the appropriate upgrades.

Hermantown customers receive all of their water through Duluth's system, so the fee for Duluth's upgrades is passed on to all customers who benefit from the water treatment facilities.

You will see this fee listed on the bill as the "Duluth Water Fee."



**TO:** Utility Commission Members



**FROM:** Kevin Orme, Director of  
Finance & Administration

**DATE:** March 14, 2025

**Meeting Date:**

**March 20, 2025**

**SUBJECT: Duluth Water Infrastructure  
Surcharge**

**Agenda Item:**

---

## **REQUESTED ACTION**

Review and recommend the method for which the City of Hermantown shall distribute the new Water Infrastructure Surcharge that the City of Duluth is implementing.

---

## **BACKGROUND**

In January the Utility Commission was presented with a couple different options for paying for the new fee that Duluth is implementing. One option was a flat fee amount based on the size of the water meter. The second option was a flat fee of \$7.50 per account regardless of meter size. The UC recommended and the Council passed the flat fee at that point in time.

There have been concerns since the passing of the flat rate over some publicity in Duluth about their residents paying on an average bill \$5/month. Also we have had some discussion about placing a higher burden on commercial accounts versus residential accounts. Please keep in mind that Duluth is charging quite a few different rates (see attached) and comparing us to them is not apples to apples. However after learning more about the fee and how Duluth is passing it along directly to its residential and commercial customers we are presenting a new option for how Hermantown will recoup this increase of about \$18,000 per month. City staff is recommending the fee be a flat fee based on usage tier with commercial customers sharing a larger portion of Duluth's fee.

The following example is how a tiered usage fee could generate enough to pay Duluth's fee and is based on February 2025 bills. You can see that about half of our residential customers are only charged \$5/month under this model which is probably more in line with what many of Duluth's small homeowners might be charged.

---

## **SOURCE OF FUNDS (if applicable)**

---

## **ATTACHMENTS**

Water Fee Worksheet

Option A					
Meter Size	# of Accts	Minus Irrigation Accts	Total Accts	Duluth Fee	Monthly Total
.75"	2229	33	2196	\$ 7.25	\$ 15,921.00
1"	160	23	137	\$ 8.00	\$ 1,096.00
1.5"	65	3	62	\$ 9.00	\$ 558.00
2"	38	3	35	\$ 10.00	\$ 350.00
3"	13	0	13	\$ 11.00	\$ 143.00
4"	3	0	3	\$ 12.00	\$ 36.00
6"	1	0	1	\$ 13.00	\$ 13.00
Total:				\$	18,117.00

Option B					
Meter Size	# of Accts	Minus Irrigation Accts	Total Accts	Duluth Fee	Monthly Total
.75"	2229	33	2196	\$ 7.50	\$ 16,470.00
1"	160	23	137	\$ 7.50	\$ 1,027.50
1.5"	65	3	62	\$ 7.50	\$ 465.00
2"	38	3	35	\$ 7.50	\$ 262.50
3"	13	0	13	\$ 7.50	\$ 97.50
4"	3	0	3	\$ 7.50	\$ 22.50
6"	1	0	1	\$ 7.50	\$ 7.50
Total:				\$	18,352.50



## OPTION C

<b>City of Hermantown</b> <b>Duluth Water Fee Worksheet</b>					
**Based off of February 2025 Billing**					
Residential	# of accts	Usage	Average Usage	Duluth Fee	Total
Tier 1 (up to 2500)	1002	1,555,044	1,552	\$ 5.00	\$ 5,010.00
Tier 2 (2501-4500)	715	2,435,267	3,406	\$ 6.00	\$ 4,290.00
Tier 3 (over 4500)	307	2,087,281	6,799	\$ 7.00	\$ 2,149.00
Zero Usage	76	-		\$ 5.00	\$ 380.00
Total	2100	6,077,592			\$ 11,829.00
Commercial	# of accts	Usage	Average Usage	Duluth Fee	Total
Tier 1 (up to 20,000)	182	697,782	3,965	\$ 16.00	\$ 2,912.00
Tier 2 (20,001-50,000)	20	532,242	28,013	\$ 26.00	\$ 520.00
Tier 3 (over 50,001)	21	2,150,646	126,509	\$ 36.00	\$ 756.00
Zero Usage	15	-		\$ 16.00	\$ 240.00



Total	238	3,380,670			\$ 4,428.00
<b>Multi Family</b>	<b># of accts</b>	<b>Usage</b>	<b>Average Usage</b>	<b>Duluth Fee</b>	<b>Total</b>
Tier 1,2,3 (All usage)	83	3,438,092	41,423	\$ 26.00	\$ 2,158.00
Total	83	3,438,092			\$ 2,158.00
<b>Non-Residential (Churches)</b>	<b># of accts</b>	<b>Usage</b>	<b>Average Usage</b>	<b>Duluth Fee</b>	<b>Total</b>
Tier 1 (up to 2500)	3	2,200	733	\$ 5.00	\$ 15.00
Tier 2 (2501-4500)	3	9,267	3,089	\$ 6.00	\$ 18.00
Tier 3 (over 4500)	2	55,300	27,650	\$ 7.00	\$ 14.00
Total	8	66,767			\$ 47.00
<b>Irrigation (Com &amp; Res)</b>	<b># of accts</b>			<b>Duluth Fee</b>	<b>Total</b>
Tier 1,2,3 (All usage)	60	Only when used		\$ 7.00	Varied
<b>City Accounts (not billed)</b>	<b># of accts</b>	<b>Usage</b>	<b>Average Usage</b>	<b>Duluth Fee</b>	<b>Total</b>
Tier 1,2,3	8	57410	N/A	N/A	N/A

**RESOLUTION NO. 25PUC-001**

**RESOLUTION ESTABLISHING WATER INFRASTRUCTURE  
SURCHARGE EFFECTIVE AS OF MAY 1, 2025.**

WHEREAS, pursuant to Ordinance No. 10922 and the authority of Section 48-28.1 of the Duluth City Code, 1959, the Duluth city council created a water infrastructure surcharge; and

WHEREAS, the City Council gave authority to the Duluth Public Utilities Commission (DPUC) to impose such water infrastructure surcharge upon such customers and users; and

WHEREAS, the DPUC has determined that a water infrastructure surcharge is necessary to pay amounts needed to fund debt service, construction, and maintenance of the city's water treatment, storage, and distribution system; and

WHEREAS, the DPUC has determined that the term of the water infrastructure surcharge shall be 20 years, unless modified by the DPUC; and

WHEREAS, the DPUC shall review the water infrastructure surcharge at least annually.

RESOLVED, that pursuant to Section 48-28.1 of the Duluth City Code, 1959, as amended, effective May 1, 2025, the water infrastructure surcharge authorized thereunder will be charged monthly to consumers and users at a rate based upon one hundred cubic feet of water, as follows:

<b>Rate Category</b>	<b>Water Infrastructure Surcharge Rate per CCF</b>
R1 (0-32 CCF)	\$0.980
R2 (32-80 CCF)	\$0.918
R3 (80-240 CCF)	\$0.807
R4 (>240 CCF)	\$0.710
CI1 (0-40 CCF)	\$0.980
CI2 (40-200 CCF)	\$0.821
CI3 (200-1,000 CCF)	\$0.660
CI Large (>1,000 CCF)	\$0.505
Hermantown	\$0.805
Proctor	\$0.805
Rice Lake	\$0.805
Sofidel America Contract	\$0.100

RESOLVED FURTHER, that any prior rates inconsistent or conflicting with the rates set forth herein are hereby superseded.

Approved by the DPUC: 3/18/2025  
(date)

Submitted to City Council: 3/19/2025  
(where appropriate) (date)

**CITY OF HERMANTOWN**

**City Council Meeting**

Monday, March 17, 2025

6:30 PM Central

**MEETING CONDUCTED IN PERSON & VIA ZOOM**

Mayor Wayne Boucher: Present

Councilor John Geissler: Present

Councilor Andy Hjelle: Present

Councilor Brian LeBlanc: Present

Councilor Joseph Peterson: Present

**CITY STAFF:** John Mulder, City Administrator; Alissa McClure, City Clerk; Eric Johnson; Community Development Director; Joe Wicklund, Assistant City Administrator; Chad Ronchetti, Economic Development Director; Brandon Holmes, Building Official; Trish Crego, Utility & Infrastructure Director; David Bolf, City Engineer; Gunnar Johnson, City Attorney

**VISITORS: 1**

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **ANNOUNCEMENTS**
5. **PUBLIC HEARING**
6. **COMMUNICATIONS**
7. **PRESENTATIONS**
  - A. **Preliminary 4th Quarter Financials**  
Kevin Orme, Director of Finance & Administration  
(Pre-Agenda Only)
  - B. **Preliminary Engineering - Lightning Drive**  
David Bolf, City Engineer  
(Pre-Agenda Only)

**C. ADA Proposal**

David Bolf, City Engineer  
(Pre-Agenda Only)

8. **PUBLIC DISCUSSION**

9. **MOTIONS**

A. Appointment of the following to a three-year term:

**Planning & Zoning Commission**

- Amanda Radzak
- Ryan Johnson

Motion to approve the following to a three-year term: Planning & Zoning Commission; - Amanda Radzak - Ryan Johnson. This motion, made by Councilor Andy Hjelle and seconded by Councilor Joseph Peterson, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

10. **CONSENT AGENDA**

A. **Minutes** - Approval or correction of March 3, 2025 City Council Continuation Minutes

B. **Accounts Payable** - Approve general city warrants from March 1, 2025 through March 15, 2025 in the amount of \$1,627,565.96

Motion to the approve the Consent Agenda. This motion, made by Councilor Brian LeBlanc and seconded by Councilor John Geissler, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

11. **ORDINANCES**

12. **RESOLUTIONS**

A. **2025-49 Resolution Authorizing The Director Of Finance & Administration To Amend Selected Budgets And Make Transfers**

*(motion, roll call)*

Motion to approve 2025-49 Resolution Authorizing The Director Of Finance & Administration To Amend Selected Budgets And Make Transfers. This motion, made by Councilor John Geissler and seconded by Councilor Andy Hjelle, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

B. **2025-50 Resolution Approving Moreton Capital Markets, LLC As Designated Depository**

*(motion, roll call)*

Motion to approve 2025-50 Resolution Approving Moreton Capital Markets, LLC As Designated Depository. This motion, made by Councilor John Geissler and seconded by Councilor Joseph Peterson, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

C. **2025-51 Resolution Authorizing And Directing Mayor And City Clerk To Execute Amendment To Engineering Agreement For Consulting Services With Short Elliot Hendrickson (Independent Contractor)**

*(motion, roll call)*

Motion to approve 2025-51 Resolution Authorizing And Directing Mayor And City Clerk To Execute Amendment To Engineering Agreement For Consulting Services With Short Elliot Hendrickson (Independent Contractor). This motion, made by Councilor Brian LeBlanc and seconded by Councilor Joseph Peterson, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

D. **2025-52 Resolution Authorizing The Payment Of \$11,100.00 To William Marsolek And Stacie Marsolek For Eminent Domain Damages In Court File 69DU-CV-25-322**

*(motion, roll call)*

Motion to approve 2025-52 Resolution Authorizing The Payment Of \$11,100.00 To William Marsolek And Stacie Marsolek For Eminent Domain Damages In Court File 69DU-CV-25-322. This motion, made by Councilor John Geissler and seconded by Councilor Joseph Peterson, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

**E. 2025-53 Resolution Authorizing The City Of Hermantown To Sponsor An Application For A Minnesota GreenCorps Host Site For 2025-2026**

*(motion, roll call)*

Motion to approve 2025-53 Resolution Authorizing The City Of Hermantown To Sponsor An Application For A Minnesota GreenCorps Host Site For 2025-2026. This motion, made by Councilor Joseph Peterson and seconded by Councilor John Geissler, Carried.

Councilor Andy Hjelle: Nay

Councilor Brian LeBlanc: Nay

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 3, Nay: 2

**F. 2025-54 Resolution Authorizing the City Of Hermantown To Sponsor A Grant Funding Request Via Legislative-Citizen Commission On Minnesota Resources (LCCMR) Program Associated With The Construction of 2026 Segments Of The City Of Hermantown Community Connector Trail**

*(motion, roll call)*

Motion to approve 2025-54 Resolution Authorizing the City Of Hermantown To Sponsor A Grant Funding Request Via Legislative-Citizen Commission On Minnesota Resources (LCCMR) Program Associated With The Construction of 2026 Segments Of The City Of Hermantown Community Connector Trail. This motion, made by Councilor John Geissler and seconded by Councilor Joseph Peterson, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

**G. 2025-55 Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Agreement For The Use Of The City Of Hermantown Athletic Fields With Independent School District No. 700**

*(motion, roll call)*

Motion to approve 2025-55 Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Agreement For The Use Of The City Of Hermantown Athletic Fields With Independent School District No. 700. This motion, made by Councilor Brian LeBlanc and seconded by Councilor Andy Hjelle, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

**H. 2025-56 Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Agreement For The Use Of The City Of Hermantown Athletic Fields With The Hermantown Youth Soccer Association**

*(motion, roll call)*

Motion to approve 2025-56 Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Agreement For The Use Of The City Of Hermantown Athletic Fields With The Hermantown Youth Soccer Association. This motion, made by Councilor Joseph Peterson and seconded by Councilor Brian LeBlanc, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0



I. **2025-57 Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Sponsorship/Naming Rights Agreement For Fichtner Park**

*(motion, roll call)*

Motion to approve 2025-57 Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Sponsorship/Naming Rights Agreement For Fichtner Park. This motion, made by Councilor Andy Hjelle and seconded by Councilor John Geissler, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

13. **CLOSED SESSION**

- A. Motion to close the meeting of the Hermantown City Council pursuant to Minnesota Statutes § Section 13D.05 Subd. 3 (b) (3) to develop or consider offers or counteroffers for the purchase of real property. Following this closed session, the Hermantown City Council will re-convene in an open session.

*(motion, roll call)*

Motion to recess at 7:01 p.m. Motion to close the meeting of the Hermantown City Council pursuant to Minnesota Statutes § Section 13D.05 Subd. 3 (b) (3) to develop or consider offers or counteroffers for the purchase of real property. Following this closed session, the Hermantown City Council will re-convene in an open session. This motion, made by Councilor Joseph Peterson and seconded by Councilor Brian LeBlanc, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

Motion to reconvene into open sessions at 7:50 p.m. This motion, made by Councilor Andy Hjelle and seconded by Councilor Brian LeBlanc, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

14. **RECESS**

Motion to recess at 7:50 p.m. This motion, made by Councilor John Geissler and seconded by Councilor Brian LeBlanc, Carried.

Councilor Andy Hjelle: Yea

Councilor Brian LeBlanc: Yea

Councilor John Geissler: Yea

Councilor Joseph Peterson: Yea

Mayor Wayne Boucher: Yea

Yea: 5, Nay: 0

ATTEST:

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Mayor

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City Clerk

**CITY OF HERMANTOWN**

CHECKS #71921-71999  
03/16/2025 - 03/31/2025

PAYROLL CHECKS

Electronic Checks - #-64668-64712 \$98,185.84

Electronic Checks - #-64633-64661 \$20,469.15

LIABILITY CHECKS

Electronic Checks - #-64662-64667 \$73,396.69

Electronic Checks - #-64630-64632 \$4,421.07

Checks - #71970-71975 \$6,060.32

**PAYROLL EXPENSE TOTAL \$202,533.07**

ACCOUNTS PAYABLE

Checks - #71921-71968 \$178,857.43

Checks - #71976-71999 \$316,768.92

Electronic Payments #-98148-98197 \$336,850.85

**ACCOUNTS PAYABLE TOTAL \$832,477.20**

**TOTAL \$1,035,010.27**

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
101	431100	Street Department	AT&T MOBILITY	Cell Phones/Tablets-PW/CH	157.74	-98197
101	419901	City Hall & Police Building Maintenance	AT&T MOBILITY	Cell Phones/Tablets-PW/CH	48.10	-98197
101	421100	Police Administration	AT&T MOBILITY	Cell Phones PD	1,512.45	-98197
601	494400	Water Administration and General	AT&T MOBILITY	Cell Phones/Tablets-PW/CH	368.66	-98197
101	422100	Fire Administration	AT&T MOBILITY	Cell Phones FD	285.96	-98197
101	415300	Administration & Finance	AT&T MOBILITY	Cell Phones/Tablets-PW/CH	149.79	-98197
602	494900	Sewer Administration and General	AT&T MOBILITY	Cell Phones/Tablets-PW/CH	193.18	-98197
101	421100	Police Administration	GREATAMERICA FINANCIAL SERVICES	Copier Lease/Konica C300 & C33	119.58	-98196
101	415300	Administration & Finance	GREATAMERICA FINANCIAL SERVICES	Copier Lease/Konica bizhub C30	96.00	-98195
275	452200	Community Building	MEDIACOM	EWC - Telephone	502.78	-98194
602	494900	Sewer Administration and General	MEDIACOM	Phone PW	13.05	-98194
275	452200	Community Building	MEDIACOM	EWC - Dedicated Internet	490.00	-98194
602	494900	Sewer Administration and General	MEDIACOM	Internet PW	71.75	-98194
101	419901	City Hall & Police Building Maintenance	MEDIACOM	Internet CH	163.92	-98194
275	452200	Community Building	MEDIACOM	EWC - Cable TV	179.13	-98194
601	494400	Water Administration and General	MEDIACOM	Internet PW	47.84	-98194
601	494400	Water Administration and General	MEDIACOM	Phone PW	8.70	-98194
101	431100	Street Department	MEDIACOM	Phone PW	21.76	-98194
101	422901	Firehall #1 Maple Grove Road	MEDIACOM	Internet FD	40.98	-98194
275	452200	Community Building	MEDIACOM	EWC - Internet	354.90	-98194
101	422901	Firehall #1 Maple Grove Road	MEDIACOM	Phone FD	100.27	-98194
275	452200	Community Building	MEDIACOM	EWC - Line for Elevator	186.02	-98194
101	419901	City Hall & Police Building Maintenance	MEDIACOM	Phone CH	401.07	-98194
101	431100	Street Department	MEDIACOM	Internet PW	119.60	-98194
101	431901	City Garage	MN ENERGY RESOURCES CORP	Natural Gas Comm Building - 01	269.20	-98193
275	452200	Community Building	MN ENERGY RESOURCES CORP	Natural Gas EWC - Jan	10,552.95	-98193
101	431901	City Garage	MN ENERGY RESOURCES CORP	Natural Gas Lightning Dr - Jan	574.28	-98193
101	422901	Firehall #1 Maple Grove Road	MN ENERGY RESOURCES CORP	Natural Gas - FH #1	2,097.67	-98193
101	419901	City Hall & Police Building Maintenance	MN ENERGY RESOURCES CORP	Natural Gas CH/PD	1,249.98	-98193
601	494400	Water Administration and General	MN ENERGY RESOURCES CORP	Natural Gas Lightning Dr - Jan	656.32	-98193
101	431901	City Garage	MN ENERGY RESOURCES CORP	Natural Gas Old CH	136.32	-98193
602	494900	Sewer Administration and General	MN ENERGY RESOURCES CORP	Natural Gas Lightning Dr - Jan	410.20	-98193
101	452200	Community Building	MN ENERGY RESOURCES CORP	Natural Gas Old CH	1,226.90	-98193
101	419901	City Hall & Police Building Maintenance	MN ENERGY RESOURCES CORP	Natural Gas - CH/PD	1,716.27	-98193
602	494900	Sewer Administration and General	PITNEY BOWES PURCHASE POWER	Refill Postage Meter	72.86	-98192
101	421100	Police Administration	PITNEY BOWES PURCHASE POWER 48	Refill Postage Meter	137.31	-98192
101	419100	Community Development	PITNEY BOWES PURCHASE POWER	Refill Postage Meter	54.51	-98192
601	494400	Water Administration and General	PITNEY BOWES PURCHASE POWER	Refill Postage Meter	109.30	-98192

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
101	424100	Building Inspection	PITNEY BOWES PURCHASE POWER	Refill Postage Meter	51.11	-98192
230	465100	HEDA	PITNEY BOWES PURCHASE POWER	Refill Postage Meter	1.77	-98192
101	415300	Administration & Finance	PITNEY BOWES PURCHASE POWER	Refill Postage Meter	6.30	-98192
101	415300	Administration & Finance	PITNEY BOWES PURCHASE POWER	Refill Postage Meter	272.09	-98192
101	421100	Police Administration	WEX HEALTH INC	Monthly Participant /Cobra Fee	88.04	-98191
601	494400	Water Administration and General	WEX HEALTH INC	Monthly Participant /Cobra Fee	15.90	-98191
101	419100	Community Development	WEX HEALTH INC	Monthly Participant /Cobra Fee	9.54	-98191
101	419901	City Hall & Police Building Maintenance	WEX HEALTH INC	Monthly Participant /Cobra Fee	9.54	-98191
101	415300	Administration & Finance	WEX HEALTH INC	Monthly Participant /Cobra Fee	33.39	-98191
602	494900	Sewer Administration and General	WEX HEALTH INC	Monthly Participant /Cobra Fee	15.90	-98191
101	422100	Fire Administration	WEX HEALTH INC	Monthly Participant /Cobra Fee	9.54	-98191
101	431100	Street Department	WEX HEALTH INC	Monthly Participant /Cobra Fee	15.90	-98191
101	422901	Firehall #1 Maple Grove Road	ACP CREATIVIT, LLC	Mar 2025 Maintenance	70.35	-98190
101	419901	City Hall & Police Building Maintenance	ACP CREATIVIT, LLC	Mar 2025 Maintenance	237.85	-98190
101	431100	Street Department	ACP CREATIVIT, LLC	Mar 2025 Maintenance	16.75	-98190
101	452200	Community Building	ACP CREATIVIT, LLC	Mar 2025 Maintenance	10.05	-98190
101	431100	Street Department	B & F FASTENER SUPPLY CO.	Hammer Lock/Plow Bolt	52.50	-98189
230	465100	HEDA	CREATIVE ARCADE	Website Monthly Maintenance	250.03	-98188
251	421801	DARE & Police Liaison Fund	CREATIVE PRODUCT SOURCING INC - DARE	Dare T-Shirts	1,653.31	-98187
415	465200	Community Development	EPC ENGINEERING & TESTING LLC	Hermantown Hockey Arena	6,782.75	-98186
101	419901	City Hall & Police Building Maintenance	GOODIN COMPANY INC	Plumbing Repair Parts	9.85	-98185
602	494900	Sewer Administration and General	GOPHER STATE ONE-CALL INC	Feb 25 Locates	13.50	-98184
601	494400	Water Administration and General	GOPHER STATE ONE-CALL INC	Feb 25 Locates	20.25	-98184
230	465100	HEDA	HTB PROJECT NAVIGATION, LLC	Hermantown Business Park - Feb	140.00	-98183
101	415300	Administration & Finance	INNOVATIVE OFFICE SOLUTIONS, LLC	Marker/Staples/Flag	31.92	-98182
101	431901	City Garage	INNOVATIVE OFFICE SOLUTIONS, LLC	Glue Stick/Toner	454.24	-98182
101	431100	Street Department	INTER CITY OIL CO INC	Fuel	711.58	-98181
101	431100	Street Department	INTER CITY OIL CO INC	Fuel	1,456.48	-98181
101	431100	Street Department	INTER CITY OIL CO INC	Fuel	797.62	-98181
101	431100	Street Department	INTER CITY OIL CO INC	Fuel	966.34	-98181
101	431100	Street Department	INTER CITY OIL CO INC	Fuel	1,130.00	-98181
101	419901	City Hall & Police Building Maintenance	MENARD INC	General Fleet Maintenance Supp	178.75	-98180
101	419901	City Hall & Police Building Maintenance	MENARD INC	Maintenance Tools	27.44	-98179
601	494300	Water Distribution	MN MUNICIPAL UTILITIES ASSN	2025 Water Utility Member Dues	566.00	-98178
601	494300	Water Distribution	MN MUNICIPAL UTILITIES ASSN	2024 Annual Drug/Alco Testing	210.00	-98177
101	422100	Fire Administration	MINNEAPOLIS OXYGEN COMPANY 49	Oxygen Cylinder Rental	205.09	-98176
101	419901	City Hall & Police Building Maintenance	NORTHERN DOOR & HARDWARE INC	Keys/Amsoil MP Spray	29.00	-98175
601	494300	Water Distribution	NORTHERN ENGINE & SUPPLY INC	Hose Assembly Parts	189.51	-98174

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
412	419100	Community Development	NORTHLAND CONSULTING ENGINEERS L.L.P.	Hermantown Trail Project	22,265.00	-98173
230	465100	HEDA	NORTHLAND CONSULTING ENGINEERS L.L.P.	Keene Creek Subdivision	2,160.00	-98173
101	214500	Escrow Deposits Payable	NORTHLAND CONSULTING ENGINEERS L.L.P.	Peyton Property Development	475.00	-98173
240	432510	Trunk Sewer Construction	NORTHLAND CONSULTING ENGINEERS L.L.P.	Section 14 - Lightning Drive,	18,170.00	-98173
412	419100	Community Development	NORTHLAND CONSULTING ENGINEERS L.L.P.	Trail Grant Estimates	640.00	-98173
101	431130	City Engineer	NORTHLAND CONSULTING ENGINEERS L.L.P.	Ugstad Road SP	180.00	-98173
415	465200	Community Development	NORTHLAND CONSULTING ENGINEERS L.L.P.	Hermantown Ice Arena	1,765.00	-98173
101	431130	City Engineer	NORTHLAND CONSULTING ENGINEERS L.L.P.	MSAS/ADA/Soumis/WLSSD/TAC/Mill	3,015.00	-98173
416	452100	Parks	NORTHLAND CONSULTING ENGINEERS L.L.P.	Fichtner Park Improvements	1,157.50	-98173
101	431130	City Engineer	NORTHLAND CONSULTING ENGINEERS L.L.P.	Preagenda/City Council/Four Sq	950.00	-98173
101	422100	Fire Administration	NORTHLAND FIRE & SAFETY INC	Extinguisher Parts	62.00	-98172
101	416100	City Attorney	OVEROM LAW, PLLC	Tree Removal Contract	181.00	-98171
412	419100	Community Development	OVEROM LAW, PLLC	Hermantown Trail Connector Eas	459.00	-98171
101	419100	Community Development	OVEROM LAW, PLLC	Environmental Review Standards	150.00	-98171
240	433500	Water Improvements	OVEROM LAW, PLLC	Second Water Connection with D	170.00	-98171
230	465100	HEDA	OVEROM LAW, PLLC	HEDA Reimbursement Agreemnt w/	1,922.00	-98171
101	424100	Building Inspection	OVEROM LAW, PLLC	Maple Fields Tenants' Remedies	1,924.00	-98171
415	465200	Community Development	OVEROM LAW, PLLC	Funding Agreement - Recreation	51.00	-98171
101	416100	City Attorney	OVEROM LAW, PLLC	Data Practices Requests	28.00	-98171
101	416100	City Attorney	OVEROM LAW, PLLC	General Matters/Retainer	2,200.00	-98171
260	456101	Cable	OVEROM LAW, PLLC	2014 Mediacom Franchise Agreem	60.00	-98171
101	416100	City Attorney	OVEROM LAW, PLLC	Damage to Property Claims	112.00	-98171
415	465200	Community Development	OVEROM LAW, PLLC	Naming Rights Agreement Matter	240.00	-98171
415	465200	Community Development	OVEROM LAW, PLLC	Arena Construction - Rec Facil	357.00	-98171
412	419100	Community Development	OVEROM LAW, PLLC	MN Power Easements	112.00	-98171
101	419100	Community Development	OVEROM LAW, PLLC	2025 Oppidan Townhouse Dev	131.00	-98171
101	419100	Community Development	OVEROM LAW, PLLC	Floodplain MNGT Ordinance Upda	487.00	-98171
101	421100	Police Administration	OVEROM LAW, PLLC	Police Dept: Gottschald Accide	238.00	-98171
101	419100	Community Development	OVEROM LAW, PLLC	Community Development Matters	140.00	-98171
412	419100	Community Development	OVEROM LAW, PLLC	Rec Facility: Trail Con - Emin	1,391.50	-98171
240	432510	Trunk Sewer Construction	OVEROM LAW, PLLC	Hermantown Lightning Drive Imp	320.00	-98171
230	465100	HEDA	OVEROM LAW, PLLC	HEDA: Zimmerman Volk Housing S	549.00	-98171
230	465100	HEDA	OVEROM LAW, PLLC	HEDA: Enabling Resolution and	540.00	-98171
415	465200	Community Development	OVEROM LAW, PLLC	KA Contract Administration - N	312.00	-98171
101	424100	Building Inspection	OVEROM LAW, PLLC	Sarah Lane Nuisance Property (	42.00	-98171
230	465100	HEDA	OVEROM LAW, PLLC	Real Estate Purchase Johnson R	306.00	-98171
230	465100	HEDA	OVEROM LAW, PLLC	HEDA: Misc and Contracts	238.00	-98171
230	465100	HEDA	OVEROM LAW, PLLC	HEDA Agenda Matters	765.00	-98171

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
101	419100	Community Development	OVEROM LAW, PLLC	Peyton Acres Development Matt	63.00	-98171
230	465100	HEDA	OVEROM LAW, PLLC	HEDA: Project Loon Development	153.00	-98171
101	421100	Police Administration	PER MAR SECURITY SERVICES INC	CCTV 4/01/2025 - 6/30/2025	99.39	-98170
101	415300	Administration & Finance	PITNEY BOWES GLOBAL FINANCIAL SVCS	Quarterly Postage Meter Lease	295.29	-98169
412	419100	Community Development	SRF CONSULTING GROUP, INC.	ROW Acquisitions - Johnson Rd	346.22	-98168
412	419100	Community Development	SRF CONSULTING GROUP, INC.	ROW Acquisitions - Stebner Rd	875.51	-98168
101	490000	Miscellaneous Functions	TERCH & ASSOCIATES CONSULTING, LLC	Feb 25 HR Services	962.50	-98167
101	424100	Building Inspection	VC3, INC.	HP USB-C Dock G5	48.30	-98166
602	494900	Sewer Administration and General	VC3, INC.	HP USB-C Dock G5	24.15	-98166
101	421100	Police Administration	VC3, INC.	Docking Stations	1,724.09	-98166
101	431901	City Garage	VC3, INC.	Setup&Config Replace Lapt - He	22.50	-98166
101	421100	Police Administration	VC3, INC.	Project Management Labor - VC3	-155.48	-98166
101	419100	Community Development	VC3, INC.	Docking Stations	89.14	-98166
101	421100	Police Administration	VC3, INC.	Recycling for 14 PCs w/HDs	175.00	-98166
602	494900	Sewer Administration and General	VC3, INC.	Setup&Config Replace Desk&Lapt	274.47	-98166
101	419100	Community Development	VC3, INC.	Setup&Config Replace Desk&Lapt	410.84	-98166
101	411100	Council	VC3, INC.	Setup&Config Replace Desk&Lapt	1,096.15	-98166
101	421100	Police Administration	VC3, INC.	Setup&Config Replace Desk&Lapt	3,729.17	-98166
101	419901	City Hall & Police Building Maintenance	VC3, INC.	Setup&Config Replace Lapt - He	292.50	-98166
101	421100	Police Administration	VC3, INC.	Setup&Config Replace Desk&Lapt	7,947.33	-98166
101	417200	Communications	VC3, INC.	Setup&Config Replace Desk&Lapt	385.57	-98166
101	417200	Communications	VC3, INC.	Setup&Config Replace Desk&Lapt	821.69	-98166
101	417200	Communications	VC3, INC.	Project Management Labor - VC3	-16.08	-98166
101	452200	Community Building	VC3, INC.	Setup&Config Replace Lapt - He	45.00	-98166
603	441100	Storm Water	VC3, INC.	HP USB-C Dock G5	8.05	-98166
101	417200	Communications	VC3, INC.	Docking Stations	178.27	-98166
602	494900	Sewer Administration and General	VC3, INC.	Project Management Labor - VC3	-5.37	-98166
101	424100	Building Inspection	VC3, INC.	Project Management Labor - VC3	-10.72	-98166
602	494900	Sewer Administration and General	VC3, INC.	Docking Stations	59.56	-98166
601	494400	Water Administration and General	VC3, INC.	Setup&Config Replace Desk&Lapt	410.84	-98166
601	494400	Water Administration and General	VC3, INC.	Project Management Labor - VC3	-8.04	-98166
601	494400	Water Administration and General	VC3, INC.	Docking Stations	89.14	-98166
601	494400	Water Administration and General	VC3, INC.	Setup&Config Replace Desk&Lapt	192.79	-98166
601	494400	Water Administration and General	VC3, INC.	HP USB-C Dock G5	24.15	-98166
602	494900	Sewer Administration and General	VC3, INC.	Setup&Config Replace Desk&Lapt	128.80	-98166
101	415300	Administration & Finance	VC3, INC.	Setup&Config Replace Desk&Lapt	2,739.49	-98166
101	422100	Fire Administration	VC3, INC.	Setup&Config Replace Desk&Lapt	1,643.35	-98166
101	431100	Street Department	VC3, INC.	Setup&Config Replace Desk&Lapt	514.36	-98166

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
101	419100	Community Development	VC3, INC.	Project Management Labor - VC3	-8.04	-98166
101	415300	Administration & Finance	VC3, INC.	Project Management Labor - VC3	-53.60	-98166
101	413100	Mayor	VC3, INC.	Project Management Labor - VC3	-5.37	-98166
101	415300	Administration & Finance	VC3, INC.	HP USB-C Dock G5	56.35	-98166
101	431100	Street Department	VC3, INC.	Project Management Labor - VC3	-21.45	-98166
101	415300	Administration & Finance	VC3, INC.	Recycling for 14 PCs w/HDs	175.00	-98166
101	415300	Administration & Finance	VC3, INC.	Setup&Config Replace Desk&Lapt	1,285.48	-98166
101	411100	Council	VC3, INC.	Setup&Config Replace Desk&Lapt	514.36	-98166
101	415300	Administration & Finance	VC3, INC.	Docking Stations	594.34	-98166
101	419100	Community Development	VC3, INC.	Setup&Config Replace Desk&Lapt	192.79	-98166
101	411100	Council	VC3, INC.	Docking Stations	237.82	-98166
101	424100	Building Inspection	VC3, INC.	Setup&Config Replace Desk&Lapt	547.22	-98166
101	424100	Building Inspection	VC3, INC.	Setup&Config Replace Desk&Lapt	256.75	-98166
101	424100	Building Inspection	VC3, INC.	Docking Stations	118.73	-98166
101	422100	Fire Administration	VC3, INC.	Docking Stations	356.53	-98166
101	422100	Fire Administration	VC3, INC.	Setup&Config Replace Desk&Lapt	771.13	-98166
101	413100	Mayor	VC3, INC.	Setup&Config Replace Desk&Lapt	274.48	-98166
101	422100	Fire Administration	VC3, INC.	Project Management Labor - VC3	-32.15	-98166
101	422901	Firehall #1 Maple Grove Road	VC3, INC.	Setup&Config Replace Lapt - He	90.00	-98166
101	431100	Street Department	VC3, INC.	Docking Stations	237.82	-98166
101	431100	Street Department	VC3, INC.	Setup&Config Replace Desk&Lapt	1,096.14	-98166
101	411100	Council	VC3, INC.	Project Management Labor - VC3	-21.45	-98166
101	413100	Mayor	VC3, INC.	Setup&Config Replace Desk&Lapt	128.80	-98166
101	413100	Mayor	VC3, INC.	Docking Stations	59.56	-98166
230	465100	HEDA	VC3, INC.	Adobe VIP Renewal	287.88	-98165
101	422100	Fire Administration	VC3, INC.	Adobe VIP Renewal	575.76	-98165
601	494300	Water Distribution	WATER CONSERVATION SERVICE, INC	Leak Locates	1,347.35	-98164
602	494500	Sewer Maintenance	WLSSD	Wastewater Charges - Feb 25	50,621.00	-98163
260	456101	Cable	MEDIACOM	Internet for Cameras - Fichtne	1,469.64	-98162
101	415300	Administration & Finance	FIRST BANKCARD	Feb Firstbank Card Orme	70.00	-98161
101	419901	City Hall & Police Building Maintenance	FIRST BANKCARD	Feb Firstbank Card Johnson	785.94	-98161
101	421100	Police Administration	FIRST BANKCARD	Feb Firstbank Card Ross	93.01	-98161
101	415300	Administration & Finance	FIRST BANKCARD	Feb Firstbank Card Heinbuch	69.96	-98161
101	431100	Street Department	FIRST BANKCARD	Feb Firstbank Card Senst	173.41	-98161
601	494400	Water Administration and General	FIRST BANKCARD	Feb Firstbank Card Senst	10.88	-98161
101	415300	Administration & Finance	FIRST BANKCARD	Feb Firstbank Card Mulder	412.32	-98161
101	415300	Administration & Finance	FIRST BANKCARD	Feb Firstbank Card Orme	15.65	-98161
101	422100	Fire Administration	FIRST BANKCARD	Feb Firstbank Card Graves	321.64	-98161



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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
101	415300	Administration & Finance	FIRST BANKCARD	Feb Firstbank Card Orme	549.31	-98161
601	494300	Water Distribution	FIRST BANKCARD	Feb Firstbank Card Senst	65.91	-98161
101	422100	Fire Administration	FIRST BANKCARD	Feb Firstbank Card Graves	91.32	-98161
602	494500	Sewer Maintenance	FIRST BANKCARD	Feb Firstbank Card Senst	115.00	-98161
101	421100	Police Administration	FIRST BANKCARD	Feb Firstbank Card Knapp	300.00	-98161
101	422100	Fire Administration	FIRST BANKCARD	Feb Firstbank Card Graves	75.39	-98161
601	494400	Water Administration and General	FIRST BANKCARD	Feb Firstbank Card Orme	5.88	-98161
601	494300	Water Distribution	FIRST BANKCARD	Feb Firstbank Card Senst	179.35	-98161
101	431100	Street Department	FIRST BANKCARD	Feb Firstbank Card Senst	427.03	-98161
101	421100	Police Administration	FIRST BANKCARD	Feb Firstbank Card Ross	79.78	-98161
260	456101	Cable	FIRST BANKCARD	Feb Firstbank Card Dwyer	268.00	-98161
101	419901	City Hall & Police Building Maintenance	FIRST BANKCARD	Feb Firstbank Card Heinbuch	675.81	-98161
101	424100	Building Inspection	FIRST BANKCARD	Feb Firstbank Card Heinbuch	108.88	-98161
101	415300	Administration & Finance	FIRST BANKCARD	Feb Firstbank Card Mulder	92.53	-98161
101	424100	Building Inspection	FIRST BANKCARD	Feb Firstbank Card Heinbuch	53.34	-98161
101	421100	Police Administration	FIRST BANKCARD	Feb Firstbank Card Prouse	300.00	-98161
101	421100	Police Administration	FIRST BANKCARD	Feb Firstbank Card Crace	21.99	-98161
602	494900	Sewer Administration and General	FIRST BANKCARD	Feb Firstbank Card Senst	10.88	-98161
101	421100	Police Administration	FIRST BANKCARD	Feb Firstbank Card Pfeiffer	50.00	-98161
602	494900	Sewer Administration and General	FIRST BANKCARD	Feb Firstbank Card Orme	5.88	-98161
601	494300	Water Distribution	CITY OF DULUTH COMFORT SYSTEMS	Feb 2025 Water Charges	92,585.52	-98160
260	456101	Cable	MEDIACOM	Internet for Cameras - Fichtne	99.99	-98159
101	422902	Firehall #2 Morris Thomas Road	MN ENERGY RESOURCES CORP	Natural Gas FH2	348.81	-98158
601	494400	Water Administration and General	MN POWER	Water	1,338.19	-98157
101	452100	Parks	MN POWER	Parks	1,052.79	-98157
101	422902	Firehall #2 Morris Thomas Road	MN POWER	FH #2 MorrisThomas & Stebner	138.18	-98157
101	422903	Firehall #3 Midway Road	MN POWER	FH #3 Midway/Rose	95.62	-98157
601	494400	Water Administration and General	MN POWER	4971 Lightning Dr	221.52	-98157
602	494900	Sewer Administration and General	MN POWER	4971 Lightning Dr	147.68	-98157
101	452200	Community Building	MN POWER	Community Bldg	923.76	-98157
101	419901	City Hall & Police Building Maintenance	MN POWER	City Hall/Police/Fire	3,407.11	-98157
602	494900	Sewer Administration and General	MN POWER	Sewer	765.05	-98157
275	452200	Community Building	MN POWER	EWC Garage	24.46	-98157
101	431901	City Garage	MN POWER	5255 Maple Grove Rd Garage	41.15	-98157
605	431160	Street Lighting	MN POWER	Overhead St Lights (33 @ \$10.2	508.37	-98157
101	431901	City Garage	MN POWER	4971 Lightning Dr	369.20	-98157
605	431160	Street Lighting	MN POWER	Traffic Lights	855.26	-98157
605	431160	Street Lighting	MN POWER	Street Lights (Roundabout)	23.96	-98157

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
275	452200	Community Building	MN POWER	4289 Ugstad Rd/EWC	11,870.10	-98157
605	431160	Street Lighting	MN POWER	Street Lights	431.18	-98157
605	431160	Street Lighting	MN POWER	Street Lights	504.23	-98157
101	422901	Firehall #1 Maple Grove Road	MN POWER	City Hall/Police/Fire	2,178.31	-98157
605	431160	Street Lighting	MN POWER	Street Lights	791.58	-98157
605	431160	Street Lighting	MN POWER	Street Lights	402.24	-98157
101	431100	Street Department	B & F FASTENER SUPPLY CO.	Nuts	16.61	-98156
603	441100	Storm Water	BRAUN INTERTEC CORPORATION	Approach Grading & Bridge No.	1,750.00	-98155
415	465200	Community Development	DSGW ARCHITECTS, INC.	Hermantown Arena	14,917.11	-98154
602	494500	Sewer Maintenance	GREAT LAKES PIPE SERVICE INC	Emergency Manhole Clean	1,725.00	-98153
603	441100	Storm Water	LHB INC	Hermantown 2024 Bridge Safety	178.50	-98152
603	441100	Storm Water	LHB INC	Hermantown Rocky Run Creek Bri	307.02	-98152
101	431100	Street Department	MENARD INC	Cable Ties/Wire Nuts	11.28	-98151
101	431901	City Garage	MENARD INC	Batteries	56.54	-98151
101	424100	Building Inspection	MENARD INC	Screw/Valve - Maple Field	107.32	-98150
101	452100	Parks	MENARD INC	Drill Bits/Wedge Anchors - Ben	66.51	-98150
601	494300	Water Distribution	MENARD INC	Screws/Sharpies/Phone Cable	15.74	-98150
101	452100	Parks	MENARD INC	Rubber Pellet Cart & Drill Bit	99.93	-98150
101	422100	Fire Administration	MENARD INC	Nuts/Bolts/Washers	26.35	-98150
101	422100	Fire Administration	MINNEAPOLIS OXYGEN COMPANY	Oxygen Cylinder Rental	225.32	-98149
101	421100	Police Administration	NASCAR TOWING, LLC	Towing - ICR# 25039565	65.00	-98148
602	494500	Sewer Maintenance	ALTA LAND SURVEY CO INC	Stake 2 Utility Easement	1,725.00	71921
101	422902	Firehall #2 Morris Thomas Road	BELKNAP PLUMBING & HEATING	RPZ Testing and Repair	3,246.82	71922
601	494300	Water Distribution	BENSON ELECTRIC COMPANY	Replace Light & Switch - Old W	541.89	71923
101	419901	City Hall & Police Building Maintenance	BENSON ELECTRIC COMPANY	Replace Lighting Control - CC	1,758.92	71923
101	422100	Fire Administration	BOUND TREE MEDICAL, LLC	Medical Supplies	1,472.03	71924
101	419901	City Hall & Police Building Maintenance	CAPITAL ONE TRADE CREDIT	Maintenance Tools	346.70	71925
101	422903	Firehall #3 Midway Road	CENTURYLINK	Internet FH3 02/22/25-03/21/25	84.99	71926
101	422902	Firehall #2 Morris Thomas Road	CENTURYLINK	Internet FH2 02/28/25-03/27/25	84.99	71926
101	431901	City Garage	CINTAS CORPORATION	Mats/Supplies	58.54	71927
101	431100	Street Department	CINTAS CORPORATION	Uniforms	7.92	71927
101	431100	Street Department	CINTAS CORPORATION	Uniforms	23.25	71927
601	494400	Water Administration and General	CLIFTONLARSONALLEN LLP	YR 2024 Audit Services	963.01	71928
101	415300	Administration & Finance	CLIFTONLARSONALLEN LLP	YR 2024 Audit Services	3,863.63	71928
602	494900	Sewer Administration and General	CLIFTONLARSONALLEN LLP	YR 2024 Audit Services	974.61	71928
101	490000	Miscellaneous Functions	COSTIN GROUP MN	City Lobbyist	1,500.00	71929
601	494400	Water Administration and General	CUSTOMER ELATION INC	02/11/25 - 03/10/25 Answering	61.85	71930
101	421100	Police Administration	DRYER & PETERSON, P.C.	Prosecution Services Feb 2025	7,336.38	71931

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
101	415300	Administration & Finance	DULUTH NEWS-TRIBUNE	Subscription Renewal/1 year	231.00	71932
101	422100	Fire Administration	ESSENTIA HEALTH	Tests - On Call Firefighters	1,258.00	71933
412	419100	Community Development	F. I. SALTER REAL ESTATE, INC.	MV Appraisal of Godmare HT Roa	1,850.00	71934
412	419100	Community Development	F. I. SALTER REAL ESTATE, INC.	MV Appraisal of Keene Creek To	1,850.00	71934
601	494300	Water Distribution	FERGUSON WATERWORKS #2516	Water Repair Band	191.51	71935
101	417200	Communications	FLASHING THUNDER FIREWORKS	Fireworks - City's 50th Annive	10,000.00	71936
101	415300	Administration & Finance	HERMANTOWN STAR LLC	Ordinance 2025-06	57.75	71937
101	411300	Ordinance, Public Notice and Proceedings	HERMANTOWN STAR LLC	2025 Budget Statement	181.50	71937
101	415300	Administration & Finance	HERMANTOWN STAR LLC	Ordinance 2025-04	115.50	71937
101	415300	Administration & Finance	HERMANTOWN STAR LLC	Ordinance 2025-07	49.50	71937
101	415300	Administration & Finance	HERMANTOWN STAR LLC	Ordinance 2025-05	49.50	71937
101	419901	City Hall & Police Building Maintenance	HERMANTOWN STAR LLC	Garage Roof Insulation Bids	49.50	71937
101	415300	Administration & Finance	HERMANTOWN STAR LLC	Feb 13 2025 Minutes	107.25	71937
101	415300	Administration & Finance	HERMANTOWN STAR LLC	Ordinance 2025-03	49.50	71937
101	421100	Police Administration	HOLIDAY COMPANIES	Car Washes - Feb 2025	35.00	71938
601	494300	Water Distribution	HY-VIZ INCORPORATED	Hydrant Monster Markers	9,650.00	71939
101	419901	City Hall & Police Building Maintenance	IMPERIALDADE	Maintenance Cart	852.02	71940
101	421100	Police Administration	KOLAR	Vehicle Repair - 2020 Chev Tah	1,297.86	71941
101	424100	Building Inspection	KWIK TRIP EXTENDED NETWORK	Gas Building Offical	182.12	71942
602	494500	Sewer Maintenance	KWIK TRIP EXTENDED NETWORK	Gas Utility	246.86	71942
101	431100	Street Department	KWIK TRIP EXTENDED NETWORK	Gas Street	511.84	71942
101	424100	Building Inspection	KWIK TRIP EXTENDED NETWORK	Car Wash BI	18.00	71942
101	421100	Police Administration	KWIK TRIP EXTENDED NETWORK	Car Wash PD	215.00	71942
101	421100	Police Administration	KWIK TRIP EXTENDED NETWORK	Gas PD	3,523.14	71942
101	452100	Parks	KWIK TRIP EXTENDED NETWORK	Gas Park	123.74	71942
101	422100	Fire Administration	KWIK TRIP EXTENDED NETWORK	Gas FD	1,158.27	71942
101	419901	City Hall & Police Building Maintenance	KWIK TRIP EXTENDED NETWORK	Gas Building	203.99	71942
601	494300	Water Distribution	KWIK TRIP EXTENDED NETWORK	Gas Utility	370.29	71942
101	421100	Police Administration	LEAGUE OF MINNESOTA CITIES	Peace Officer Accredited Train	1,600.00	71943
101	431100	Street Department	LINDE GAS & EQUIPMENT INC.	CyldrRntSfEnvFee1/20-02/20/25	55.78	71944
101	422100	Fire Administration	LOCALITY MEDIA INC. DBA FIRST DUE	Scheduling/Fire Inspection Sof	15,172.50	71945
602	494500	Sewer Maintenance	MN POLLUTION CONTROL AGENCY	Collection Syst Op - Terhaar	23.00	71947
101	419901	City Hall & Police Building Maintenance	MN TELECOMMUNICATIONS	Mar 2025 Internet	360.00	71948
101	422901	Firehall #1 Maple Grove Road	MN TELECOMMUNICATIONS	Mar 2025 Internet	90.00	71948
101	415300	Administration & Finance	MULDER, JOHN	Parking/Food/Hotel - LMC & MCM	212.86	71949
101	424100	Building Inspection	NAPA AUTO PARTS	H-28 Vehicle Maintenance	13.98	71950
101	431100	Street Department	OXYGEN SERVICE COMPANY	4" Grinder Discs	17.36	71951
415	465200	Community Development	PAUL BUNYAN COMMUNICATIONS, INC.	HT School Fiber Rebuild - Nort	66,953.37	71952

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
230	465100	HEDA	RONCHETTI, CHAD	Duluth Chamber Networking - Ro	210.00	71953
101	421100	Police Administration	SHEL/DON GROUP INC	Envelopes - PD	236.19	71954
101	424100	Building Inspection	SHEL/DON GROUP INC	Digitizing of Plans	149.23	71954
240	433500	Water Improvements	SHORT ELLIOTT HENDRICKSON INC	HERMT Water Meter Station	21,693.95	71955
101	421100	Police Administration	SHRED-N-GO INC	Shredding Contract through 2/2	148.93	71956
460	465100	HEDA	ST LOUIS COUNTY AUDITOR	2024-TIF Maintenance Charge	494.30	71957
101	421100	Police Administration	STREICHER'S	Ammo	5,895.30	71958
101	421100	Police Administration	SUN CONTROL OF MN	Badge Decal - PD	65.00	71959
101	431100	Street Department	TAPCO INC.	Ped Crossing Base	386.03	71960
101	421100	Police Administration	THOMSON REUTERS - WEST	Clear Subscription - Feb 24	173.25	71961
101	421100	Police Administration	TROY'S SERVICE CENTER	Oil & Filter - SQD 10	65.74	71962
101	419901	City Hall & Police Building Maintenance	UHL COMPANY INC	Service Air Handler	725.00	71963
101	419901	City Hall & Police Building Maintenance	UHL COMPANY INC	Service Controller Ping Alarms	389.00	71963
101	421100	Police Administration	UNITED TACTICAL SYSTEMS, LLC	PepperBall SCUBA Air Fill Kit	340.00	71964
251	101251	Cash- Drugs	UNITED TACTICAL SYSTEMS, LLC	Unrestricted Drugs Program - P	3,530.00	71964
101	431100	Street Department	UNITED TRUCK BODY COMPANY INC	Boss Plow Parts	133.48	71965
602	494900	Sewer Administration and General	VALLI INFORMATION SYSTEMS, INC	Feb 2025 Bill Print	33.33	71966
603	441100	Storm Water	VALLI INFORMATION SYSTEMS, INC	Feb 2025 Bill Print	33.34	71966
601	494400	Water Administration and General	VALLI INFORMATION SYSTEMS, INC	Feb 2025 Bill Print	33.33	71966
601	494400	Water Administration and General	VMC LLC	Ordinance Development	1,025.00	71967
101	431100	Street Department	ZIEGLER INC	Fuel Sending Unit - 928 Loade	119.01	71968
412	419100	Community Development	COURT ADMINISTRATION	Eminent Domain Damages - Trail	11,100.00	71976
101	431100	Street Department	ACME TOOLS	DEWALT 20V Compact Hammer Dril	179.00	71977
101	422100	Fire Administration	ALEX AIR APPARATUS 2, LLC	SCBA Compressor Maint	857.23	71978
101	422100	Fire Administration	ASPEN MILLS	Uniform Pants	190.16	71979
101	422100	Fire Administration	BULLDOG COLLISION	Vehicle Repair - HFD Chevy Tah	1,000.00	71980
101	431100	Street Department	BW DISTRIBUTING	Vehicle Wash - PW	310.97	71981
601	494300	Water Distribution	CAPITAL ONE TRADE CREDIT	Discharge Hose Parts	23.74	71982
101	431901	City Garage	CAPITAL ONE TRADE CREDIT	Wheelbarrow Tires/Dolly	185.93	71982
601	494300	Water Distribution	CAPITAL ONE TRADE CREDIT	Wand Coupler	91.14	71982
101	421100	Police Administration	CROW-GOEBEL VETERINARY CLINIC, P A	Vet - Tuuko	810.62	71983
101	431100	Street Department	DSC COMMUNICATIONS	Truck Radio Repair	644.65	71984
601	494300	Water Distribution	FERGUSON WATERWORKS #2516	Water Lateral Repair Parts	69.57	71985
601	494300	Water Distribution	FERGUSON WATERWORKS #2516	Water Main Parts	13,576.18	71985
601	494300	Water Distribution	FERGUSON WATERWORKS #2516	Repair Clamps/Bands	1,017.67	71985
101	421100	Police Administration	HERMANTOWN SERVICE CENTER INC <sup>56</sup>	Struts - 15 Chev Tahoe	957.84	71986
101	419100	Community Development	HERMANTOWN STAR LLC	Public Hearing Planning & Zoni	66.00	71987
101	419100	Community Development	HERMANTOWN STAR LLC	Open House Comprehension Plan	16.50	71987

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Fun d	Account	Department	Vendor Name	Description	Amount	Check #
101	424100	Building Inspection	HERMANTOWN STAR LLC	Advertisement for Bids	49.50	71987
101	415300	Administration & Finance	HERMANTOWN STAR LLC	Ordinance 2025-09	49.50	71987
101	419100	Community Development	HERMANTOWN STAR LLC	Public Hearing Planning & Zoni	66.00	71987
101	419100	Community Development	HOISINGTON KOEGLER GROUP INC.	Comprehensive Plan Update-Feb	3,337.50	71988
101	415300	Administration & Finance	INTEGRATED OFFICE SOLUTIONS	Copy Overage Konica C458	329.60	71989
101	415300	Administration & Finance	INTEGRATED OFFICE SOLUTIONS	Copy Overage Konica C308	63.01	71989
101	415300	Administration & Finance	MCCLURE, ALISSA	Food/Mileage/Hotel - MCFOA Con	772.04	71990
101	452100	Parks	MENARD INC - WEST DULUTH	Wedge Anchors - Benches Fichtn	55.44	71991
101	431100	Street Department	NAPA AUTO PARTS	Anti Gel	101.52	71992
101	431100	Street Department	NAPA AUTO PARTS	DEF Fluid	560.18	71992
415	465200	Community Development	NEXTEC SYSTEMS	Audio Visual Equip - Northstar	275,527.36	71993
230	465100	HEDA	NORTHSPAN GROUP INC	DAWN Partnership - 2025	2,500.00	71994
601	494300	Water Distribution	POLLARD WATER	Hydrant Notifiers	651.73	71995
101	421100	Police Administration	SHEL/DON GROUP INC	Letterhead - PD	226.99	71996
101	452200	Community Building	SHERWIN WILLIAMS	Paint - Old CH	253.43	71997
101	452200	Community Building	SHERWIN WILLIAMS	Paint Supplies - Old CH	36.99	71997
101	422901	Firehall #1 Maple Grove Road	STACK BROS MECHANICAL, INC.	Emergency Regulator Repair	832.94	71998
101	421100	Police Administration	TROY'S SERVICE CENTER	Oil & Filter - SQD 18	92.92	71999
101	421100	Police Administration	TROY'S SERVICE CENTER	Oil & Filter - SQD 19	53.28	71999
101	421100	Police Administration	TROY'S SERVICE CENTER	Oil & Filter - SQD 14	111.79	71999
<b>Totals: 362 records printed</b>					<b>832,477.20</b>	

**CITY COUNCIL MEETING DATE:** 04/07/2025

**TO:** Mayor & City Council

**FROM:** Eric Johnson, Community Development Director

**SUBJECT:** Amendment to City Zoning Ordinance – Chapter 2 Definitions

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☐ **RESOLUTION:** ☒ **ORDINANCE:** 2025-10 ☐ **OTHER:**

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### **REQUESTED ACTION**

Conduct a first reading on proposed language to Chapter 2, Definitions to add Communication Services.

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### **BACKGROUND**

The City of Hermantown has been working on an update to the Comprehensive Plan. As part of that work, the City is proposing an expansion of the BLM, Business and Light Manufacturing zoning district in the SW area of the City. Likewise, the City is looking to include other business uses within the BLM zoning district and is proposing the following amendment to the City zoning code:

#### **City Zoning Code:**

##### Chapter 2: Definitions

Proposes the following language:

“Communication services” means businesses, facilities or establishments used primarily to house or operate networked computers, data and transaction processing and related support equipment used to provide digital storage, data and transaction processing services, including all related utility and ancillary facilities and services such as [backup] power generation and cooling equipment office, administrative, and accessory uses involved in or related to any services or activities described in this category, including utility substations, whether taking place in the same or appurtenant buildings, utility facilities or structures.

A public hearing for this item was held at the March 18, 2025 Planning and Zoning Commission meeting. There were no members of the public who spoke to the item and the Planning and Zoning Commission recommended the item to the City Council for their review and approval.

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### **SOURCE OF FUNDS (if applicable)**

N/A

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### **ATTACHMENTS**

Ordinance

**Ordinance No. 2025-10**

The City Council of the City of Hermantown Does Ordain:

**AN ORDINANCE AMENDING CHAPTER 2, DEFINITIONS**

**Section 1.** Purpose and Intent. The purpose of this Ordinance is to add definitions relevant to the City’s BLM – Business and Light Manufacturing zoning district Ordinance updates in Chapter 5.

**Section 2.** Section 200 – Definitions. Section 200 is hereby amended by inserting the following definitions into the appropriate alphabetical order:

“Communication services” shall mean businesses, facilities or establishments used primarily to house or operate networked computers, data and transaction processing and related support equipment used to provide digital storage, data and transaction processing services, including all related utility and ancillary facilities and services such as [backup] power generation and cooling equipment office, administrative, and accessory uses involved in or related to any services or activities described in this category, including utility substations, whether taking place in the same or appurtenant buildings, utility facilities or structures.

**Section 3.** Added to Zoning Code. The terms and provisions of this ordinance shall be amended in the appropriate place in the Hermantown Zoning Code, after adoption and becoming effective.

**Section 4.** Effective Date. The provisions of this Ordinance shall be effective after adoption immediately upon publication once in the official newspaper of the City of Hermantown and upon recording with the St. Louis County Recorder’s Office.

Dated:

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

Adopted: \_\_\_\_\_

Published: \_\_\_\_\_

Effective Date: \_\_\_\_\_

**CITY COUNCIL MEETING DATE:** 04/07/2025

**TO:** Mayor & City Council

**FROM:** Eric Johnson, Community Development Director

**SUBJECT:** Amendment to City Zoning Ordinance – Chapter 5, Section 535 - Business and Light Manufacturing

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☐ **RESOLUTION:** ☒ **ORDINANCE:** 2025-11 ☐ **OTHER:**

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### **REQUESTED ACTION**

Conduct a first reading on proposed language to Chapter 5, Section 535 – Business and Light Manufacturing to add Communication Services.

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### **BACKGROUND**

The City of Hermantown has been working on an update to the Comprehensive Plan. As part of that work, the City is proposing an expansion of the BLM, Business and Light Manufacturing zoning district in the SW area of the City. Likewise, the City is looking to include other business uses within the BLM zoning district and is proposing the following amendment to the City zoning code:

#### **City Zoning Code:**

Chapter 5, Section 535 – Business and Light Manufacturing  
Proposes the following language:

Adds communication service facilities to the zoning district as a permitted use with a special use permit. In addition, requirements such as location in relation to residential structure, screening, hours of operation and noise are addressed as conditions to the use.

A public hearing for this item was held at the March 18, 2025 Planning and Zoning Commission meeting. There were no members of the public who spoke to the item and the Planning and Zoning Commission recommended the item to the City Council for their review and approval.

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### **SOURCE OF FUNDS (if applicable)**

N/A

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### **ATTACHMENTS**

Ordinance  
Amended Chapter 5, Section 535 – Business and Light Manufacturing



## **Ordinance No. 2025-11**

The City Council of the City of Hermantown Does Ordain:

### **AN ORDINANCE AMENDING CHAPTER 5, LAND USE REGULATIONS**

**Section 1.** Purpose and Intent. The purpose of this Ordinance is to provide for the inclusion of Communication Services facilities in the BLM, Business and Light Manufacturing zoning district.

**Section 2.** Section 535 – BLM, Business and Light Manufacturing, is hereby amended and restated to read as follows:

#### **535.04.12. Communication Service Facilities**

**535.04.12.1** Location. No communication service facility may be located within 200 feet of the nearest residentially zoned or utilized structure, as measured in a straight line without regard to intervening structures or objects.

**535.04.12.2.** Operation. Communication service facilities may operate on a continual basis, 24 hours a day, 7 days a week provided there is perimeter screening of the facility consisting of evergreen and deciduous trees and shrubs. Screening plan to be reviewed and approved by the Community Development Director.

**535.04.12.3.** Outdoor equipment. Outdoor equipment that serves the communication services facility, including but not limited to mechanical equipment and generators must not be located closer to a property line along a public street right of way, than the principal building and must be screened from view of adjacent public right of way and properties with evergreen and deciduous trees and shrubs. Screening plan to be reviewed and approved by the Community Development Director.

**535.04.12.4.** Noise. Communication service facilities must develop noise models for the site, to include customizing equipment locations and the employment of various sound mitigation strategies, such as noise walls, buffers and mufflers. Models to be reviewed and approved by City Engineer and Community Development Director.

**Section 3.** Added to Zoning Code. The terms and provisions of this ordinance shall be amended in the appropriate place in the Hermantown Zoning Code, after adoption and becoming effective.

**Section 4.** Effective Date. The provisions of this Ordinance shall be effective after adoption immediately upon publication once in the official newspaper of the City of Hermantown and upon recording with the St. Louis County Recorder's Office.

Dated: \_\_\_\_\_

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

Adopted: \_\_\_\_\_

Published: \_\_\_\_\_

Effective Date: \_\_\_\_\_

## **Section 535 – BLM, Business and Light Manufacturing**

**535.01 Purpose.** The provisions of this Section deal with business and light manufacturing uses of land and structures in the city.

### **535.02 Permitted Uses.**

**535.02.1.** Catering;

**535.02.2.** Commercial printing;

**535.02.3.** Distribution centers;

**535.02.4.** Educational/training centers;

**535.02.5.** Farmland on properties greater than five acres in size;

**535.02.6.** Gymnastics, martial arts, fitness, aerobics, exercise or dance studios;

**535.02.7.** Art studios;

**535.02.8.** Laboratories for research and development;

**535.02.9.** Medical office;

**535.02.10.** Office warehouse, office showroom;

**535.02.11.** Public buildings;

**535.02.12.** Public service facilities;

**535.02.13.** Warehouses.

**535.03 Permitted With Conditions.** The following uses shall be permitted upon issuance of a Zoning Certificate finding that the use is in compliance with the applicable development guidelines and performance standards identified in this Section, as well as any specific conditions included for each particular use.

### **535.03.1. Brewery.**

**535.03.1.1.** The Brewery shall not produce more than 3,500 barrels of malt liquor per year.

**535.03.1.2.** Up to 25% of the gross floor area of the Brewery may be used for any combination of retail and a taproom.

### **535.03.2. Commercial towers and antennas.**

**535.03.2.1.** Commercial towers and antennas shall be subject to all provisions of Chapter 19 of this code.

**535.03.2.2.** A Special Use Permit shall be obtained for any commercial tower or antenna that is proposed to exceed the height limitations of this Chapter, subject to the provisions of Chapter 19 of this code.

**535.03.3. Gasoline service station.**

**535.03.3.1.** All on-site utility service installations shall be placed underground.

**535.03.3.2.** Canopy and canopy support systems shall be compatible with the design of the principal structure.

**535.03.3.3.** All portions of the site designed for vehicle travel or storage shall be paved.

**535.03.3.4.** Outdoor storage may only take place in locations so designated and screened on the site plan approved as part of the Zoning Certificate.

**535.03.4. Industrial equipment sales, service, storage and repair.**

**535.03.4.1.** Any elements of the business operated outside a building, including storage of items for sale, long-term storage, and sales/display areas shall be located on an improved, paved surface. Screening may be required as part of the Zoning Certificate.

**535.03.5. Retail sales.**

**535.03.5.1.** Parking areas shall be paved.

**535.03.5.2.** Site access must be from a paved street.

**535.03.6. Indoor recreation and entertainment.**

**535.03.6.1.** Parking areas shall be paved.

**535.03.7. Restaurants.**

**535.03.7.1.** The gross floor area shall not exceed 4,000 square feet in size.

**535.03.7.2.** Parking areas shall be paved.

**535.03.7.3.** Site access must be from a paved street.

**535.03.7.4.** Restaurants may operate as an accessory use.

**535.03.8. Veterinary clinics.**

**535.03.8.1** The building shall be oriented to limit barking noise from any residential area.

**535.03.8.2** Clinics with outdoor kennels shall site such kennels away from any adjacent residential properties.

**535.03.9. Wholesale businesses.**

**535.03.9.1.** Wholesale businesses may include both interior and exterior sales.

**535.03.9.2.** Any elements of the business operated outside a building, including storage of items for sale, long-term storage, and sales/display areas shall be located on an improved, paved surface. Screening may be required as part of the Zoning Certificate.

**535.03.10. Automobile and truck sales, repair.**

**535.03.10.1.** Parking areas shall be paved.

**535.03.10.2.** Outdoor storage may only take place in locations so designated and screened on the site plan approved as part of the Zoning Certificate.

**535.03.11. Contractor's Shop and Storage Yard.**

**535.03.11.1.** Outdoor storage areas shall be permitted only in areas depicted on an officially approved site plan as part of a Zoning Certificate approval.

**535.03.11.2.** Designated outdoor storage areas shall be fully screened from off-site views.

**535.03.11.3.** Outdoor storage areas shall be maintained in a neat and orderly manner.

(Am. Ord. 2018-07, passed 9-5-18)

**535.04 Special Use Permit Required.** The following uses shall be permitted upon issuance of a Special Use Permit. These uses must meet all requirements required under Chapter 7 of this Code, as well as any additional requirements listed below.

**535.04.1. Kennels, Pet Boarding.**

**535.04.1.1.** The building shall be oriented to limit barking noises from any residential area.

**535.04.1.2.** Outdoor pet recreation areas shall be screened from any adjacent residential area, and set back a minimum of 80 feet from any such property lines.

**535.04.2. Lumber yard.**

535.04.2.1. Outdoor storage areas and locations where sawdust may accumulate shall be maintained in a neat and orderly manner.

**535.04.3. Manufacturing, assembly, packaging or fabrication.**

535.04.3.1. If adjacent to properties zoned or used for residential purposes, the primary building shall be located a minimum of 100 feet from any such property line.

535.04.3.2. If adjacent to properties zoned or used for residential purposes, suitable landscaping shall be installed between the primary building and the adjacent residential property line to provide a buffer between the uses.

**535.04.4. Mini storage warehouse.**

535.04.4.1. All parking areas and drive aisles shall be paved.

535.04.4.2. On-site security must be considered and shall be reviewed by the Hermantown Police Department during the Special Use Permit process.

**535.04.5. More than one principal building.**

535.04.5.1. The site circulation and traffic patterns shall be reviewed to determine adequacy.

535.04.5.2. The specific use for each principal building on the site shall be identified and found to be compatible.

**535.04.6. Oil, fuel storage.**

535.04.6.1. Any above ground oil and fuel storage facilities and areas shall be identified on a current survey, and shall be located a minimum of 150 feet from any adjacent residential properties and 100 feet from any wetland or floodplain areas.

535.04.6.2. The application shall include documentation from the State of Minnesota stating that the proposed use meets or is able to meet any applicable state and/or federal requirements.

**535.04.7. Parking as a primary use.**

**535.04.8. Well drilling equipment; storage and repair.**

535.04.8.1. Outdoor storage areas shall be maintained in a neat and orderly manner.

**535.04.9. Pawnbrokers.**

535.04.9.1. Applicant must also receive and maintain a pawnbroker's license under Section 410 of the Hermantown City Code.

**535.04.10. Medical Cannabis Distribution Facility.**

**535.04.11 Cannabis and Hemp Businesses.**

- 535.04.11.1.** Cultivation on a minimum of a five-acre parcel.
- 535.04.11.2.** Cannabis manufacturing on a minimum of a five-acre parcel.
- 535.04.11.3.** Hemp manufacturing on a minimum of a five-acre parcel.
- 535.04.11.4.** Wholesale cannabis distribution.
- 535.04.11.5.** Cannabis retail businesses.
- 535.04.11.6.** Cannabis transportation facility on a minimum of a 2.5 acre parcel.
- 535.04.11.7.** Cannabis delivery facility on a minimum of a 2.5 acre parcel.

**535.04.12. Communication Service Facilities**

**535.04.12.1** Location. No communication service facility may be located within 200 feet of the nearest residentially zoned or utilized structure, as measured in a straight line without regard to intervening structures or objects.

**535.04.12.2.** Operation. Communication service facilities may operate on a continual basis, 24 hours a day, 7 days a week provided there is perimeter screening of the facility consisting of evergreen and deciduous trees and shrubs. Screening plan to be reviewed and approved by the Community Development Director.

**535.04.12.3.** Outdoor equipment. Outdoor equipment that serves the communication services facility, including but not limited to mechanical equipment and generators must not be located closer to a property line along a public street right of way, than the principal building and must be screened from view of adjacent public right of way and properties with evergreen and deciduous trees and shrubs. Screening plan to be reviewed and approved by the Community Development Director.

**535.04.12.4.** Noise. Communication service facilities must develop noise models for the site, to include customizing equipment locations and the employment of various sound mitigation strategies, such as noise walls, buffers and mufflers. Models to be reviewed and approved by City Engineer and Community Development Director.

(Am. Ord. 2024-11, passed 12-02-2024)

**535.05 Accessory Uses.**

### **535.05.1. Outdoor storage.**

**535.05.1.1.** Outdoor storage areas shall be permitted only in areas depicted on an officially approved site plan as part of a Zoning Certificate approval.

**535.05.1.2.** Designated outdoor storage areas shall be fully screened from off-site views.

### **535.05.2. Railroad spurs.**

### **535.05.3. Refuse and recycling.**

### **535.05.4. Uses incidental to primary use.**

## **535.06 Dimensional Standards**

### **535.06.1.**

<i><b>Dimension Type</b></i>	<b>Requirement</b>
1. Minimum lot area	None
2. Minimum lot width	100 feet
3. Minimum depth of front yard (from R.O.W.)	20 feet or as specified
4. Minimum depth of corner yard (from R.O.W.)	20 feet or as specified
5. Minimum side yard setbacks – generally	20 feet or as specified
Minimum side yard setbacks – adjacent to residential	50 feet or as specified
6. Minimum rear yard setbacks – generally	20 feet or as specified
Minimum rear yard setbacks – adjacent to residential	50 feet or as specified
7. Maximum lot coverage – generally	35%
Maximum lot coverage with a landscaping plan approved by the City Council as part of an SUP	65%
8. Maximum building height	80 feet

**535.07 Performance Standards.** No structure or premises within any BLM district shall be used for one or more of the uses allowed under this Section unless its use complies with the following regulations.

**535.07.1.** Processes and equipment employed in production of goods or any other use of the land shall conform to the following standards:



**535.07.1.1.** Vibration. Any vibration discernable beyond the property line to the human sense of feeling for five minutes or more duration (cumulative) in any one hour and any vibration producing a particle velocity of more than 0.035 inch per second are prohibited.

**535.07.1.2.** Glare and heat. Any operation producing intense glare or heat shall be performed within an enclosure so as not to be perceptible at the property line.

**535.07.1.3.** Industrial Waste Material. All liquid and solid wastes shall be identified in all processes and operations and approved disposal methods identified, and all governmental standards met.

**535.07.1.4.** Noise. Noise levels inside and outside of all buildings must meet federal, state, and local requirements as may be amended from time to time.

**535.07.1.5.** Air pollution. All emissions shall meet federal, state, and local requirements as may be amended from time to time, and all governmental standards met.

**535.07.2.** Manufacture of a product which decomposes by detonation or produces dioxin will not be permitted.

**535.07.3.** All trash, garbage, waste materials, trash containers, and recycling containers shall be kept in a minimally visible location on the site. Whenever possible, such containers shall be located in a location behind buildings and out of view from the public right-of-way. If such containers cannot be sited behind the buildings on the site, they shall be fully screened by a fence.

**535.07.4.** There shall be no access to a property which is within 50 feet of the intersection of the nearest curb cut of any public streets unless it can be demonstrated that adherence to this standard will cause undue hardship to the property owner.

**535.07.5.** Hours of operation adjacent to residential districts. Uses on parcels immediately adjacent to residential districts cause unique impacts within the City. For this reason, hours of operation for any facilities adjacent to residential districts shall be limited to the hours between 6:00 AM and 11:30 PM.

**535.07.6.** Areas to be paved. Prior to issuance of a Zoning Certificate for any uses where a paved parking area is required, a cash escrow or other financial instrument in a form acceptable to the City shall be provided, to be fully refundable upon completion of the paved area. The cash escrow or financial guarantee shall be in the amount of 25% of the cost of the paving improvements, or \$10,000, whichever is more.

**535.08 Off-Street Parking & Loading.** The following minimum requirements shall apply to all uses within the BLM District.

**535.08.1.** Upon a determination by the City Council based on verifiable information pertaining to parking demand, the off-street parking requirements of this Section may be revised upward or downward as part of a Special Use Permit application.

**535.08.2.** For unlisted uses, off-street parking requirements shall be set by the Zoning Administrator based on the closest comparable listed use.

**535.08.3.** Table 535.08.1, Off-Street Parking Requirements:

<b>Table 535.08.1</b>	
<i>Use</i>	Minimum number of parking spaces required
Gas station and automotive repair	Three spaces, plus four spaces per each service bay.
Manufacturing facilities (including breweries)	Five spaces plus one per each 500 square feet floor area.
Medical office or veterinary clinic	1 space per 200 square feet of floor space.
Office or laboratory	1 space per 250 square feet of floor space.
Restaurant	1 space per 100 square feet of floor space.
Retail	1 space per 250 square feet of floor space.
Studios	1 space per 400 square feet of floor space.
Warehouse or distribution	The lesser of 1 space per 1,500 square feet of floor space, or 1 for each employee on the maximum working shift.

**535.08.4.** All off-street parking areas shall be maintained in good repair.

**535.08.5.** Loading docks, berths and facilities.

**535.08.5.1.** Loading dock. A minimum of one loading dock shall be provided for nonresidential buildings with 20,000 square feet or more in floor area

**535.08.5.2.** Loading facility. A loading facility includes the dock, the berth for the vehicle, maneuvering areas, and the necessary screening walls.

**535.08.5.3.** Location. All loading berth curb cuts shall be located 25 feet or more from the intersection of two street rights-of-way. No loading berth shall be located less than 50 feet from any parcel that is zoned residential and used or subdivided for residential use, or has an occupied institutional building. Loading facilities shall not occupy the required front yard.

**535.08.5.4. Size.** A loading dock shall have a berth area at least 12 feet wide and 55 feet long.

**535.08.5.5. Access.** Each loading berth location shall permit vehicular access to a street or public alley in a manner which will least interfere with traffic.

**535.08.5.6. Surfacing.** All loading facilities and access ways shall be paved with bituminous or concrete paving to control the dust and drainage.

(Am. Ord. 2006-02, passed 5-15-2006) (Am. Ord. 2014-13, passed 12-15-2014) (Am. Ord. 2019-13, passed 10-21-2019) (Am. Ord. 2019-15, passed 11-18-2019)



**CITY COUNCIL MEETING DATE:** 04/07/2025

**TO:** Mayor & City Council

**FROM:** Eric Johnson, Community Development Director

**SUBJECT:** Amendment to City Zoning Map

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☐ **RESOLUTION:**                      ☒ **ORDINANCE:** 2025-12                      ☐ **OTHER:**

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### **REQUESTED ACTION**

Conduct a first reading on proposed zoning map amendment to parcels 395-0010-08985, 395-0010-09040, 395-0010-09015, 395-0010-09055, 395-0010-09015, 395-0010-09170, 395-0010-09180, 395-0010-09182, 395-0010-09200, 395-0010-09202, 395-0010-09207, 395-0010-09210, 395-0010-09215 and 395-0010-09220 from S-1, Suburban to BLM, Business and Light Manufacturing

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### **BACKGROUND**

The City of Hermantown has been working on an update to the Comprehensive Plan. As part of that work, the City is proposing an expansion of the BLM, Business and Light Manufacturing zoning district in the SW area of the City. There are 14 parcels either owned by Allete or Rendfield Land Company with the primary use being utility based business.

The subject parcels are within the S-1, Suburban zoning district. Although public utility services are a permitted use in the zoning district (existing Allete substation), the use does not align with typical zoning. In order to align with the comprehensive plan update, the City is proposing the rezoning of these 14 parcels to Business and Light Manufacturing which more accurately describes the nature of the parcels.

A public hearing for this item was held at the March 18, 2025 Planning and Zoning Commission meeting. There were multiple members of the public who spoke to the item with questions ranging from what uses are permitted in the BLM district to what is the overall plans for this quadrant of the City. The Planning and Zoning Commission recommended the item to the City Council for their review and approval.

### **SITE DATA**

**Address:** 5816 Morris Thomas Road (Parcels 395-0010-08985, 395-0010-09040, 395-0010-09015, 395-0010-09055, 395-0010-09015, 395-0010-09170, 395-0010-09180, 395-0010-09182, 395-0010-09200, 395-0010-09202, 395-0010-09207, 395-0010-09210, 395-0010-09215 and 395-0010-09220)

**Existing Comprehensive Plan:** Concept Area 4: Develop New Compatible Light Industrial with Adequate Public Facilities, Preserve Wetlands and Rural Uses

**Comprehensive Plan Update:** Business and Light Manufacturing

**Zoning:** S-1, Suburban

**Lot Size:** 328+/- acres total

**Wetlands:** Yes, per the National Wetland Inventory

**Shoreland Overlay:** Yes, Natural Environment Shoreland Area

**Airport Zoning:** No

### Infrastructure

The subject parcels are within a portion of the City which is outside of the urban service area. As part of the comprehensive plan update, the City is proposing this area being included in an expanded urban service area. This request has been reviewed and approved by the WLSSD.

### Wetlands

A wetland delineation will need to be performed for any proposed work on these subject parcels. Any delineation and impacts will be reviewed by the Hermantown Technical Evaluation Panel.

### Zoning

The City is initiating a rezoning of the parcels from S-1, Suburban to BLM, Business and Light Manufacturing.

Dimensional standards would change as follows:

Dimensional Standards	S-1	BLM
Height	35 feet	80 feet
Setbacks		
<i>Front</i>	50 feet	20 feet
<i>Side (abutting residential)</i>	15 feet	50 feet
<i>Side</i>	15 feet	20 feet
<i>Rear</i>	50 feet	20 feet, 50 feet abutting residential
Minimum lot area	5 acres	None
Minimum lot width	300 feet	100 feet
Maximum lot coverage	30%	35% or 65% with approved landscape plan

### Comprehensive Plan

The parcels are within Concept Area 4: Develop New Compatible Light Industrial with Adequate Public Facilities, Preserve Wetlands and Rural Uses. As part of the Comprehensive Plan Update, which is in its final review stage, it is envisioned that these parcels will be guided towards Business and Light Manufacturing.

### SUMMARY & JUSTIFICATION:

The proposed rezoning meets the criteria of the existing Comprehensive Plan and the Comprehensive Plan Update as well as the overall goals and policies of the Zoning Ordinance.

1. The parcels are within Concept Area 4: Develop New Compatible Light Industrial with Adequate Public Facilities, Preserve Wetlands and Rural Uses. As part of the Comprehensive Plan Update, which is in its final review stage, it is envisioned that these parcels will be guided towards Business and Light Manufacturing.

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SOURCE OF FUNDS (if applicable)

N/A

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## ATTACHMENTS

Ordinance  
Location Map  
Existing Zoning Map  
Proposed Zoning Map

The City Council of the City of Hermantown does ordain:

**AN ORDINANCE AMENDING TITLE 2 OF THE HERMANTOWN CITY CODE  
BY AMENDING THE OFFICIAL ZONING MAP  
(PARCELS 395-0010-08985, 395-0010-09040, 395-0010-09015, 395-0010-09055, 395-0010-09015, 395-0010-09170, 395-0010-09180, 395-0010-09182, 395-0010-09200, 395-0010-09202, 395-0010-09207, 395-0010-09210, 395-0010-09215 and 395-0010-09220)**

Section 1. Amendment to Official Zoning Map. The Official Zoning Map of the City of Hermantown is hereby amended so that the entire parcels legally described in Section 2 are zoned S-1, Suburban.

Section 2. Purpose and Intent. The purpose of this amendment is to rezone the properties so that the Property Identification Numbers 395-0010-08985, 395-0010-09040, 395-0010-09015, 395-0010-09055, 395-0010-09015, 395-0010-09170, 395-0010-09180, 395-0010-09182, 395-0010-09200, 395-0010-09202, 395-0010-09207, 395-0010-09210, 395-0010-09215 and 395-0010-09220 are zoned BLM, Business and Light Manufacturing.

Section 3. Effective Date. This amendment to Title 2 of the Hermantown Code that amends the Official Zoning Map shall be effective after adoption immediately upon (1) the publication of this Amendment to Title 2 of the Hermantown City Code once in the legal newspaper of the City of Hermantown and (2) the filing of this Amendment to Title 2 with the County Recorder of St. Louis County.

\_\_\_\_\_  
Wayne Boucher, Mayor

Attest:

\_\_\_\_\_  
Alissa McClure, City Clerk

Adopted: \_\_\_\_\_

Published: \_\_\_\_\_

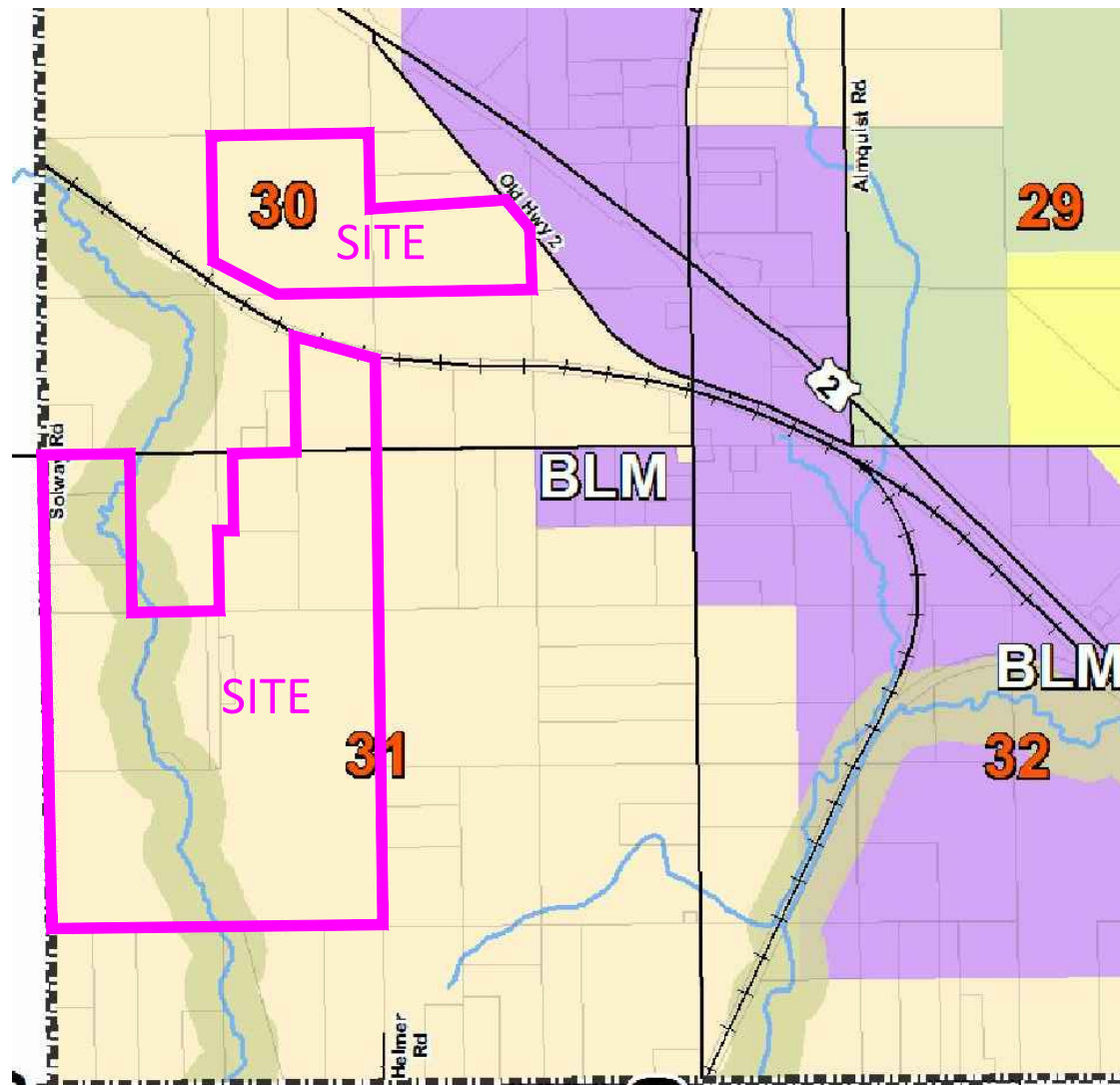
Effective Date: \_\_\_\_\_

Location Map





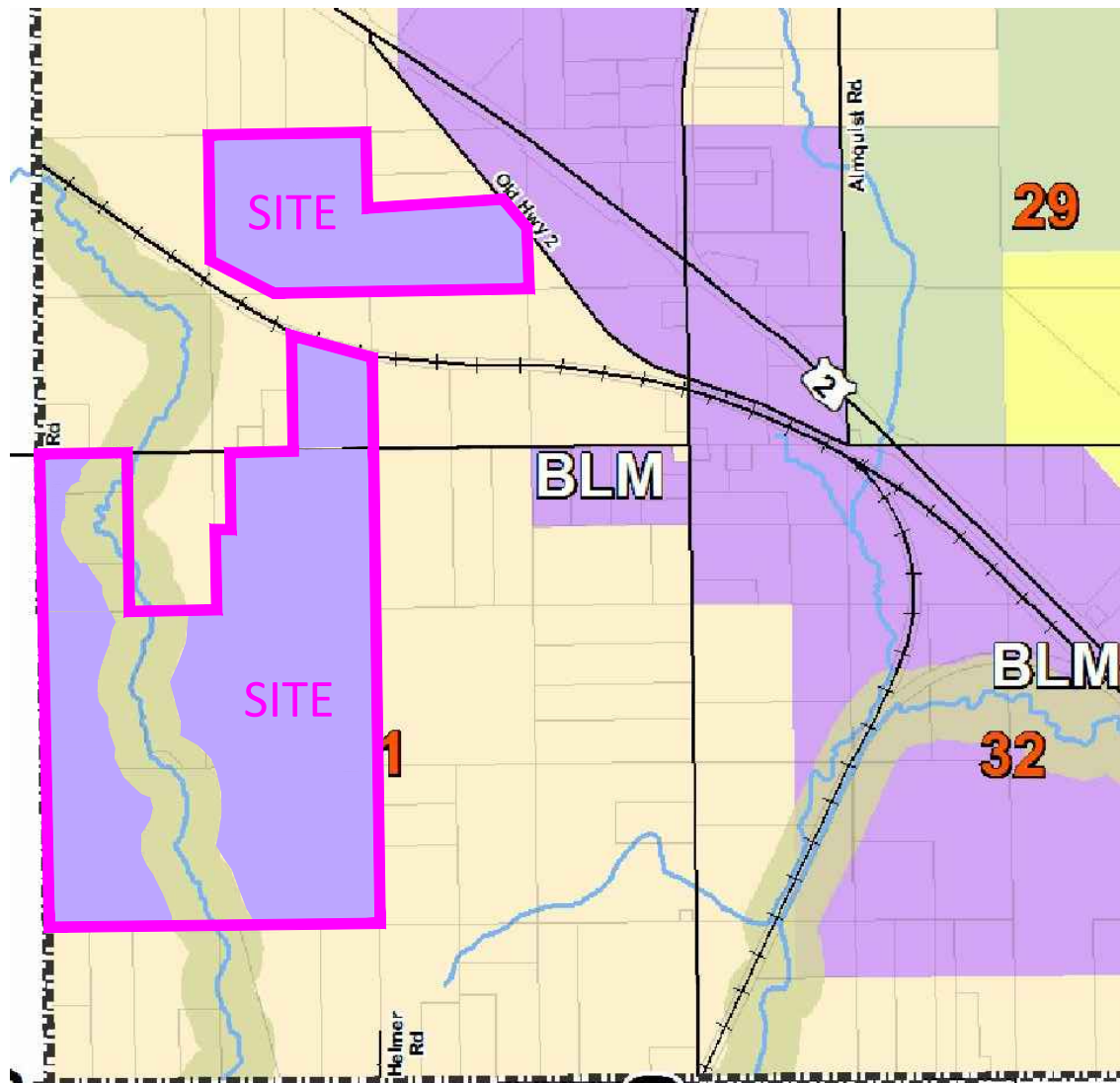
# EXISTING ZONING



## Hermantown Zoning Districts

	HM-Hermantown Marketplace
	BLM-Business/Light Manufacturing
	C-General Commercial
	C1-Office/Light Industrial
	C1A-Sexually Oriented Uses
	M2-Heavy Industrial
	O-Conservation/Open Space
	P-Public Facilities
	PUD-Planned Unit Development
	R1-Residential
	R3-Residential
	R3a-Multiple Family Dwellings
	S1-Rural/Suburban

# PROPOSED ZONING



## Hermantown Zoning Districts

	HM-Hermantown Marketplace
	BLM-Business/Light Manufacturing
	C-General Commercial
	C1-Office/Light Industrial
	C1A-Sexually Oriented Uses
	M2-Heavy Industrial
	O-Conservation/Open Space
	P-Public Facilities
	PUD-Planned Unit Development
	R1-Residential
	R3-Residential
	R3a-Multiple Family Dwellings
	S1-Rural/Suburban



**CITY COUNCIL MEETING DATE:** April 7, 2025

**TO:** Mayor & City Council

**FROM:** Joe Wicklund, Asst. City Administrator

**SUBJECT:** Steve Overom Day – April 8, 2025

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☒ **RESOLUTION:** 2025-58      ☐ **ORDINANCE:**      ☐ **OTHER:**

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**REQUESTED ACTION**

Name April 8, 2025, “Steve Overom Day” in Hermantown.

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**BACKGROUND**

Steve Overom’s contributions to our community are deep, broad, and integral to the City we have become. For more than four decades, Steve provided guidance, care, and creativity in his role guiding the city as legal counsel. We are lucky to have had him aid in shaping the hometown we are today, and are wishing him well as he fully retires from his role with the City.

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**SOURCE OF FUNDS (if applicable)**

N/A

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**ATTACHMENTS**

Resolution  
Proclamation

**Resolution No. 2025-58**

**Resolution Designating April 8, 2025 As "Steve Overom Day" In The City Of Hermantown**

WHEREAS, Steve Overom has served the City of Hermantown, its residents, and the greater community for more than four decades; and

WHEREAS, his dedication, leadership, steady guiding hand, and care for the past, present and future of Hermantown has always been present; and

WHEREAS, Steve Overom's legal expertise combined with his genuine care for Hermantown has helped guide incredible community growth, both in the commercial and residential sectors; and

WHEREAS, it is truly not possible to measure the depth and breadth of the positive impact Steve Overom has had in Hermantown, often without fanfare, attention, or much credit; and

WHEREAS, after more than forty years of devoted service, Steve Overom will be fully retiring from his role at the City of Hermantown; and

WHEREAS, the City of Hermantown is vastly improved because of, and deeply grateful for Steve Overom's efforts and actions taken on behalf of our community; and

WHEREAS, the City Council of Hermantown wishes to recognize and honor Steve for his service and special contributions; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Hermantown, Minnesota, that April 8, 2025, shall be designated as "Steve Overom Day" in the City of Hermantown; and

BE IT FURTHER RESOLVED, that all citizens are encouraged to celebrate and recognize the contributions of Steve Overom in making Hermantown a world-class hometown.

Councilor introduced the foregoing resolution and moved its adoption.

The motion for the adoption of such resolution was seconded by Councilor and, upon a vote being taken thereon, the following voted in favor thereof:

Councilors Hjelle, LeBlanc, Geissler, Peterson, and Mayor Boucher, aye.

and the following voted in opposition thereto:

None.

WHEREUPON, such resolution was declared duly passed and adopted April 7, 2025.



## ***CITY OF HERMANTOWN PROCLAMATION***

WHEREAS, Steve Overom has served the City of Hermantown, its residents, and the greater community for more than four decades; and

WHEREAS, his dedication, leadership, steady guiding hand, and care for the past, present and future of Hermantown has always been present; and

WHEREAS, Steve Overom's legal expertise combined with his genuine care for Hermantown has helped guide incredible community growth, both in the commercial and residential sectors; and

WHEREAS, it is truly not possible to measure the depth and breadth of the positive impact Steve Overom has had in Hermantown, often without fanfare, attention, or much credit; and

WHEREAS, after more than forty years of devoted service, Steve Overom will be fully retiring from his role at the City of Hermantown; and

WHEREAS, the City of Hermantown is vastly improved because of, and deeply grateful for Steve Overom's efforts and actions taken on behalf of our community; and

WHEREAS, the City Council of Hermantown wishes to recognize and honor Steve for his service and special contributions; and

NOW, THEREFORE, BE IT RESOVED, by the City Council of the City of Hermantown, Minnesota, that April 8, 2025, shall be designated as "Steve Overom Day" in the City of Hermantown; and

BE IT FURTHER RESOLVED, that all citizens are encouraged to celebrate and recognize the contributions of Steve Overom in making Hermantown a world-class hometown.

*Proclaimed by the City Council of the City of Hermantown this 8<sup>th</sup> day of April, of 2025.*

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Mayor Wayne Boucher



**CITY COUNCIL MEETING DATE:** April 7, 2025

**TO:** Mayor & City Council

**FROM:** Joe Wicklund, Asst. City Administrator

**SUBJECT:** User Group Agreement - HYBB

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☒ **RESOLUTION:** 2025-59      ☐ **ORDINANCE:**      ☐ **OTHER:**

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**REQUESTED ACTION**

Approval of park user agreements with Hermantown Youth Baseball (HYBB)

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**BACKGROUND**

The City enters into user agreements with several park users (Hermantown Schools, Youth Baseball, Youth Softball, Youth Soccer) for primary use of sports-related aspects of our park system. This is the user agreement with Hermantown Youth Baseball and is for use in Fichtner Park.

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**SOURCE OF FUNDS (if applicable)**

N/A

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**ATTACHMENTS**

Resolution  
HYBB/City Agreement

**Resolution No. 2025-59**

**Resolution Authorizing And Directing Mayor And City Clerk To Execute And Deliver Agreement For The Use Of The City Of Hermantown Athletic Fields With The Hermantown Youth Baseball**

WHEREAS, the City of Hermantown owns certain athletic fields; and

WHEREAS, the Hermantown Youth Baseball desires to utilize fields applicable to its sport; and

WHEREAS, the City requires that any party using a City athletic field enters into an agreement governing such use; and

WHEREAS, the Hermantown Youth Baseball desires to enter into the Agreement for a three-year term expiring on December 31, 2027 with the City.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Hermantown, Minnesota, as follows:

1. A three-year Agreement with the Hermantown Youth Baseball and Hermantown is hereby approved.

2. The Mayor and City Clerk are hereby authorized and directed to execute and deliver such agreement on behalf of the City.

Councilor Peterson introduced the foregoing resolution and moved its adoption

The motion for the adoption of such resolution was seconded by Councilor LeBlanc and upon a vote being taken thereon, the following voted in favor thereof:

Councilors Geissler, Hjelle, LeBlanc, Peterson, and Mayor Boucher, aye.

and the following voted in opposition thereto:

None.

WHEREUPON, such resolution was declared duly passed and adopted April 7, 2025.



AGREEMENT FOR THE USE OF THE  
CITY OF HERMANTOWN ATHLETIC FIELDS

THIS AGREEMENT is made between the CITY OF HERMANTOWN ("City") and Hermantown Youth Baseball ("User") with regard to the use of the City Athletic Fields.

City at considerable expense has allocated land belonging to the City for use as athletic fields ("City Athletic Fields").

City and User desire to allocate duties with respect to the maintenance and use of the City Athletic Fields. Accordingly, the parties do agree as follows:

1. City hereby grants to User a license to use the City Athletic Fields described on Exhibit A attached hereto ("Field") at such times as are specified on Exhibit A attached hereto. This license of usage includes the right to use the Field, lights, parking area, concession stand and all other facilities appurtenant to the Fields.
2. The term of this License shall expire on December 31, 2027
3. Property installed by City on the City Athletic Fields shall be and remain the property of the City.
4. No property may be installed by User on the City Athletic Fields without the prior written approval by City. Property installed by User for use in connection with City Athletic Fields shall be and remain the property of City.
5. Maintenance of the City Athletic Fields shall be the responsibility of City except the User shall be responsible for restoration of fields following usage by it. Maintenance, which is the responsibility of the User, shall include the following:
  - a. custodial services in order to clean and maintain any buildings during and following use by User during the spring and summer baseball seasons when User is utilizing the park and its amenities, such as the concession stand, bathrooms, and playing fields;
  - b. trash and litter clean up and proper disposal in containers provided by the City following use by User during the spring and summer baseball seasons when User



is utilizing the park and its amenities, such as the concession stand, bathrooms, and playing fields

- c. payment of the fee set from time to time by the City for each day that the lights are utilized at the Field
  - d. operating any concession stand utilized by User in accordance with all applicable codes and regulations
  - e. maintaining the cleanliness of any concession stand utilized by User in accordance with all applicable codes and regulations.
  - f. maintaining the cleanliness of the restroom facilities by assessing facilities upon arrival and returning them to that level upon departure, as well as communicating with City promptly as they arise
6. The City will be responsible for weekly grass mowing on all grass Fields covered by this agreement. The User will be responsible for dragging, marking, or chalking the fields.
7. The City has made a significant investment in improving the main baseball field at Fichtner Park with turf to aid in its usability in earlier months and different weather conditions. User groups will be expected to aid in protecting this investment through taking a few precautions. Metal spikes will not be used on the turf surface at any time. Sunflower seeds, chewing tobacco, colored sports drinks, and other items that will damage and stain the turf will not be allowed on the turf surfaces within Fichtner Park or in the dugouts or areas adjacent to turf surfaces. Fines of \$100 per occurrence will be enforced. User groups are expected to manage opponents use of metal spikes, sunflower seeds, and other damaging objects to the turf, as the fines will be levied against the user groups, not user group opponents.
8. The user hereby agrees it will give reasonable advance notice of the scheduling of athletic practice and athletic events requiring the use of the City Athletic Fields, and does further agree that such usage, as it will make under this Agreement, will be done in a reasonable manner. This allows the City to schedule other users on these fields outside of the schedule set by the User. The City and User understand that schedule changes are inevitable due to weather and other circumstances. After agreeing to the initial practice and game schedule with the User, the City will allow other groups to schedule time. The User will not be able to move other scheduled users/events after other scheduled users/events have contracted with the City for Fichtner Park and the noted fields.

CITY OF HERMANTOWN  
PARKS AND RECREATION USER GROUP AGREEMENT  
HERMANTOWN YOUTH BASEBALL  
EXHIBIT A

FACILITY COVERED BY THIS AGREEMENT: Fichtner Fields 1, 2, 3, & 4

TIME PERIOD:

First scheduled game or practice: April 1<sup>st</sup>

Last scheduled game or practice: August 15<sup>th</sup>

FACILITY COVERED BY THIS AGREEMENT: Keene Creek Park

TIME PERIOD:

First scheduled game or practice: May 15<sup>th</sup>

Last scheduled game or practice: August 15

CITY OF HERMANTOWN  
PARKS AND RECREATION USER GROUP AGREEMENT  
HERMANTOWN YOUTH BASEBALL

EXHIBIT B

No Restrictions.

9. In consideration of this license and expected park maintenance for Five Thousand Dollars (\$5,000), User agrees to pay the City the sum of Seven Thousand Five Hundred Dollars (\$7,500), for the 2025-2026 year, payable on or before November 30. This amount will license and expected park maintenance will increase to Seven Thousand Five Hundred Dollars (\$7,500), for years 2026-2027 and 2027-2028, payable on or before November 30 of those respective years.
10. User shall, during the term of this Agreement, maintain comprehensive property damage and liability insurance that names City as an additional insured and with a combined single limit of coverage of at least one million, two hundred thousand Dollars (\$1,200,000.00). User shall provide City with a certificate evidencing that insurance is in force and effect with such certificate indicating that the insurance evidenced by such certificate shall not be cancelled, materially altered or not renewed without thirty (30) days prior written notice of such cancellation, material alteration or non-renewal being given to City.
11. All receipts and disbursements from or related to the use of the City Athletic Fields shall be for the account of the City except as specifically noted on Exhibit B attached hereto or except as specifically agreed to in writing by the City.
12. User may not assign, sublease, sublicense or otherwise grant any rights to the use of the City Athletic Fields without prior written consent of the City.

IN WITNESS WHEREOF, City and User have each authorized the ratification of this Agreement and have caused the same to be executed by their appropriate officers this March 24<sup>th</sup> day of March 2025.

CITY OF HERMANTOWN

HERMANTOWN YOUTH BASEBALL

By \_\_\_\_\_  
Its Mayor

By Michael Fry  
Its Hybb President





The twinhomes are proposed as rental units with the new residents having full access to the amenities offered at The Pillars' main building, including the Community Library, Renew Salon and Spa, Chapel and Theater, Wellness Center with sauna, rooftop deck and sunroom, pub, community dining room and pickleball court.

The proposed twinhome units will have minimized maintenance and care responsibilities. Associated with the structures and yard areas.

A public hearing as held at the March 18, 2025 Planning and Zoning Commission meeting. Members of the public spoke to express their concern about the amount of traffic at the Maple Grove/Lavaque Road intersection as well as state that this is similar to the PUD application that was denied in 2020. The Planning and Zoning Commission recommended the project to the City Council for their review and approval.

### **PUD Process**

The City's zoning regulations governing PUD's require that each PUD obtain preliminary and final approval. The City's Planned Unit Development ordinance states that PUDs over 4 units/acre and/or 5 acres in size are required to make separate Preliminary and Final PUD submissions.

The PUD review and approval process include a public hearing by the Planning Commission and a recommendation to the City Council. A PUD order will be issued by the City setting project specific development standards. Following completion of the development contract the applicant will be granted final Zoning approval and can begin construction, pending approval of the associated building permits.

Per Section 1105 of the Planned Unit Development section of the Zoning Ordinance, it requires that a PUD must provide public benefits to the surrounding neighborhood and to the city above and beyond what can be reasonably achieved by application of the zoning provisions applicable to the underlying zoning district. The nature and scale of public benefit shall be determined by the City and include, but not be limited to:

- 1.1 Preservation and enhancement of natural systems and resources, topography, vegetation, and other natural features. – This project proposes to preserve existing tree cover along the site perimeter associated with Lavaque and Maple Grove Roads. In addition, the Applicant will plant additional landscape screening along the perimeter and entry points to the site.
- 1.2 Efficient design and use of transportation systems and utilities, improved housing and neighborhood options.
- 1.3 Provision of recreational amenities including trails and parks. – The Project proposes access to the main building amenities which include a Community Room, Renew Salon and Spa, Chapel and Theater, Wellness Center with sauna, rooftop deck and sunroom, pub, community dining room and pickleball court.

## Zoning Analysis

The PUD process allows the City Council to modify any provisions of the underlying zoning district if the PUD is consistent with the Comprehensive Plan and provides a public benefit.

Modifying the standards through the PUD process is appropriate for the development as it utilizes existing infrastructure (driveway and utilities) already in place from the Pillars development and seeks to retain existing vegetation along the property boundaries associated with Lavaque and Maple Grove Roads.

## Setbacks

Proposed setbacks vary from the standards of the R-3 Zoning District. Depicted on the attached exhibits, the setbacks reflect a site design that will allow for a creative use of the site while utilizing existing infrastructure (driveways and utilities) associated with the Pillars development.

Typical setback standards in the R-3 Zoning District for single family residential homes and proposed setbacks are shown in Table 1:

Table 1. R-3 Residential Requirements	R-3 Requirement	Proposed Twinhomes
Minimum lot area	½ acre (2 units/acre)	10 acre property total
Minimum lot width (at setback line)	100 feet	458 feet minimum
Minimum front yard	50 feet from public ROW	20 feet minimum from ROW
Minimum side yard	10 feet, 25 feet aggregate	20 feet minimum
Minimum rear yard	40 feet	20 feet minimum
Roadway ROW width	66 feet	22' wide private drive with curb, gutter and 5' sidewalk

## Stormwater

There is an existing stormwater pond associated with the Pillars development. The Applicant is proposing to enlarge this pond in order to accommodate the new impervious surface associated with this development phase. The Applicant's engineer has submitted preliminary stormwater calculations for the proposed project which will be reviewed and approved by the City Engineer.

The stormwater pond and inlet/drainage system will be owned and maintained by the Applicant.

### Utilities

The Applicant will connect a new public watermain to the existing watermain running through the parking lot in front of the Pillars building. A new sanitary sewermain will be constructed from the southeast corner of the site and run northwest towards the Lavaque Road driveway

entrance. Each unit is proposed to have separate water and sewer connections. The Applicant will construct the water and sewer mains and then dedicate the mains to the City for ownership and maintenance, with each main being within a 30' wide utility easement. Detailed plans for new public utilities will be reviewed and approved by the City Engineer prior to issuance of the building permit. No new public utilities will be accepted by the City until reviewed by the City Engineer and accepted by resolution of the City Council. The applicant is required to pay all applicable connection and availability fees associated with the utility work.

### Driveway, Parking, and Traffic

The proposed project will utilize the existing driveway system associated with the existing Pillars development. A traffic analysis was performed as part of the original project proposal in 2020 which showed approximately 14 AM peak hour trips and 19 PM peak hour trips associated with 19 units. It is anticipated that the proposed 20 twinhome units will have approximately 180 new daily trips total.

The Applicant is proposing an internal sidewalk system for the project which will connect the proposed units to the existing sidewalk system within the development. In addition, there will be a sidewalk which provides direct connection to the Pillars building.

### Park Dedication Fees

The property owner will be required to pay park dedication fees consistent with the requirements of the City Zoning Ordinance. Park dedication fees will be paid according to the following schedule. Payments are due at the time of approval of the Final PUD or as agreed to in the development contract.

Development Type	Recommended
Multi-family, 2+ bedroom units	\$800
Multi-family, 1 bedroom and studio	\$400
Per bedroom fee	\$150
Planned Unit Development	Proportional to Mix of Development

### Stormwater Utility Fees

Upon the completion of the project, a stormwater utility will be assessed on a square foot basis of impervious surface (buildings, driveway and sidewalks). The site is eligible for a 50% credit by

enlarging the existing stormwater pond which will address stormwater quality and quantity for this next phase.

### Architecture

The architectural design of the cottages is similar to the existing Pillars building. Exterior siding materials is proposed to be LP composite or fiber cement siding with accent brick veneer, and residential-grade asphalt shingles.

### Landscaping/Buffer

The Applicant has provided a Tree Cover exhibit which illustrates the extent of existing tree cover to be retained. Where not possible or lacking, the Applicant will install additional landscape screening, most notably near the intersection of Lavaque and Maple Grove as well as near the main entrance on Lavaque. The overall landscaping plan includes new tree plantings throughout the site and native vegetation surrounding the existing stormwater basin.

### **Summary**

Staff recommends approval of the Preliminary Planned Unit Development (PUD), to construct 10 twinhome buildings (20 units total) with site improvements on a 10 acre property located in a R-3, Residential zoning district with the following conditions:

1. The proposed PUD meets the intent of the R-3, Residential Zoning District, Chapter 11 – Planned Unit Developments, and the overall goals and policies of the Zoning Ordinance.
2. The proposed development meets the Comprehensive Plan for residential development and standards of a Planned Unit Development by providing public benefit through enhanced and coordinated development design and a greater variety of housing types in the community.
3. The Planned Unit Development is hereby approved is hereby expressly subject to the following conditions:
  - 3.1 That the Project will be constructed as described in the plans accompanying the Application and the conditions contained herein.
  - 3.2 The Community Development Director of the City of Hermantown shall be notified at least five (5) days in advance of the commencement of the work authorized hereunder and shall be notified of its completion within five (5) days thereafter
  - 3.3 No change shall be made in the Project without written permission being previously obtained from the City of Hermantown.
  - 3.4 Applicant shall grant access to the site at all reasonable times during and after construction to authorized representatives of the City of Hermantown for inspection of the Project to see that the terms of this permit are met.



- 3.5 Applicant is initially and continually in compliance with all of the ordinances and regulations of the City of Hermantown.
  - 3.6 Trees and brush cannot be burned on the property, but may be chipped and shredded.
  - 3.7 An MPCA Stormwater Permit and erosion control measures must be in place prior to the start of operations.
  - 3.8 All utility line easements shall be observed and any encroachment into the utility right-of-way shall only be permitted with the written approval of the utility.
  - 3.9 The Applicant shall take measures to control erosion that has the potential to damage adjacent land, and control sedimentation that has the potential to leave the site.
- 4 Dimensional requirements of lot, setbacks, and roadways shall be according to the attached site plan and table 1.

Table 1. R-3 Residential Requirements	R-3 Requirement	Proposed Twinhomes
Minimum lot area	½ acre (2 units/acre)	10 acre property total
Minimum lot width (at setback line)	100 feet	458 feet minimum
Minimum front yard	50 feet from public ROW	20 feet minimum from ROW
Minimum side yard	10 feet, 25 feet aggregate	20 feet minimum
Minimum rear yard	40 feet	20 feet minimum
Roadway ROW width	66 feet	22' wide private drive with curb, gutter and 5' sidewalk

- 5 The Applicant will have one year from the date of the Preliminary PUD approval to apply for a Final PUD application.
- 6 Applicant to submit preliminary and final construction documents (water, storm sewer, sanitary sewer, roadway, etc.) according to City standards and coordinated with the City Engineer as part of the Final PUD process.

- 7 Installation of water and sanitary sewer shall require the Property Owner to enter into an agreement with the City governing the terms of such work. All utility plans shall be approved by the City Engineer. All drainage and utility easements shall have associated easements. The Property Owner shall enter into a Development Agreement with the City for all public utilities.
- 8 The applicant is responsible for all City and WLSSD availability, hook-up and CAF fees associated with the PUD.
- 9 The applicant is responsible for all City Engineer and Attorney fees related to the review and approval of the PUD.
- 10 The applicant shall pay park dedication fees according to the following schedule. Payments are due at the time of approval of the Final PUD or as agreed to in the development contract.

Development Type	Recommended
Multi-family, 2+ bedroom units	\$800
Multi-family, 1 bedroom and studio	\$400
Per bedroom fee	\$150
Planned Unit Development	Proportional to Mix of Development

- 11 The Applicant shall sign a consent form assenting to all conditions of this approval.
- 12 The Applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.
- 13 The approval made by this resolution extends only to the Project as defined in this resolution.

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#### **SOURCE OF FUNDS (if applicable)**

N/A

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#### **ATTACHMENTS**

- Resolution
- Location Map
- Project Narrative
- Site Plan
- Grading Plan



- Utility Plan
- Landscape Plan
- Cross Sections
- Floor Plans
- Building Image

**Resolution No. 2025-60**

**Resolution Approving Preliminary Planned Unit Development With KTJ 360 LLC For The Hermantown Cottages Development**

WHEREAS, KTJ 360 LLC (Applicant) has submitted a complete application (Application) for a preliminary Planned Unit Development (PUD) in association with parcel 395-0010-04120; and

WHEREAS, the Hermantown Planning and Zoning Commission held a public hearing on the preliminary PUD on March 18, 2025 following notice as required by the City's Zoning Code; and

WHEREAS, following the public hearing on the preliminary PUD, the Hermantown Planning Commission recommend on a 6-0 vote that the City Council approve the preliminary PUD; and

WHEREAS, the City Council has duly considered this matter and believes that it is in the best interests of the City of Hermantown that the preliminary PUD be approved, subject to certain conditions being met.

NOW THEREFORE, BE IT RESOLVED after due consideration of the entire City file, the testimony at the public hearing and all other relevant matters the City Council hereby makes the following findings related to the Preliminary Planned Unit Development.

**A. FINDINGS OF FACT**

1. The proposed development plan meets the intent of the R-3, Residential Zoning District and the overall goals and policies of the Zoning Ordinance.
2. The proposed development meets the Comprehensive Plan for residential development and standards of a Planned Unit Development by providing public benefit through siting of the buildings in order to protect wetlands.
3. A PUD may be allowed in any zoning district in the City of Hermantown. In addition, all permitted and conditional uses listed in the underlying specific district are allowed in a PUD.
4. The tract of land ("Land") affected by the Plan is legally described on Exhibit A attached hereto.
5. The Plan includes provisions for the preservation of natural amenities.
6. The Plan appears to harmonize with both existing and proposed development in the area surrounding the project site.

7. The Plan is comprised of at least two and one half (2 ½) acres of contiguous land.
8. The Plan includes residential uses.
9. Maps were provided with the Plan and contained the following:
  - 9.1 The existing topographic character of the land.
  - 9.2 A composite of all natural amenities of the site including steep slopes, drainage ways plus wetlands.
  - 9.3 The size of the site and proposed uses of the land to be developed.
  - 9.4 The density of land use to be allocated to the overall development.
10. The Plan includes the following:
  - 10.1 A statement of the ownership of all land involved in the Planned Unit Development.
  - 10.2 An explanation of the general character of the planned development.
  - 10.3 A general indication of the expected time schedule of development.
11. The approval of the Final Development Plan is subject to the following modifications/conditions:
  - 12.1 The Applicant will cause all buildings within the development to be constructed in accordance with all applicable building and fire codes.
  - 12.2 In order to ensure that the spirit and intent of the Hermantown Zoning Code is met modifications must be made to the Plan and conditions imposed on the development proposed by the Plan.
  - 12.3 Erosion control measures shall be utilized and remain in place throughout the construction period, and shall not be removed until vegetation is established on the site.
  - 12.4 Prior to issuance of a building permit, all necessary permits shall be obtained, including, without limitation, any stormwater permits required by the Minnesota Pollution Control Agency.
  - 12.5 The Applicant will be required to finalize and identify any proposed wetland impacts associated with the development.
  - 12.6 The Applicant shall describe best management methods that will be used to demarcate and protect wetlands that are located on site, including physically signing

boundaries and providing electronic and GIS information to City documenting the wetland boundaries.

12.7 The applicant shall comply with the following conditions during construction:

- a. Development activity shall comply with all City noise ordinances. There shall be no construction activity between the hours of 10 p.m. and 7 a.m.
- b. Loud equipment shall be kept as far as possible from adjacent residences.
- c. The site shall be kept free of dust and debris that could blow onto neighboring properties.
- d. Public streets shall be maintained free of dirt and shall be cleaned as necessary.
- e. The City shall be contacted a minimum of 72 hours prior to any work in a public street or right-of-way. Work in a public street shall take place only upon the determination by the Public Works Director that appropriate safety measures have been taken to ensure motorist and pedestrian safety.
- f. The Zoning Administrator may impose additional conditions if it becomes necessary in order to mitigate the impact of construction on surrounding properties.

12.8 The Applicant shall sign a consent form assenting to all conditions of this approval.

12.9 The Applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.

13.To accomplish the complex review process for approval of the Plan, the dates and deadlines of Chapter 11, "Planned Unit Developments" were reviewed and requirements met by the Applicant.

14.The approval given by this Resolution is not effective until Applicant executes and delivers an acceptance of the terms and provisions of this Resolution.

15.The Applicant will be required to pay park dedication fees consistent with the requirements of the City Zoning Ordinance. The Applicant/builder will be responsible for the \$150/bedroom park dedication at the time of building permit.

16.Applicant must pay all costs and expenses incurred by the City, including attorney's fees, planner fees and out of pocket costs incurred by the City.

## **CONCLUSION**

On the basis of the foregoing Findings of Fact, the City Council of the City of Hermantown is hereby resolved as follows:

1. The preliminary PUD for 10 twinhomes (20 units total) meets the intent of the R-3, Residential Zoning District, Chapter 11 – Planned Unit Developments, and the overall goals and policies of the Zoning Ordinance.
  - a. Preservation and enhancement of natural systems and resources, topography, vegetation, and other natural features. – This project proposes to preserve existing tree cover along the site perimeter associated with Lavaque and Maple Grove Roads. In addition, the Applicant will plant additional landscape screening along the perimeter and entry points to the site.
  - b. Efficient design and use of transportation systems and utilities, improved housing and neighborhood options.
  - c. Provision of recreational amenities including trails and parks. – The Project proposes access to the main building amenities which include a Community Room, Renew Salon and Spa, Chapel and Theater, Wellness Center with sauna, rooftop deck and sunroom, pub, community dining room and pickleball court.
2. A PUD may be allowed in any zoning district in the City of Hermantown. In addition, all permitted and conditional uses listed in the underlying specific district are allowed in a PUD.
3. The project will be served by public water and sewer which will be constructed by the Applicant. The Applicant/builder will be responsible for any connection of availability fees.
4. The preliminary PUD hereby approved is hereby expressly subject to the following conditions:
  - a. Applicant is initially and continually in compliance with all of the ordinances and regulations of the City of Hermantown.
  - b. That the Project will be constructed as described in the plans accompanying the Application and the conditions contained herein.
  - c. The Zoning Administrator of the City of Hermantown shall be notified at least five (5) days in advance of the commencement of the work authorized hereunder and shall be notified of its completion within five (5) days thereafter.

- d. No change shall be made in the Project without written permission being previously obtained from the City of Hermantown.
  - e. Applicant shall grant access to the site at all reasonable times during and after construction to authorized representatives of the City of Hermantown for inspection of the Project to see that the terms of this permit are met.
  - f. Applicant is initially and continually in compliance with all of the ordinances and regulations of the City of Hermantown.
  - g. All utility line easements shall be observed and any encroachment into the utility right-of-way shall only be permitted with the written approval of the utility.
  - h. Trees and brush cannot be burned on the Land, but may be chipped and shredded.
  - i. Erosion control measures must be in place prior to any construction on the Final PUD.
  - j. An MPCA Stormwater Permit and erosion control measures must be in place prior to the start of operations.
  - k. The Applicant shall take measures to control erosion that has the potential to damage adjacent land, and control sedimentation that has the potential to leave the site.
- 5. The Applicant will be required to pay park dedication fees consistent with the requirements of the City Zoning Ordinance. The Applicant/builder will be responsible for the \$150/bedroom park dedication at the time of building permit.
  - 6. Applicant to submit preliminary and final construction documents (water, storm sewer, sanitary sewer, roadway, etc.) according to City standards and coordinated with the City Engineer prior to construction.
  - 7. Installation of water and sanitary sewer shall require the Applicant to enter into an agreement with the City governing the terms of such work. All utility plans shall be approved by the City Engineer. The Development agreement shall specify the amount of a financial guarantee to be held by the City from the time of commencement of work until such a time as the City is prepared to accept as complete the new public infrastructure. All drainage and utility easements shall have associated easements. The Applicant shall enter into a Development Agreement with the City for all public utilities.
  - 8. The Applicant is responsible for all City and WLSSD availability, hook-up and CAF fees associated with the PUD.
  - 9. The Applicant will have one year from the date of the Preliminary PUD approval to submit a Final PUD application to the City.



10. The Applicant is responsible for all City Engineer and Attorney fees related to the review and approval of the PUD.
11. The Applicant shall sign a consent form assenting to all conditions of this approval.
12. The Applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.
13. The approval made by this resolution extends only to the Project as defined in this resolution.

Councilor \_\_\_\_\_ introduced the foregoing resolution and moved its adoption.

The motion for the adoption of such resolutions was seconded by Councilor \_\_\_\_\_ and, upon a vote being taken thereon, the following voted in favor thereof:

Councilors \_\_\_\_\_, and Mayor Boucher, aye.

and the following voted in opposition thereto:

WHEREUPON, such resolution was declared duly passed and adopted April 7, 2025.

**LEGAL DESCRIPTION**

S 1/2 OF W 1/2 OF SW 1/4 OF SW 1/4 SECTION 14 TOWNSHIP 50 RANGE 15

PARCEL: 395-0010-04120

## ACCEPTANCE OF RESOLUTION

KTJ 360 LLC ("Applicant") hereby acknowledges and accepts the conditions specified on the foregoing Resolution and covenants and agrees to comply with each and every such condition.

Applicant acknowledges that the failure to comply with all of the modifications and conditions shall constitute a violation of the Hermantown Zoning Ordinance and that the City of Hermantown may, in such event, exercise and enforce its rights against the undersigned by instituting any appropriate action or proceeding to prevent, restrain, correct or abate the violation including, without limitation, exercising and enforcing its rights against any security that the undersigned may provide to the City to insure its compliance with the conditions contained in the foregoing Resolution.

Applicant acknowledges that this Resolution shall be recorded with the title to the property described in the text of the Resolution.

IN WITNESS WHEREAS, KTJ 360 LLC has executed this acceptance this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
KTJ 360 LLC

STATE OF MINNESOTA    )  
  )ss.  
COUNTY OF ST. LOUIS    )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2025, by KTJ 360 LLC.

\_\_\_\_\_  
Notary Public

## Location Map



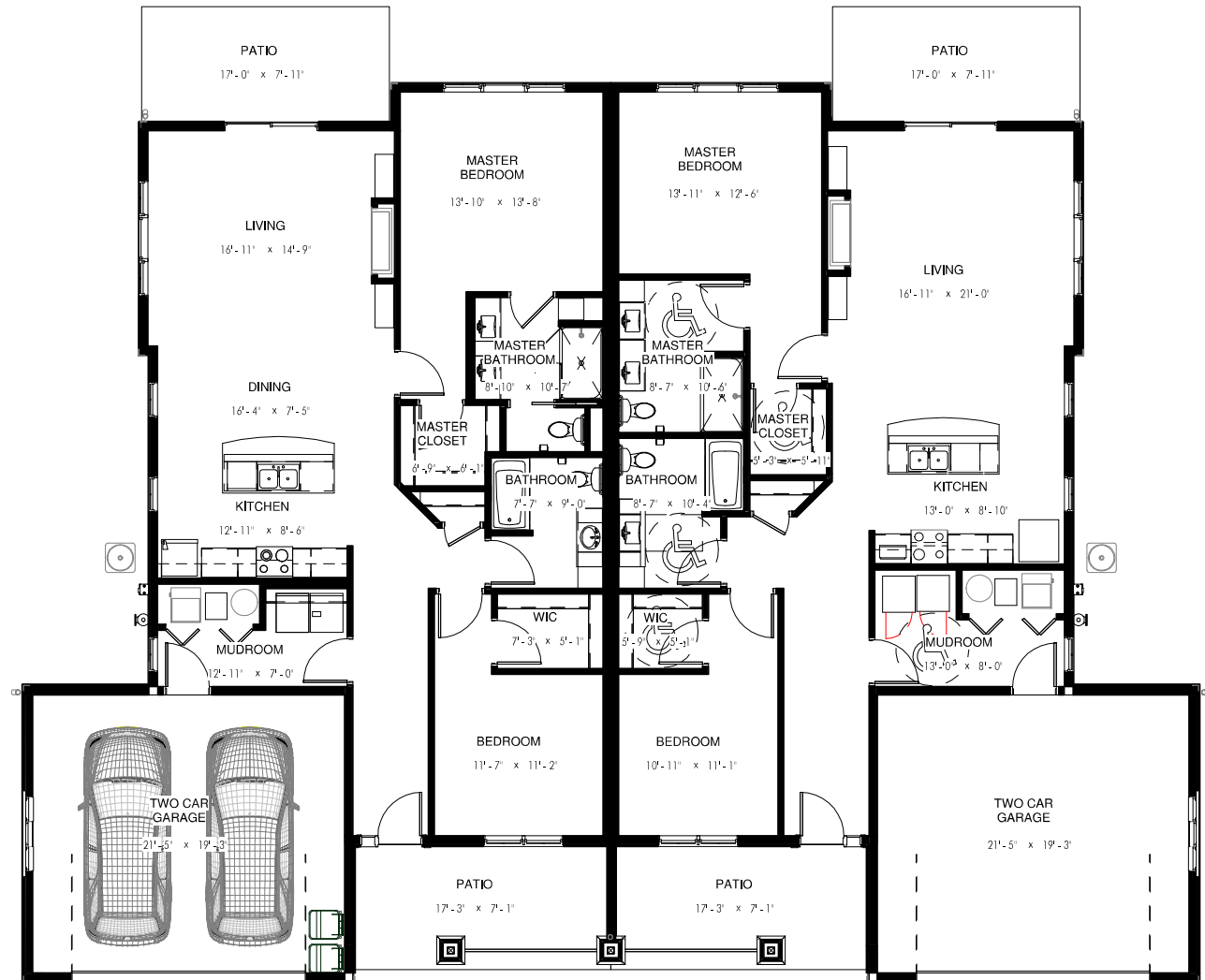
Cottage A & Cottage A Acc

Twinhome

1,928 gross sf  
1,387 net sf

Two Bedroom  
Two bathroom  
Two Car garage

105



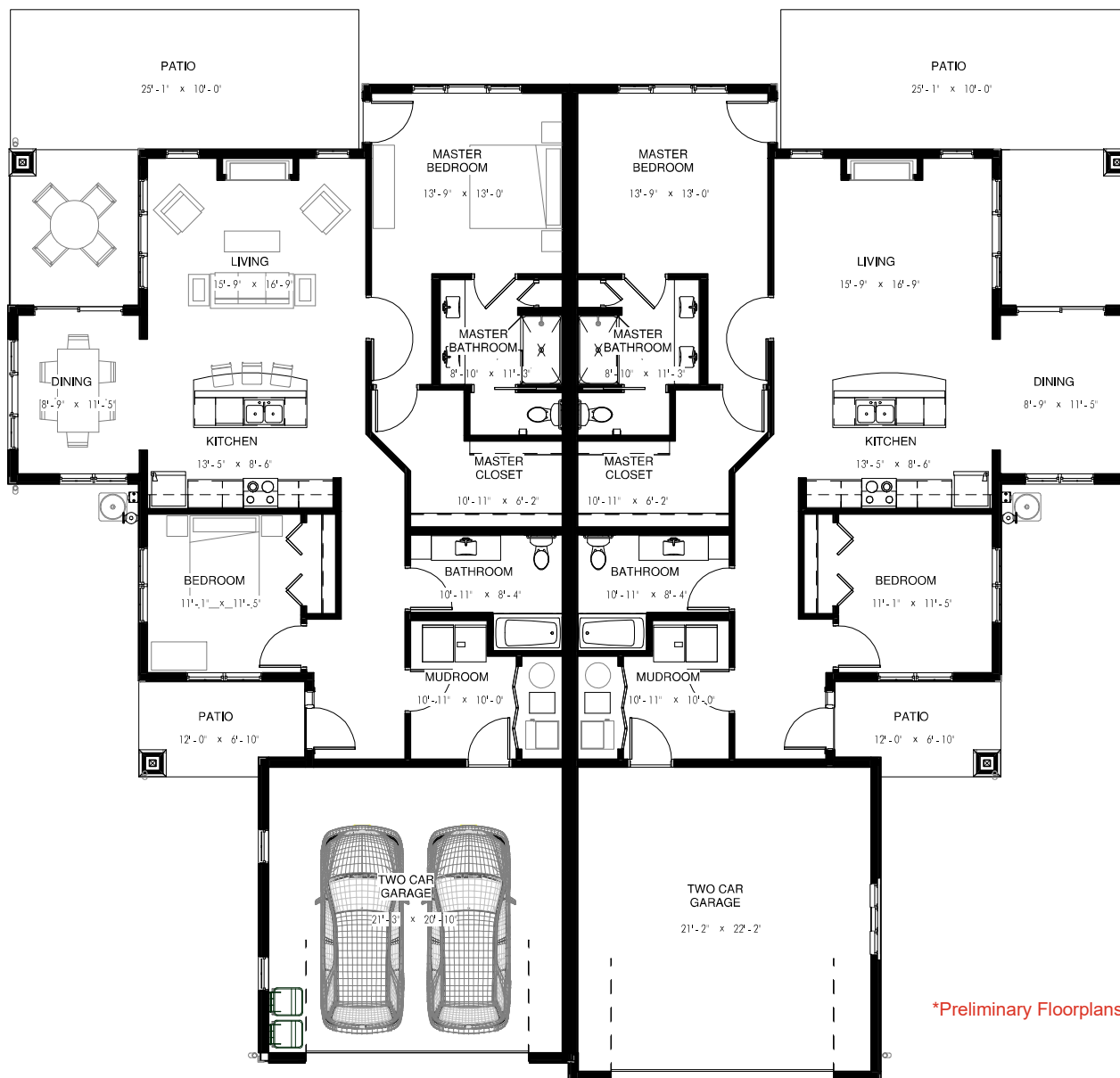
1 Cottage A  
1/8" = 1'-0"

## Cottage C2

Twinhome

1,971 to 2,001 gross sf  
1,387 net sfTwo Bedroom  
Two Bathroom  
Two Car Garage

106



\*Preliminary Floorplans subject to change

① Cottage C2  
1/8" = 1'-0"

## **PRELIMINARY PUD – PROJECT NARRATIVE**

### ***PUBLIC BENEFIT STATEMENT***

The proposed cottage development will expand the existing senior living community, The Pillars of Hermantown, located at 5097 Maple Grove Rd. Currently, The Pillars offers 110 senior apartments with a mix of Independent Living, Assisted Living and Memory Care.

This new addition will enhance the community's continuum of care by introducing 20 two-bedroom, for-rent cottages. These Class A, free-standing cottages will provide a unique living option not currently available in the local market. Residents will enjoy the comfort of a traditional home-like setting, while benefiting from minimized maintenance and care responsibilities. Cottage residents will have full access to the amenities offered at The Pillars' main building, including (but not limited to) the Community Library, Renew Salon and Spa, Chapel and Theater, Wellness Center with sauna, rooftop deck and sunroom, pub, community dining room, pickleball court, and more.

This proposed development not only meets the growing demand for diverse senior living options but also addresses housing needs in Hermantown. As community members transition from their legacy homes to these cottages, additional single-family homes will become available, supporting the area's rapid growth.

Before development plans began, Oppidan engaged a senior living consultant to conduct a market study assessing the demand for for-rent cottages. The results revealed a strong need for this type of housing type, fully supporting the proposed 20-unit expansion.

Lastly, the cottage addition will be managed by Ebenezer Management Services, the same team overseeing The Pillars' main building. As a wholly owned subsidiary of Fairview Health Services, Ebenezer brings extensive expertise in serving the aging population, providing both compassionate living experiences and essential healthcare services.

### ***PRESERVATION AND ENHANCEMENT OF NATURAL RESOURCES***

In response to community feedback from the original development of The Pillars and preliminary discussions on this project with city staff, Oppidan prioritized preserving the streetscapes along Lavaque Rd and Maple Grove Rd. The proposed cottages, designed as single-story structures, significantly minimize visual impact compared to higher-density alternatives.

The attached Tree Cover exhibit illustrates that much of the existing tree cover will be retained. Where not possible or lacking, additional landscape screening will be added, most notably near the intersection of Lavaque and Maple Grove as well as near the main entrance on Lavaque. The overall landscaping plan includes new tree plantings throughout the site and native vegetation surrounding the existing stormwater basin, further enhancing the site's natural character.

### ***SITE DENSITY AND USE***

The site plan features 20 single-level, two-bedroom cottages, each with an attached two-car garage. The density was carefully planned to ensure every unit remains single-story while accommodating the garage. To enhance natural light and reduce shared walls, the cottages are arranged in pairs, providing residents with bright, inviting spaces. This intentional design balances providing a high-quality, comfortable living experience, while limiting visual impact on the surrounding neighborhood and maintaining enough units to support the significant site work and infrastructure costs. The cottages will be carefully and thoughtfully designed to complement The Pillars' main building.

The grading on this site posed some challenges due to elevation change that occurs on site. In order to achieve the density and described above, a large amount of soil will need to be removed from the site during construction. The current earthwork calculations show approximately 22,000 CY of material that will need to be relocated. Based on geotechnical findings, the composition of the excess material appears to be mostly silty sands. In discussion with the city, they have indicated the potential use for these excess materials at city owned sites (i.e. The Fixhtner Park site). This coordination will be an important part of the project feasibility.

An internal roadway has been designed to utilize the existing entrances, reducing the impact of new access points and keeping traffic flow contained within the site. Sidewalks and walking trails will connect the cottages to the main building, offering residents convenient and safe access to community amenities.

### ***LOCAL ECONOMY***

The proposed development will further strengthen the local economy through increased property tax revenue. Oppidan is not pursuing any municipal assistance, ensuring the project will generate immediate positive tax growth.



As previously mentioned, the addition of this unique housing option will create single-family home purchasing opportunities within the community as residents transition from their legacy homes to the cottages/community.

### ***UTILITY EFFICIENCY***

The proposed development plans to utilize existing utility infrastructure. Oppidan has partnered with civil engineering firm, LHB Corp, to determine the most effective approach to service the site. Sanitary and water mains will follow the private road, forming a loop water system with connections on both ends. An easement over the main line will be granted to the City of Hermantown. The sanitary sewer will tie into the City's main line southeast of the existing Pillars building. Each cottage unit will have individual water and sewer connections.

For stormwater management, geotechnical investigations indicate that on-site soils are receptive to infiltration. To meet city and Minnesota Pollution Control Agency (MPCA) requirements, the development will implement an underground infiltration system designed as an arch chamber system. Storm sewer will be added to the site to capture runoff and direct it to these systems. Grading and storm sewer will be designed to limit the amount of water that runs offsite or to the exiting pond untreated.



File Path: \\240851500\Drawings\CA\240851 C301 GRADING.dwg  
Plot Date: 5/22/2022 12:17 AM



## LEGEND

- CONSTRUCTION LIMITS
- MAJOR CONTOUR (5' INTERVAL)
- MINOR CONTOUR (1' INTERVAL)
- SLOPE ARROW
- 863.25 SPOT ELEVATION
- GRADE BREAK
- SWALE
- REVERSE GUTTER CURB
- ADA CRITICAL AREA  
2% MAX IN ANY DIRECTION

## ABBREVIATIONS

- EO EMERGENCY OVERFLOW
- FFE FIRST FLOOR ELEVATION
- HWM HIGH WATER LEVEL
- HP HIGH POINT
- LP LOW POINT
- MP MID POINT
- PC POINT OF CURVATURE
- PCC POINT OF COMPOUND CURVATURE
- PRC POINT OF REVERSE CURVATURE
- PR POINT OF TANGENT
- TBC TOP BACK OF CURB
- BC BACK OF CURB
- B/S BOTTOM OF STAIRS
- T/S TOP OF STAIRS
- B/W BOTTOM OF WALL
- T/W TOP OF WALL

## GENERAL NOTES

- GRADES SHOWN ARE FINISH SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL MAKE APPROPRIATE DEDUCTIONS FOR VARYING SURFACES TO DETERMINE SUBGRADE ELEVATIONS.
- SPOT ELEVATIONS ALONG CURB LINES REPRESENT THE TOP BACK OF CURB UNLESS OTHERWISE NOTED.
- UNLESS NOTED OTHERWISE, GRADES ADJACENT TO THE BUILDING WALL SHALL BE 8" BELOW FINISH FLOOR ELEVATION IN LANDSCAPED AREAS AND AT FINISH FLOOR ELEVATION FOR PAVED AREAS.
- ALL EXISTING AND PROPOSED STRUCTURE ACCESS COVERS SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.
- CONTRACTOR SHALL STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNER IF CONTAMINANTS ARE FOUND IN THE EXISTING SOILS.
- SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%. CROSS-SLOPES OF AT LEAST 1.5% IN THE GENERAL DIRECTION OF THE OVERALL SITE SLOPE WILL BE ACHIEVED IN AREAS WHERE LONGITUDINAL SLOPES ARE LESS THAN 1.5%.
- ONLY PLACE FILL MATERIALS ON COMPETENT, INSPECTED SUBGRADE.
- IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
- SEE SHEETS C101-102 FOR THE SEDIMENTATION AND EROSION CONTROL PLANS.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- REFER TO LANDSCAPE PLANS FOR AREAS TO RECEIVE PERMANENT SEED, SOD, TREES AND SHRUBS, ETC.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL MANHOLES STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- ALL GRADE WITHIN THE LANDSCAPED AREAS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED. AROUND THE BUILDING SHALL BE GRADED AT 5% FOR 10'. GRADED SWALES MUST HAVE A MINIMUM BOTTOM SLOPE OF 2.0%.
- PREVENT CONSTRUCTION SEDIMENT, DIRT AND DEBRIS FROM ENTERING ALL FILTRATION BMPS.

## GRADING VOLUME

APPROXIMATE GRADING VOLUME: NET CUT 21902.1 CU YD

## WARNING

LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR.  
CALL BEFORE DIGGING

MINNESOTA  
ONE-CALL SYSTEM  
1-800-252-1166  
REQUIRED BY  
MN STATUTE 216D

0 15' 30' 60'



701 Washington Ave. N. Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:  
**OPPIDAN INVESTMENT CO.**  
400 WATER ST  
EXCELSIOR, MN 55331

THIS SQUARE APPEARS 1/2" x 1/2"  
ON FULL SIZE SHEETS

1	02/XX/2025	XXX
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
02/19/2025

COPYRIGHT 2025 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:  
**HERMANTOWN COTTAGES**  
4XXX LAVAQUE RD  
HERMANTOWN, MN 55811

DRAWING TITLE:  
**GRADING PLAN**

DRAWN BY: DPG  
CHECKED BY: JTC  
PROJ. NO: 240851  
DRAWING NO:

**C301**











Disclaimer :  
The images provided are conceptual and intended for inspirational purposes only. Actual designs may vary.  
The proposed project will be thoughtfully designed to complement The Pillarsof Hermantown.

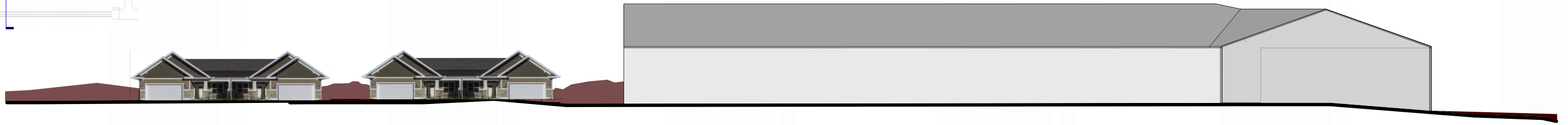
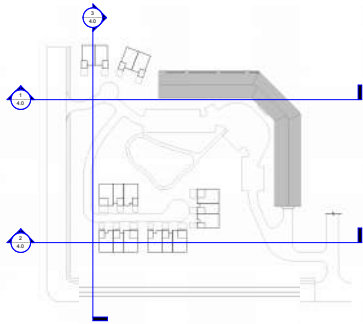












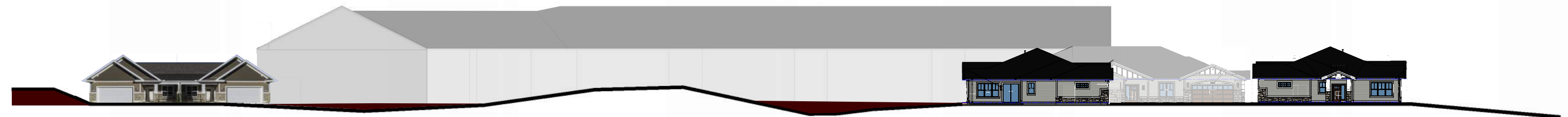
1 SITE MAPLE GROVE RD  
(NORTH)  
1" = 40'-0"

Note: Renderings and pictures are representational and only meant as scale figures



2 SITE - MAPLE GROVE RD  
(SOUTH)  
1" = 40'-0"

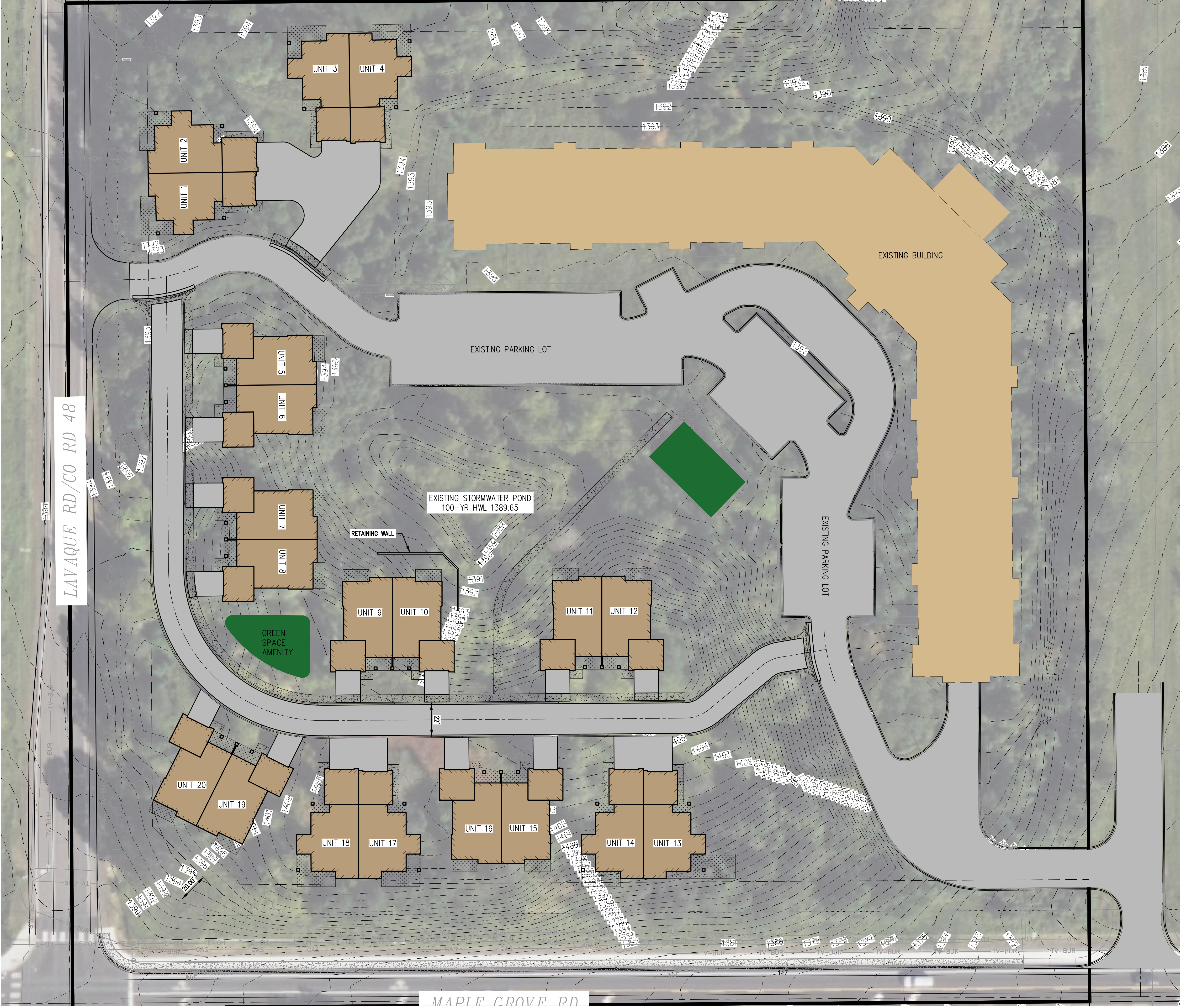
Note: Renderings and pictures are representational and only meant as scale figures



3 SITE - LAVAQUE RD  
1" = 40'-0"

Note: Renderings and pictures are representational and only meant as scale figures





LAVAQUE RD/CO RD 48

MAPLE GROVE RD

UNIT SUMMARY			
UNIT #	BRs	UNIT SF	GARAGE STALLS
1	2	1970	2
2	2	2000	2
3	2	1970	2
4	2	2000	2
5	2	1930	2
6	2	1930	2
7	2	1930	2
8	2	1930	2
9	2	1930	2
10	2	1930	2
11	2	1930	2
12	2	1930	2
13	2	1970	2
14	2	2000	2
15	2	1930	2
16	2	1930	2
17	2	1970	2
18	2	2000	2
19	2	1930	2
20	2	1930	2

LAYOUT EXHIBIT



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

015'30'60'







**CITY COUNCIL MEETING DATE:** April 7, 2025

**TO:** Mayor & City Council

**FROM:** Trish Crego, Utility and Infrastructure Director

**SUBJECT:** Request for Advance Funding Municipal State Aid (MSA)

---

☐ **RESOLUTION:** 2025-61      ☐ **ORDINANCE:**      ☐ **OTHER:**

---

**REQUESTED ACTION**

Approve a resolution requesting an advance of the City's Municipal State Aid Account for the Ugstad Road Project.

---

**BACKGROUND**

The City used a mix of local, state aid, and federal road funding to fund the improvements on Ugstad Road in 2023. The City receives an allocation of Municipal State Aid (MSA) each year and is allowed to request advanced funding for some projects. In effect, we would use the future year MSA allocation early in order to fund projects now. There was a previous resolution in April of 2023 and August 2024 for this funding. However, the amount needed to be adjusted as a portion of the funding was distributed to Arrowhead Road in 2024 and the rest will be for projects in 2026.

---

**SOURCE OF FUNDS (if applicable)**

N/A

---

**ATTACHMENTS**

Resolution

**Resolution No. 2025-61**

**Resolution Requesting Advance Funding For The City Of Hermantown From Municipal State Aid Funds For S. P. 202-101-014 And S.P. 202-104-012 In The Amount Of \$800,000.00**

WHEREAS, the Municipality of Hermantown constructed SP 202-101-014 (associated SP 202-104-012) in the year 2023, which has been programmed by the ATP in the STIP for advanced construction payback in the year 2025 and 2026; and

WHEREAS, The City of Hermantown proceeded with the construction of said project through the use of an advance from the Municipal State Aid Street Fund to supplement the available funds in their State Aid Construction Account; and

WHEREAS, repayment of the funds so advanced will be made from Federal funds no later than the year in which the ATP has programmed the project.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Hermantown that the Commissioner of Transportation be and is hereby requested to approve this advance for financing SP 202-101-014 (associated SP 202-104-012) of the Municipality of Hermantown in an amount up to \$800,000.00 in accordance with Minnesota Rules 8820.1500, Subp. 10b, and to authorize repayments from their state aid account or from local funds within a requested and approved repayment schedule should said project fail to receive Federal funds for any reason.

Councilor \_\_\_\_ introduced the foregoing resolution and moved its adoption.

The motion for the adoption of such resolution was seconded by Councilor\_\_\_\_\_, and upon a vote being taken thereon the following voted in favor thereof:

Councilors \_\_\_\_\_, and \_\_\_\_\_, aye.

and the following voted in opposition thereto:

Councilors \_\_\_\_\_

WHEREUPON, such resolution was declared duly passed and adopted April 7, 2025.

**CITY COUNCIL MEETING DATE:** April 7, 2025

**TO:** Mayor & City Council

**FROM:** John Mulder, City Administrator

**SUBJECT:** NorthStar Ford Arena – Change Order Numbers 19 & 20 (KA Change Order #6)

---

☒ **RESOLUTION:** 2025-62      ☐ **ORDINANCE:**      ☐ **OTHER:**

---

### **REQUESTED ACTION**

Approve Change Order Numbers 19 & 20 (KA Change Order #6) for the NorthStar Ford Arena in the Amount of \$233,106.09.

---

### **BACKGROUND**

Kraus Anderson is recommending a number of change orders for the construction of NorthStar Ford Arena. The first one (No. 19) is to re-model/construct a conference room area (E208 & E209) in the existing arena.

The second on (No. 20) to install additional rough in for enhanced lighting and audio/visual equipment for the new area and lobby. This would allow for improved speakers and lighting in the arena and lobby. The Arena Legacy Fund voted to backstop the audio / video rough ins if the contingency has been exhausted as detailed in the Design Committee meeting on March 12th. There were two items: the lighting upgrade and the audio for the walking track/lobby. That amount was approximately \$40,000 of the change order.

Each change order is described in greater detail in the attached documentation.

This work will be done under KA's contract and is funded from the owner's contingency. It does not change the overall budget.

---

### **SOURCE OF FUNDS (if applicable)**

Arena Project Fund - Contingency

---

### **ATTACHMENTS**

Resolution  
Change Orders

**Resolution No. 2025-62**

**Resolution Approving Change Order Numbers 19 & 20 (KA Change Order #6) For The NorthStar Ford Arena In The Amount Of \$223,106.09**

WHEREAS, the City of Hermantown has contracted with Kraus Anderson Construction Company (KA) for construction management services for the NorthStar Ford Arena (“Project”); and

WHEREAS, the City of Hermantown has contracted with Damberg, Scott, Gerzina, Wagner Architects, INC, “DSGW”, Inc (DSGW) for architectural services for the Project, and

WHEREAS, the City Council awarded various scopes to contractors and then assigned those contracts to KA

WHEREAS, KA and DSGW recommend Change Orders No. 19 & 208 for:

Change Order #	Descriptions	Cost
	KA charges	\$8,725.76
19	Rink Floor Goal Frame Anchors	\$90,156.33
20	Additional Data and Power Locations	\$124,224.00
	<b>TOTAL</b>	<b>\$223,106.09</b>

WHEREAS, Kraus Anderson Construction Company (KA) has recommended such Change Orders No. 19 & 20 for (“Project”) and

WHEREAS, the necessary documentation for the change order is on file and available for inspection.

WHEREAS, the City Administrator has reviewed the change order and recommends approval.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Hermantown, Minnesota as follows:

1. Change Orders No. 19 & 20 (KA Change Order #6) are hereby approved.
2. The City is hereby authorized and directed to pay to Kraus Anderson the sum of \$233,106.09 which is the amount represented on Change Orders No. 19, & 20.

Councilor \_\_\_\_\_ introduced the foregoing resolution and moved its adoption.

The motion for the adoption of such resolution was seconded by Councilor \_\_\_\_\_ and, upon a vote being taken thereon, the following voted in favor thereof:

Councilors \_\_\_\_\_

and the following voted in opposition thereto:

Councilors \_\_\_\_\_

WHEREUPON, such resolution has been duly passed and adopted April 7, 2025.

2000 West Superior Street, Suite 101  
 Duluth, MN 55806

## Owner Change Order

**Project:** 2222026- Hermantown Hockey Arena Addition  
 4309 Ugstad Road  
 Hermantown, MN 55811

**To (Contractor):** Kraus-Anderson Construction Company  
 2000 West Superior Street, Suite 101  
 Duluth, MN 55806

**Contract Number:** 2222026- Hermantown Hockey  
 Arena Addition

**Change Order #:** 6

**Change Order Date :** 03/20/25

### THE CONTRACT IS CHANGED AS FOLLOWS:

*(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*

Item	COR #	Description	Amount
270-		KA Add-Ons (Insurances, P&P Bonds, Fee, etc)	Add: \$8,725.76
2	52.00	ASIs 6 - 6.1 - 6.2	Add: \$90,156.33
1	74.00	ASI 22 AV Technology Addition	Add: \$124,224.00
<b>Total For Change Order:</b>			<b>6 Add: \$223,106.09</b>

<b>The original Contract Sum was</b>	<b>\$0.00</b>
<b>The net change by previously authorized Change Orders was</b>	<b>\$0.00</b>
<b>The Contract Sum prior to this Change Order was</b>	<b>\$0.00</b>
<b>The Contract Sum will be increased by this Change Order</b>	<b>\$223,106.09</b>
<b>The new Contract Sum will be</b>	<b>\$223,106.09</b>

The Contract time will be increased by 0 days.

The Date of Substantial Completion as of the date of this Change Order therefore is 12/31/2025

Note: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

#### Authorized By Owner:

City of Hermantown  
 5105 Maple Grove Road  
 Hermantown, MN 55811

**By:** \_\_\_\_\_

**Date:** \_\_\_\_\_

#### Accepted By Contractor:

Kraus-Anderson Construction Company  
 2000 West Superior Street, Suite 101  
 Duluth, MN 55806

**By:** \_\_\_\_\_

**Date:** \_\_\_\_\_

#### Architect/Engineer:

DSGW Architects  
 2 West First Street, Suite 201  
 Duluth, MN 55802

**By:** \_\_\_\_\_

**Date:** \_\_\_\_\_



Kraus-Anderson Construction Company  
2000 West Superior Street, Suite 101 , Duluth, MN 55806

February 20, 2025

John Mulder  
City of Hermantown  
5105 Maple Grove Road  
Hermantown, MN 55811

Reference: Hermantown Hockey Arena Addition  
KA Project No.: 2222026-  
COR No. 52.00 ASIs 6 - 6.1 - 6.2

Dear John:

In response to the above referenced COR No. 52.00, Kraus-Anderson Construction Company proposes to complete the necessary Work associated with ASIs 6 - 6.1 - 6.2 per attached documentation provided herein. Our cost to complete this additional work is an **ADD** of NINETY-THREE THOUSAND EIGHT HUNDRED TWENTY-FIVE AND 90 / 100 Dollars (\$93,825.90).

This proposal assumes that all outstanding proposals previously submitted will be accepted. This proposal is valid for a period of fourteen (14) days.

Please contact the undersigned should you have any questions concerning the above proposal.

Very truly yours,

Kraus-Anderson Construction Company

Max Vergeldt  
Project Manager

Enclosure

Cc: Eric Lagergren, DSGW Architects





**KRAUS-ANDERSON®**  
Construction Company

Project: Hermantown Hockey Arena Addition

Location: Hermantown, MN

Project Number: 2222026-

Project Manager: Max Vergeldt

Date:

COR: 52.00

**Description: ASIs 6 - 6.1 - 6.2**

Phase Code	Description	Subcontractor Name	Material	Labor	Subcontractors	Est Totals
02.4100.00.	Demolition Package	Maertens-Brenny Construction Comp	0.00	0.00	24,208.31	24,208.31
04.0000.00.	Masonry Labor	Harbor City Masonry, Inc.	0.00	0.00	6,939.75	6,939.75
05.0000.00.	Steel Supply Change Orders	JRK Steel	0.00	0.00	4,647.32	4,647.32
05.1002.99.	Steel Install	Red Cedar Steel Erectors, Inc.	0.00	0.00	1,804.00	1,804.00
06.1000.00.	Carpentry Labor	TNT Construction Group, LLC	0.00	0.00	1,584.00	1,584.00
07.2000.00.	Joint Sealants Labor	Right-Way Caulking, Inc.	0.00	0.00	570.00	570.00
08.1100.10.	Doors, Frames & Hardware Mate	Northern Door & Hardware, Inc.	0.00	0.00	4,629.37	4,629.37
08.4100.00.	Aluminum Frames & Glazing Lat	Mesabi Glass, Window And Door, Inc	0.00	0.00	3,126.00	3,126.00
09.2000.00.	Drywall Labor	Pinnacle Wall Systems Inc.	0.00	0.00	11,520.00	11,520.00
09.6500.00.	Resilient & Carpet Flooring Labor	Contract Tile & Carpet, LLC	0.00	0.00	6,743.00	6,743.00
09.9000.00.	Painting Labor	CMC Construction, Inc.	0.00	0.00	2,063.00	2,063.00
23.0000.00.	Combined Mechanical Labor	A.G. O'Brien Plumbing & Heating Co	0.00	0.00	2,919.58	2,919.58
25.0000.00.	Controls Labor	Johnson Controls, Inc.	0.00	0.00	1,239.00	1,239.00
26.0000.05.	Electrical Labor	Hunt Electric Corporation	0.00	0.00	18,163.00	18,163.00
	<b>Subtotal</b>		<b>0.00</b>	<b>0.00</b>	<b>90,156.33</b>	<b>90,156.33</b>
01.5214.00.	Copy/Postage/Supplies	0.08%	72.13	0.00	0.00	72.13
01.5230.20.	Telephone - Mobile Phone	0.09%	76.67	0.00	0.00	76.67
01.7950.00.	Warranty Reserve	0.15%	135.47	0.00	0.00	135.47
90.9000.00.	Umbrella Liability Insurance	0.95%	866.08	0.00	0.00	866.08
91.2000.00.	Builders Risk	0.20%	181.96	0.00	0.00	181.96
92.1000.00.	Performance/Payment Bond	0.60%	542.65	0.00	0.00	542.65
	<b>Subtotal</b>		<b>1,874.96</b>	<b>0.00</b>	<b>90,156.33</b>	<b>92,031.29</b>
Fee		1.95%				1,794.61
<b>Total Construction Costs</b>						<b>93,825.90</b>



## Red Cedar Steel

4621 Domain Drive  
Menomonie, WI 54751  
Phone: 715-235-0618 Fax: 715-235-0610



To: Kraus-Anderson  
Email: [allison.coffman@krausanderson.com](mailto:allison.coffman@krausanderson.com)  
Phone: 218-722-3775

Job Name: Northstar Ford Arena  
Job #: 24-3008  
Date: 10/29/2024

### Cost Impact Summary

Subject: PCO 025 ASI 6 Stair and masonry wall opening revision

LABOR	Hours	Rate	Total
labor to weld plate to new beam at 3 locations	12	\$ 120.00	\$ 1,440.00
			\$ -
			\$ -
			\$ -
			\$ -
EQUIPMENT	Hours	Rate	Total
			\$ -
			\$ -
			\$ -
			\$ -
MATERIAL	Qty	Rate	Total
			\$ -
			\$ -
OTHER	Qty	Rate	Total
Truck / Tools	1	\$ 200.00	\$ 200.00
Subsistence			\$ -
Hotel			\$ -
Subtotal			\$ 1,640.00
Overhead & Profit			\$ 164.00
Total Cost			\$ 1,804.00

#### Additional Comments:

Excludes setting of the beam

# Proposal

JRK Steel Inc.



Northstar Ford Arena ASI #6 | October 30, 2024

JRKSteel.com

Overview	<p>Proposal overview</p> <p>Project: Northstar Ford Arena ASI #6</p> <p>Location: Hermantown, Mn</p> <p>Valid until: 11/29/2024</p>
Sections	<p>Sections included</p> <p>--- Per Received Revised(ASI#6) Drawings on 29th October 2024, New lintel beams with 1/4" thickness bottom plates added into scope of work. 2-Lintel beams,2-plates</p> <p>--- Per Received Revised(ASI#6) Drawings on 29th October 2024, changed beam locations supporting beams and stair framing got affected. 9-Beams,1-Bent plate, 1-Stair,1-wall Rail,2-guard rail</p> <p>--- New Lintel Per RFI #46.</p>
Items	<p>Items included and not included</p> <p>Included: Priming</p> <p>Included: Standard Delivery</p> <p>Included: Fasteners (JRK Work Only)</p> <p>Not Included: Installation</p> <p>Not Included: Field Measurement</p>
Price	<p>Total price</p> <p>Base Bid: \$4,268.30</p> <p>Tax: \$379.02</p> <p>Total: \$4,647.32</p>
Terms	<p>Terms &amp; Conditions</p> <p>--- Price is valid for 30 days</p> <p>--- All steel to receive 1 coat of shop primer</p> <p>--- Change orders will not be delivered until approved to bill</p> <p>--- Payment to JRK STEEL INC is the responsibility of the customer &amp; is NOT contingent upon payment from the owner. Payment is due for all materials (Including Joist &amp; Deck) Within 30 days of delivery.</p> <p>--- This price is valid if Shop drawings are approved within 30 days of submittal</p> <p>--- Signed proposal is required if approved</p>
Signature	<p>Sign and return if approved</p>





## PROPOSAL

510 W 25<sup>th</sup> Street  
Hibbing, MN 55746  
218-262-2010  
FAX 218-262-2010

---

PROPOSAL SUBMITTED TO:  
Allison – Kraus Anderson

JOB NAME: Northstar Arena – PCO 025  
DATE: October 28, 2024

Includes: New Standard interior aluminum frame AL-W12 (1-Thus)  
1/4" Clear Tempered  
Fabrication  
Caulking primary and secondary seals  
Installation

Total: \$ 3,126.00

We hereby propose to furnish labor and materials—complete in accordance with the above specifications, for the sum of: with payment to be made as follows: Payable upon completion. All materials are guaranteed to be as specified. All work to be completed in a manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control, unless specified above. Interior trim work is the responsibility of others. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature Chris Anderson

Note: This proposal may be withdrawn by us if not accepted within 30 days.

*\*Quoted prices are for installation in openings prepared by others unless specified otherwise.*

---

### ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

ACCEPTED:

Signature \_\_\_\_\_

Date \_\_\_\_\_

Signature \_\_\_\_\_



**KRAUS-ANDERSON®**  
*Construction Company*

2000 West Superior Street, Suite 101  
Duluth, MN 55806

## Request For Proposal

---

Project:	2222026- Hermantown Hockey Arena Addition 4309 Ugstad Road Hermantown, MN 55811	PCO #:	25
		Date:	10/28/2024
To:	Roger Anderson, Harbor City Masonry, Inc. Chris Anderson, Mesabi Glass, Window And Door, Inc. Josh Gardow, Red Cedar Steel Erectors, Inc. Kyle Bruckelmyer, JRK Steel		

---

Please provide a cost breakdown in accordance with the Contract Documents and a Summary for the Change described herein and on the attachments (if any) listed. All responses are required within seven (7) days.

This is not an authorization to proceed with the work described herein unless and until approved by the Owner. On approval, this change will be included in a Change Order, which will provide the formal Contract Change.

---

### DESCRIPTION OF PROPOSAL:

Please provide pricing (if any) for any changes/revisions to your scope of work per the attached ASI 6 regarding Stair and Masonry Wall Opening Revisions.

Attachments: ASI 6 dated 10.02.2024

---

☐ We have reviewed the PCO and acknowledge that it is a "no change" item and does not affect our completion date.

Signed By: \_\_\_\_\_ Date: \_\_\_\_\_

Company Name: \_\_\_\_\_

# ASI Architects Supplemental Instructions



**Project Name** NorthStar Ford Arena  
**Project No** 022058.00

**Project Address** 4309 Ugstad Road  
**Owner** City of Hermantown

**Contractor Name** Kraus Anderson

**ASI No** 6

*The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.*


*If these supplemental instructions cause a change in the Contract Sum or Contract Time, submit a Proposal Request to the Architect for review and comment. DO NOT PROCEED with the Work until the Proposal Request is approved by the Architect.*

**ASI Date**  
10/2/2024

**ASI Title**  
**Stair and Masonry Wall Opening Revision**

**ASI Description**  
See attached DSGW ASI #6 memo dated October 2, 2024.

## ASI Attachments

- 1  22058 DSGW ASI 6 Memo.pdf
- 2
- 3



## MEMO

*project* NorthStar Ford Arena  
Hermantown, Minnesota  
*project #* 022058.00  
*date* October 2, 2024  
*subject* ASI #6  
*from* Eric Lagergren DSGW Architecture  
*to* Kraus Anderson  
*cc* file

### **STRUCTURAL BULLETIN #3**

#### S1.2 TYPICAL CMU DETAILS

- ADDED 12/S1.2, Section @ New Wall Openings In Existing Walls

#### S2.4 STADIA & 2<sup>ND</sup> LEVEL FRAMING PLAN – AREA B

- ADDED lintel for added wall opening
- REVISED floor beam spacing adjacent to stair to accommodate revised floor opening size

#### S2.6 ROOF FRAMING PLAN – AREA B

- ADDED lintel for added wall opening

### **ARCHITECTURAL**

#### A2.1B First Floor Plan – Area B

1. 1/A2.1B: CLARIFIED type of existing opening infill. Reference to structural for opening in existing wall between E104 and E105.

#### A2.2B Second Floor Plan – Area B

1. 1/A2.2B: ADDED AL-W12 window at room E209.

#### A4.1 Opening Schedules & Types

1. Window Types: ADDED AL-W12 window type.



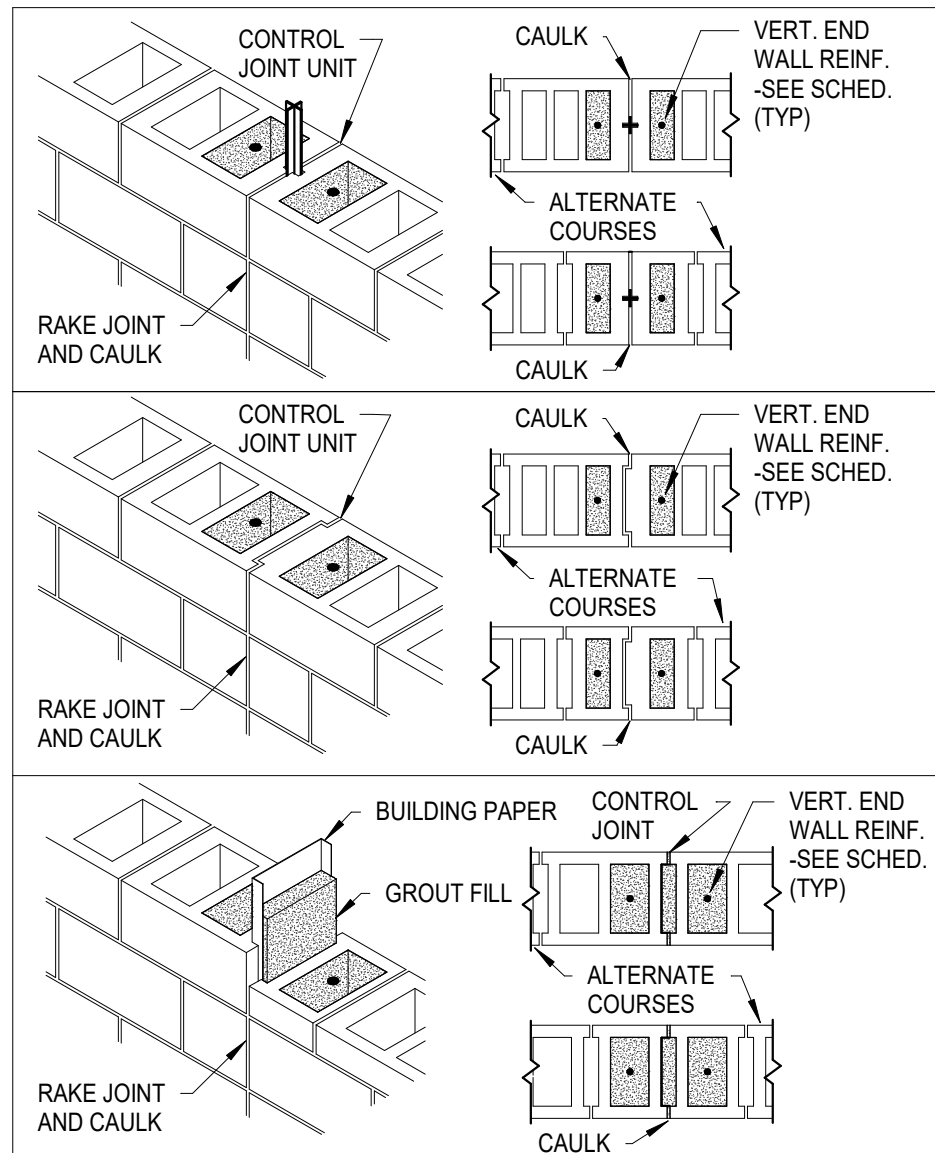
# MEMO

Attachments:

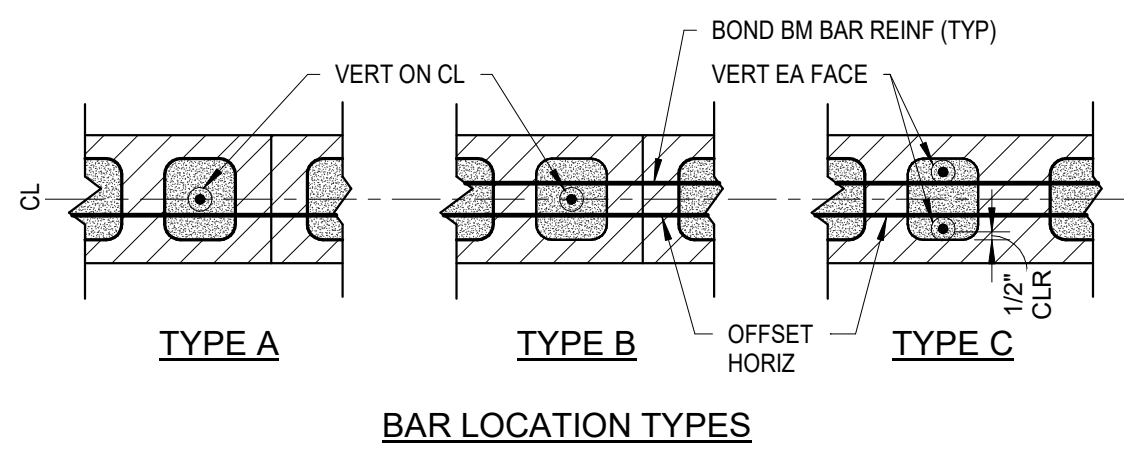
- *NCE Structural Bulletin SB-03 (30x42)(3 pages)*
- *Architectural Drawing Sheets: A2.1B, A2.2B, and A4.1 (30x42)(3 pages)*

END OF MEMO



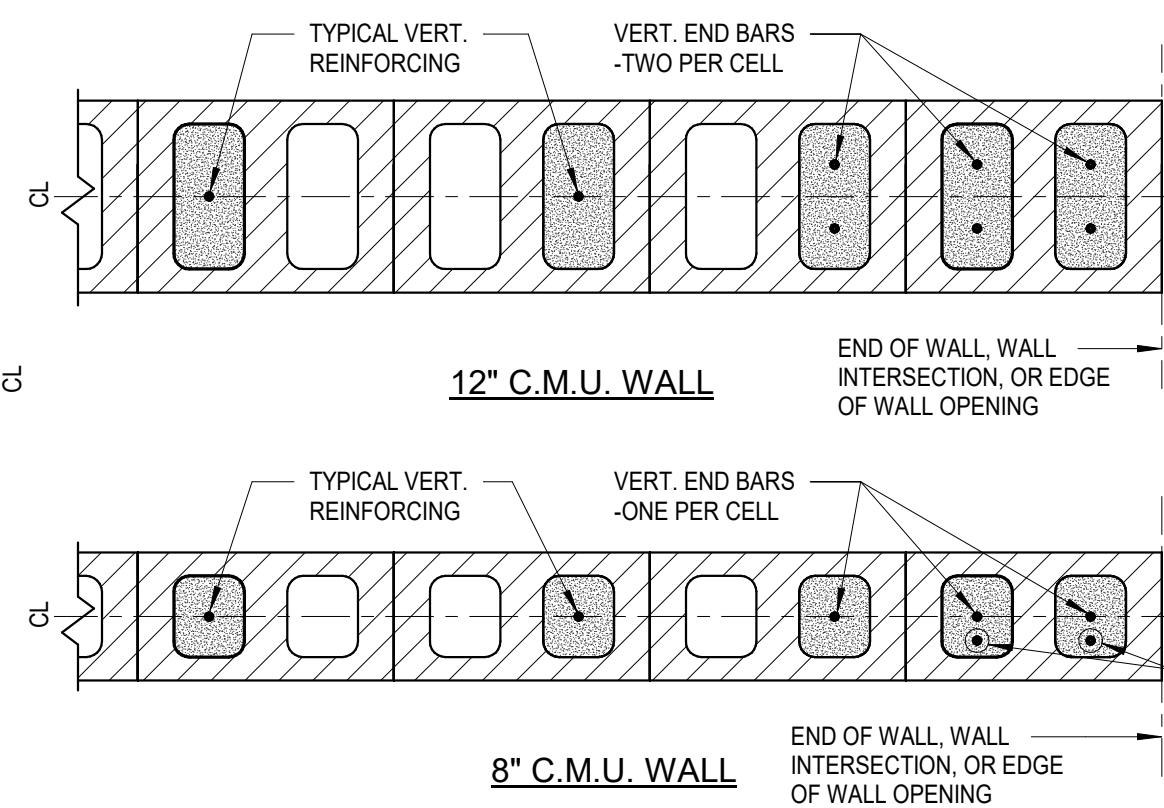


NOTE:  
1. INTERRUPT 50% OF BOND BEAM AND LADDER TYPE REINFORCING AT CONTROL JOINT LOCATIONS (TYP)

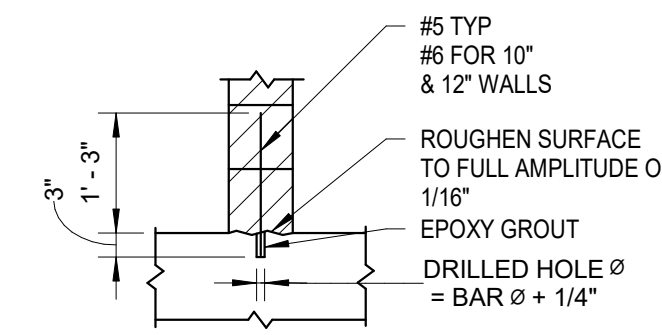


#### NOTES:

- BOND BEAM REINFORCEMENT ABOVE AND BELOW OPENINGS SHALL BE CONTINUOUS (UNSPICED) AND EXTENDED 2'-0" MINIMUM BEYOND OPENING.
- WHERE BOND BEAM DOES NOT ALIGN WITH TOP OR BOTTOM OF OPENINGS, ADD A BOND BEAM COURSE EXTENDING 2'-0" BEYOND THE OPENING.
- LOCATE SCHEDULED BARS FROM TABLE EACH SIDE OF EACH OPENING, EACH CORNER AND WALL ENDS.
- BOND BEAM BARS MAY BE USED TO ARRIVE AT TOTAL STEEL AREA REQUIRED BY REINFORCING SCHEDULE.
- GROUT ALL CELLS THAT CONTAIN REINFORCEMENT OR EMBEDDED ITEMS.
- BOND BEAMS SHALL BE LOCATED AT EACH FLOOR LEVEL AND INTERMEDIATE STAIR LANDINGS ELEVATIONS. SEE THE ELEVATION ON TYPICAL LOAD BEARING CMU WALL FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ALL CMU TO BE PER CMU REINFORCING SCHEDULE UNLESS NOTED OTHERWISE.



NOMINAL WALL THICKNESS / TYPE	BOND BEAM REINF. NUMBER AND SIZE	SPACING	LAP LENGTH	VERTICAL REINFORCING NUMBER AND SIZE	SPACING	LAP LENGTH	BOND BM BAR LOCATION TYPE	VERT. END WALL REINF. NUMBER AND SIZE	LAP LENGTH	COMMENTS
6" U.N.O.	(1) #5	SEE NOTE #6	30"	#5	16"	30"	B	(2) #5	30"	
8" U.N.O.	(2) #5	SEE NOTE #6	30"	#5	24"	30"	B	(3) #5	30"	
12" U.N.O.	(2) #5	SEE NOTE #6	30"	#5	24"	30"	B	(6) #5	30"	
8" - TYPE 2	(2) #5	48" O.C. & PER NOTE #6	30"	#5	24"	30"	B	(3) #5	36"	NO CONTROL JOINTS
12" - TYPE 2	(2) #5	48" O.C. & PER NOTE #6	30"	#5	24"	30"	B	(6) #5	30"	NO CONTROL JOINTS

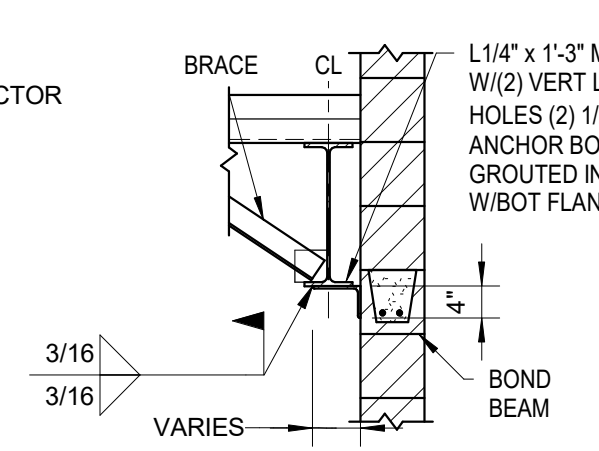


NOTE:  
1. DOWEL SPACING TO MATCH VERTICAL REINFORCING.

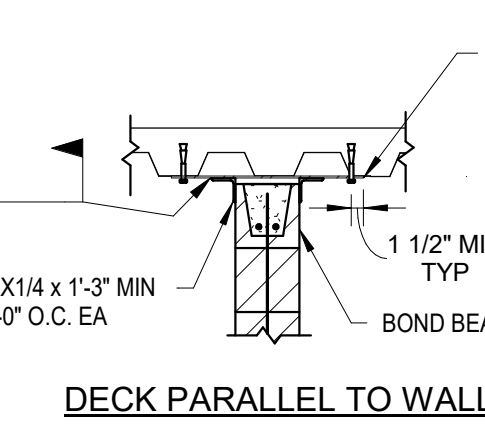
#### DOWEL DETAIL

\* MAKE BAR CONTINUOUS WHERE BOLTS ARE SPACED AT 2'-0" OR LESS. EXTEND 1'-0" PAST LAST BOLT.  
(2) #5/2'-0" \* CENTER ABOUT EACH ANCHOR BOLT, IF BOLT NOT AT BOND BEAM LOCATION

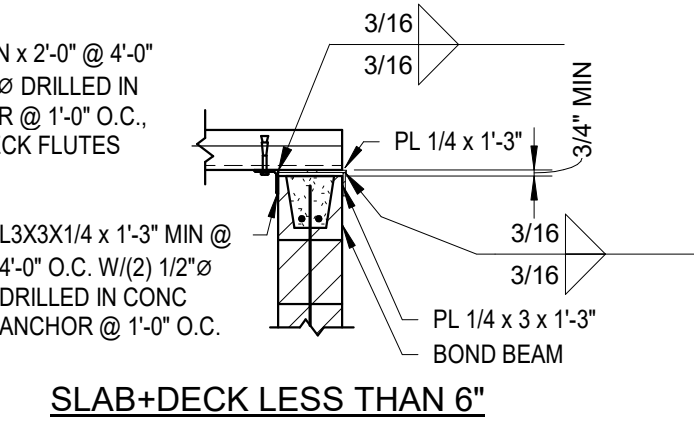
#### ANCHOR BOLT AT CMU WALL



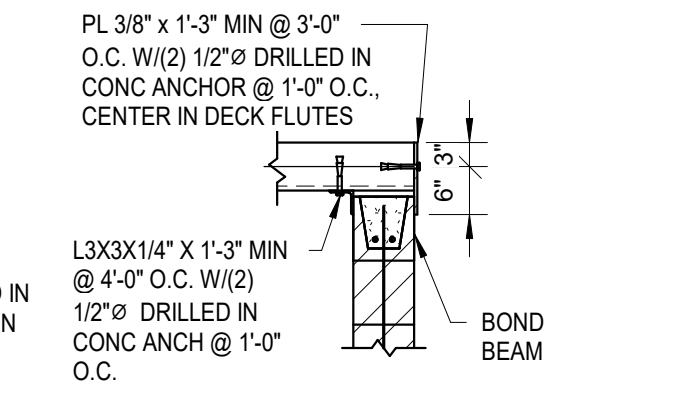
#### DECK TO CONT WALL AT BEAM



#### DECK PARALLEL TO WALL



#### SLAB-DECK LESS THAN 6"

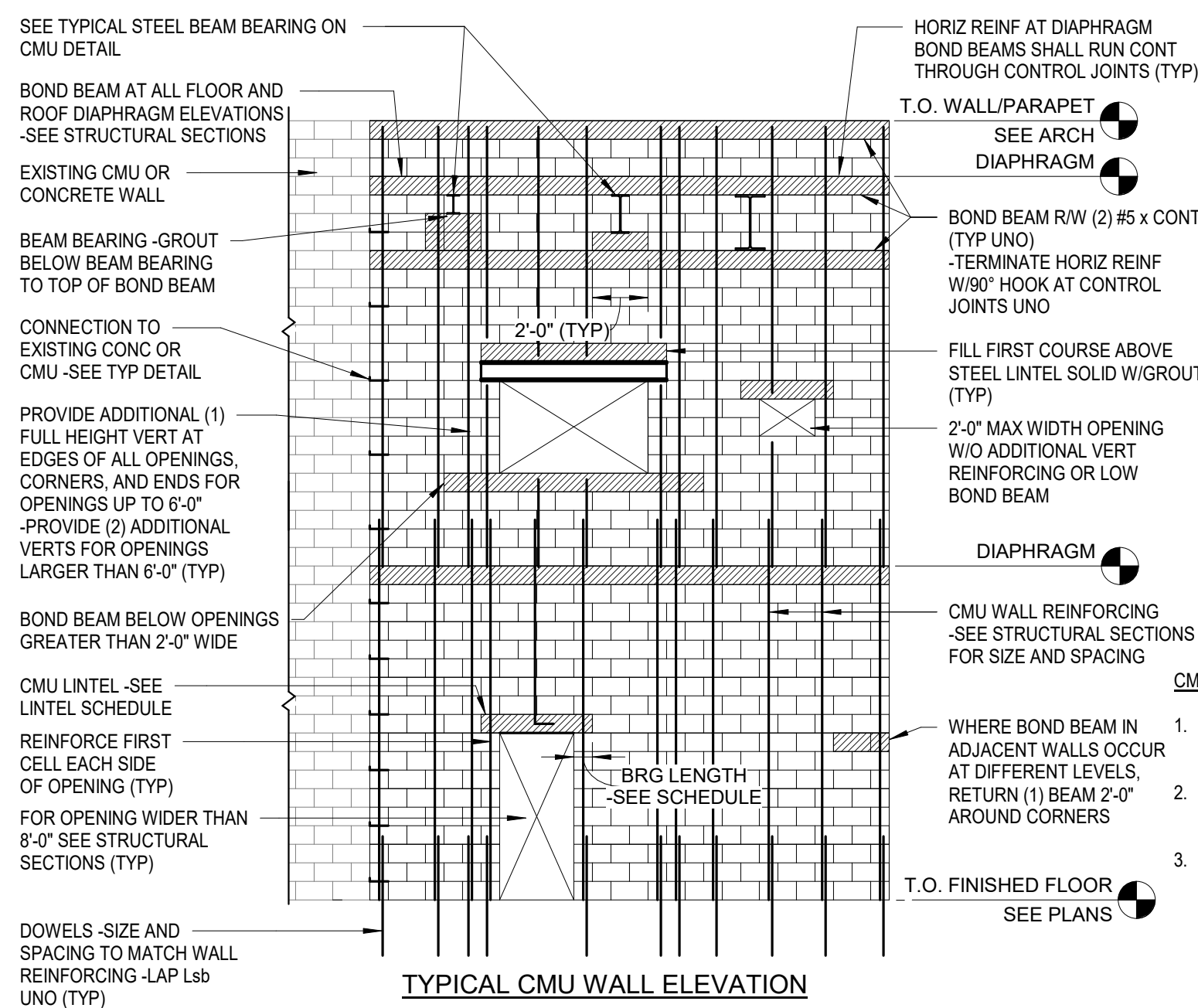


#### SLAB-DECK GREATER THAN OR = TO 6"

#### 1 TYPICAL CMU CONTROL JOINT METHODS NOT TO SCALE

#### 2 TYPICAL CMU LOAD BEARING WALL REINFORCING SCHEDULE AND NOTES 1" = 1'-0"

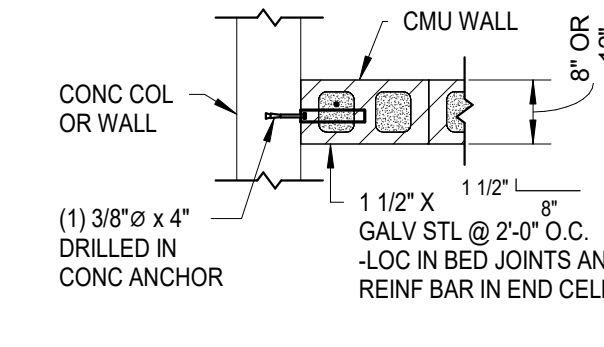
#### 3 TYPICAL CMU NON-LOAD BEARING WALL DETAILS NOT TO SCALE



THICKNESS	CLEAR SPAN	DEPTH (INCH)	HORIZONTAL REINFORCING
8"	4'-0" OR LESS	8	(2) #5 BOT
	4'-0" TO 6'-4"	16	(2) #5 BOT
	6'-4" TO 8'-0"	16	(2) #5 BOT
10" OR 12"	4'-0" OR LESS	8	(2) #5 BOT
	4'-0" TO 6'-4"	16	(2) #5 BOT
	6'-4" TO 8'-0"	16	(2) #5 BOT

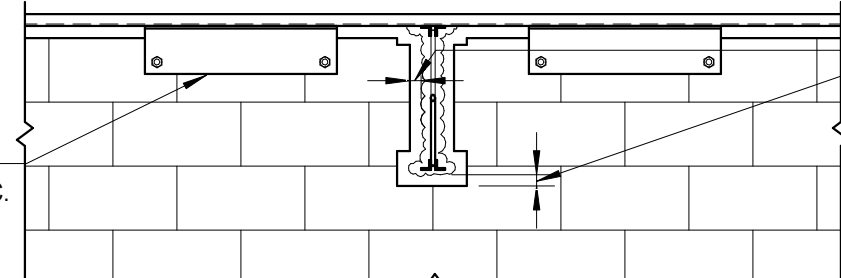
\*SEE PLANS FOR LINTELS AND LINTEL SCHEDULE AT BEARING WALLS

CMU WALL ELEVATION NOTES:  
1. WALL ELEVATION IS TYPICAL FOR STRUCTURAL AND NON-STRUCTURAL CMU WALLS.  
2. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF NON-STRUCTURAL CMU WALLS.  
3. SEE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION NOT INDICATED.

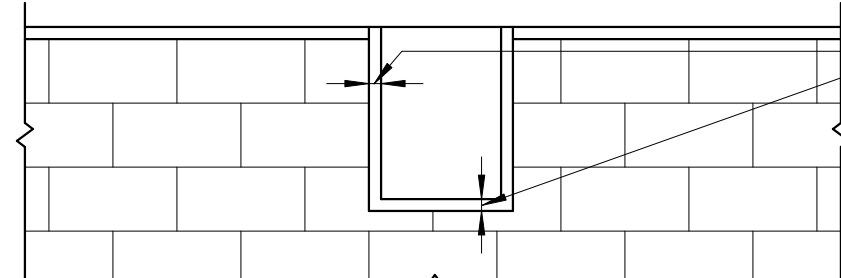


#### CONNECTION TO EXIST CONCRETE OR CMU

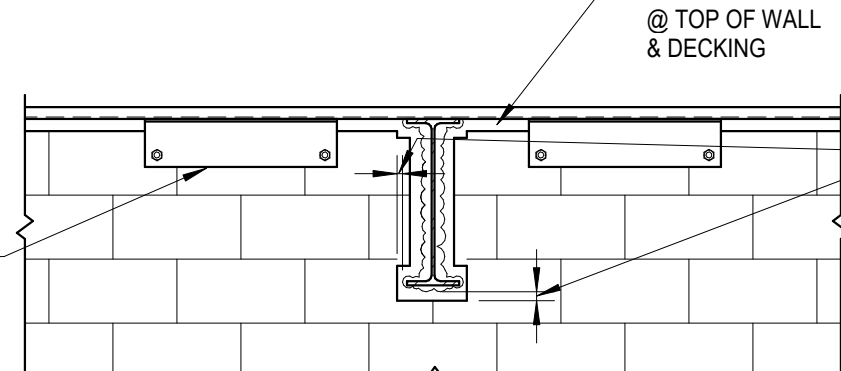
16X45X16 x 2'-0" (LLV) STAGGERED @ 2'-0" O.C. W/ (2) 3/4"x 4" EXP ANCHORS PER ANGLE



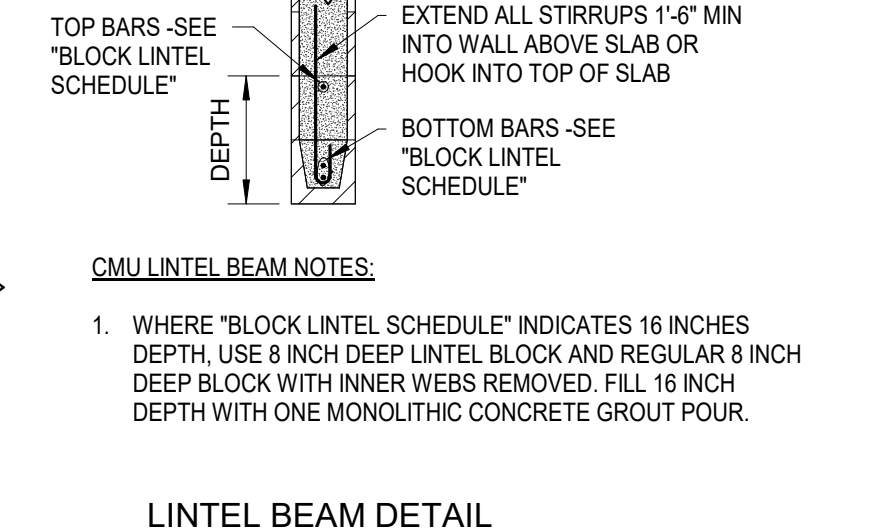
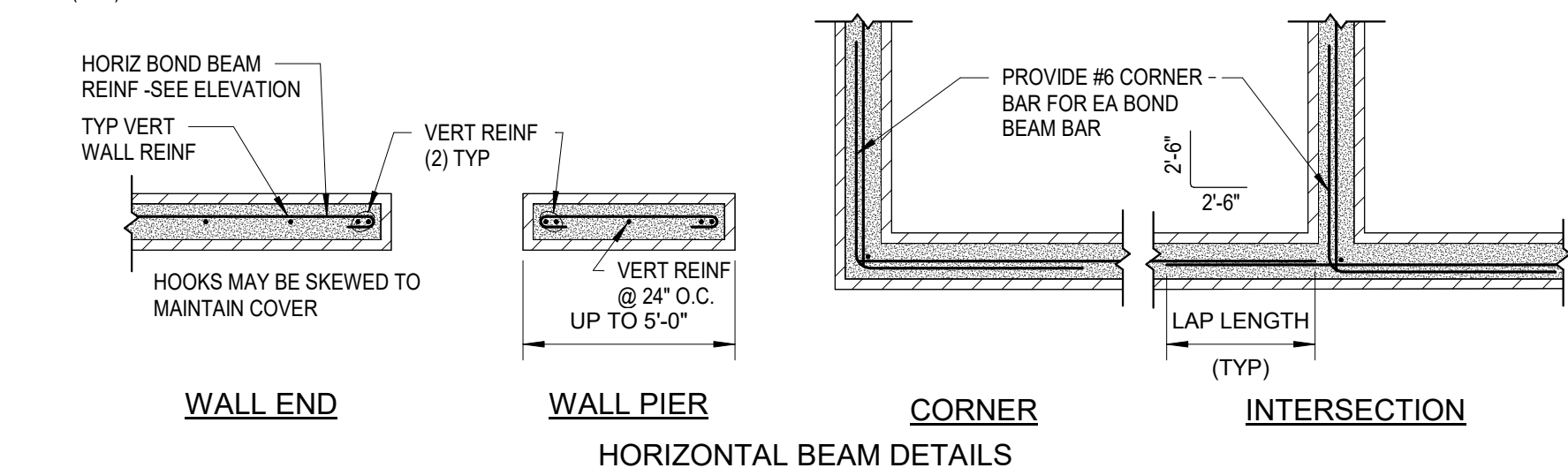
#### STEEL JOIST THRU CMU WALL



#### CONC BEAM THRU CMU WALL

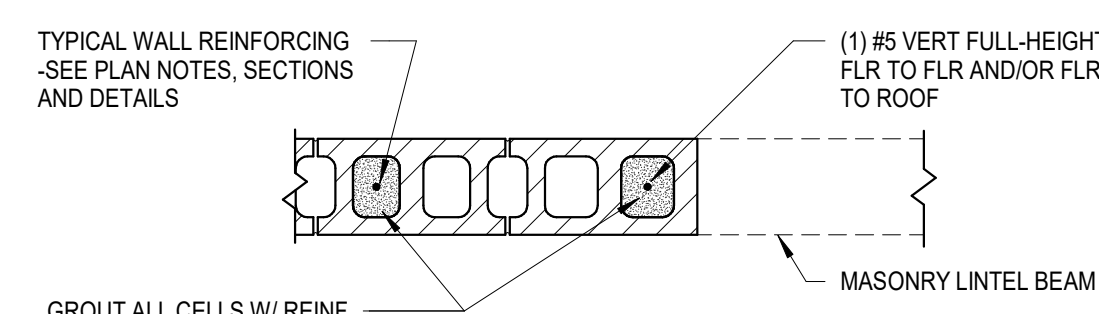


#### STEEL BEAM THRU CMU WALL



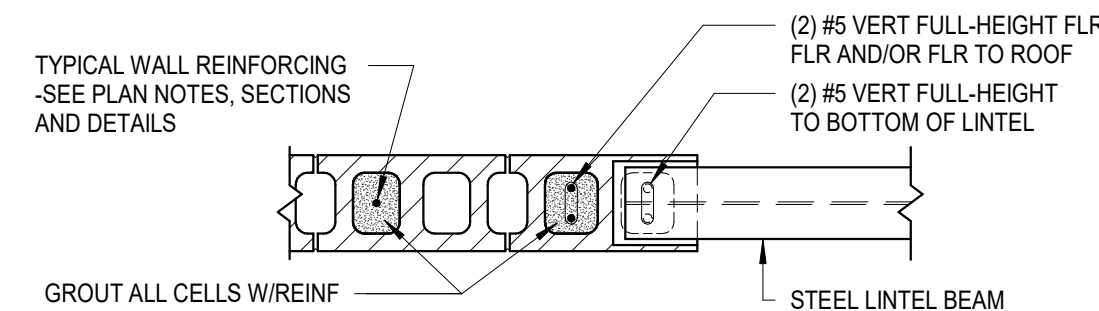
#### LINTEL BEAM DETAIL

#### 4 TYPICAL CMU WALL ELEVATION AND DETAILS NOT TO SCALE



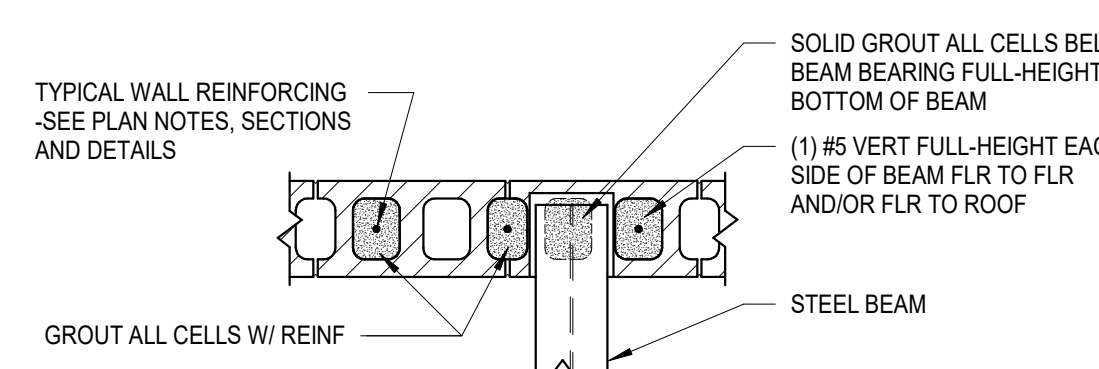
#### PLAN VIEW @ CMU LINTEL BEAM

- NOTES:  
1. EXTEND #5 VERT. BARS 2'-0" MINIMUM IN FOUNDATION WALL BELOW OR EPOXY DOWEL PER MANUFACTURER'S PUBLISHED RECOMMENDATIONS.  
2. WHERE BEAM BEARING ABOVE ALIGNS WITH BEAM BEARING BELOW, LAP #5 BARS 2'-0" MINIMUM AT FLOOR LEVEL.



#### PLAN VIEW @ STEEL LINTEL BEAM

- NOTES:  
1. EXTEND #5 VERT. BARS 2'-0" MINIMUM IN FOUNDATION WALL BELOW OR EPOXY DOWEL PER MANUFACTURER'S PUBLISHED RECOMMENDATIONS.  
2. WHERE BEAM BEARING ABOVE ALIGNS WITH BEAM BEARING BELOW, LAP #5 BARS 2'-0" MINIMUM AT FLOOR LEVEL.



#### PLAN VIEW @ STEEL BEAM

- NOTES:  
1. EXTEND #5 VERT. BARS 2'-0" MINIMUM IN FOUNDATION WALL BELOW OR EPOXY DOWEL PER MANUFACTURER'S PUBLISHED RECOMMENDATIONS.  
2. WHERE BEAM BEARING ABOVE ALIGNS WITH BEAM BEARING BELOW, LAP #5 BARS 2'-0" MINIMUM AT FLOOR LEVEL.

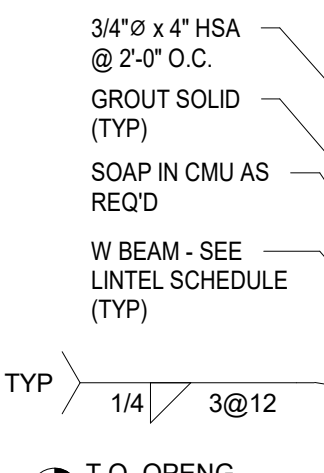
#### 8 TYPICAL CMU WALL REINFORCING AT BEAM BEARING NOT TO SCALE

#### 9 TYPICAL STEEL BEAM BEARING ON CMU DETAILS NOT TO SCALE

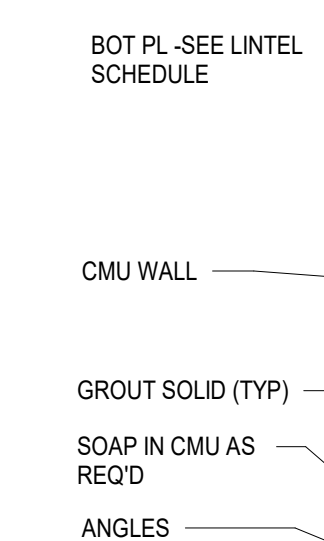
#### 5 TYPICAL CMU NON-LOAD BEARING WALL NOT TO SCALE



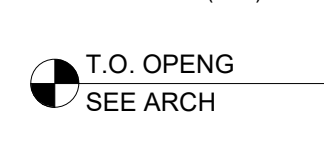
#### SECTION C



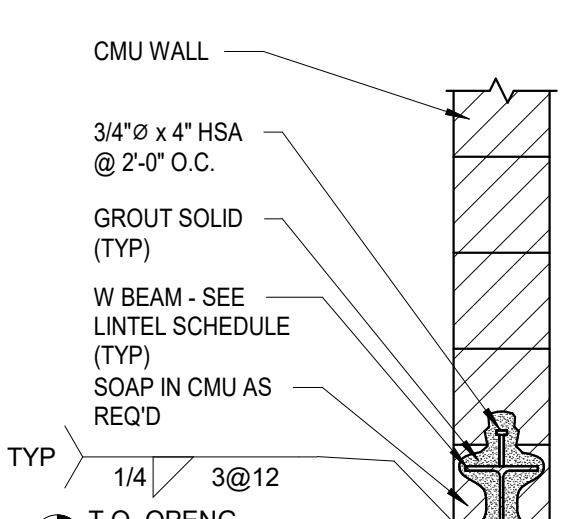
#### SECTION B



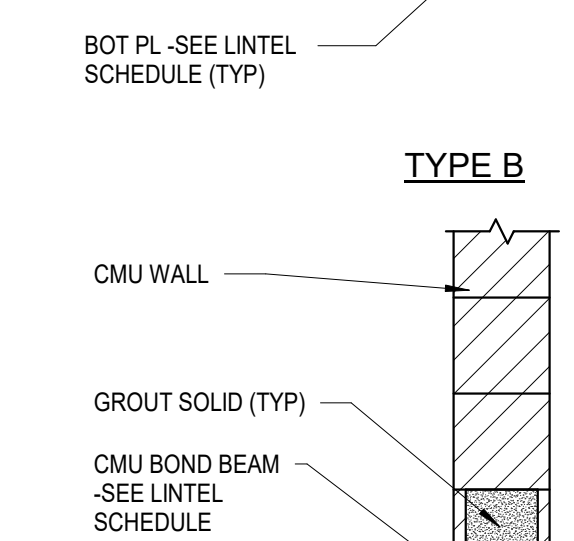
#### SECTION A



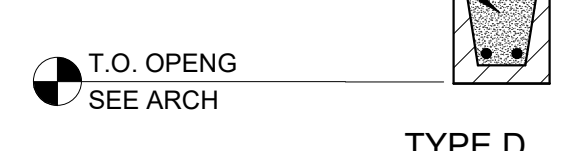
#### 10 TYPICAL SECTION @ LINTELS NOT TO SCALE



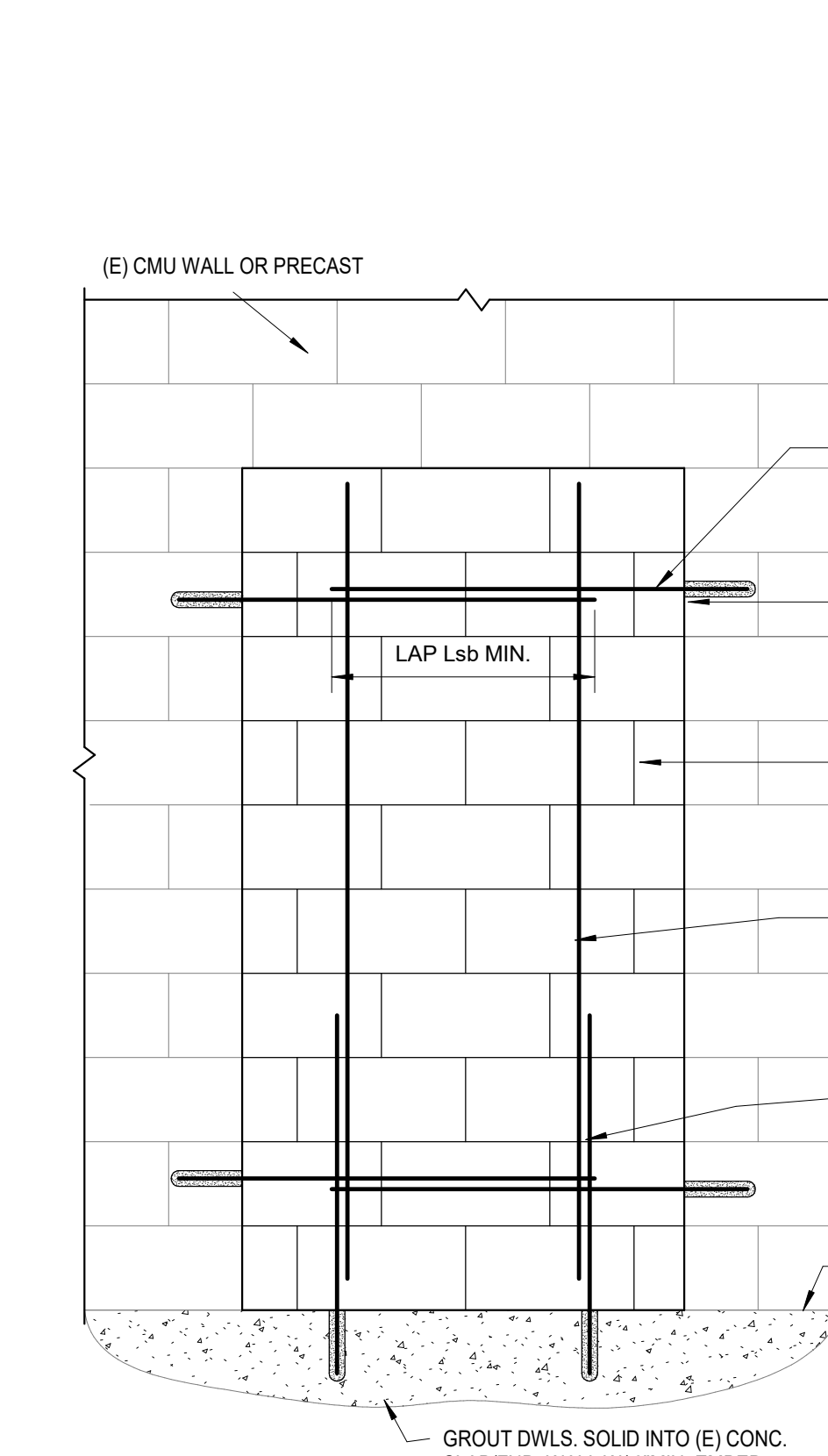
#### SECTION D



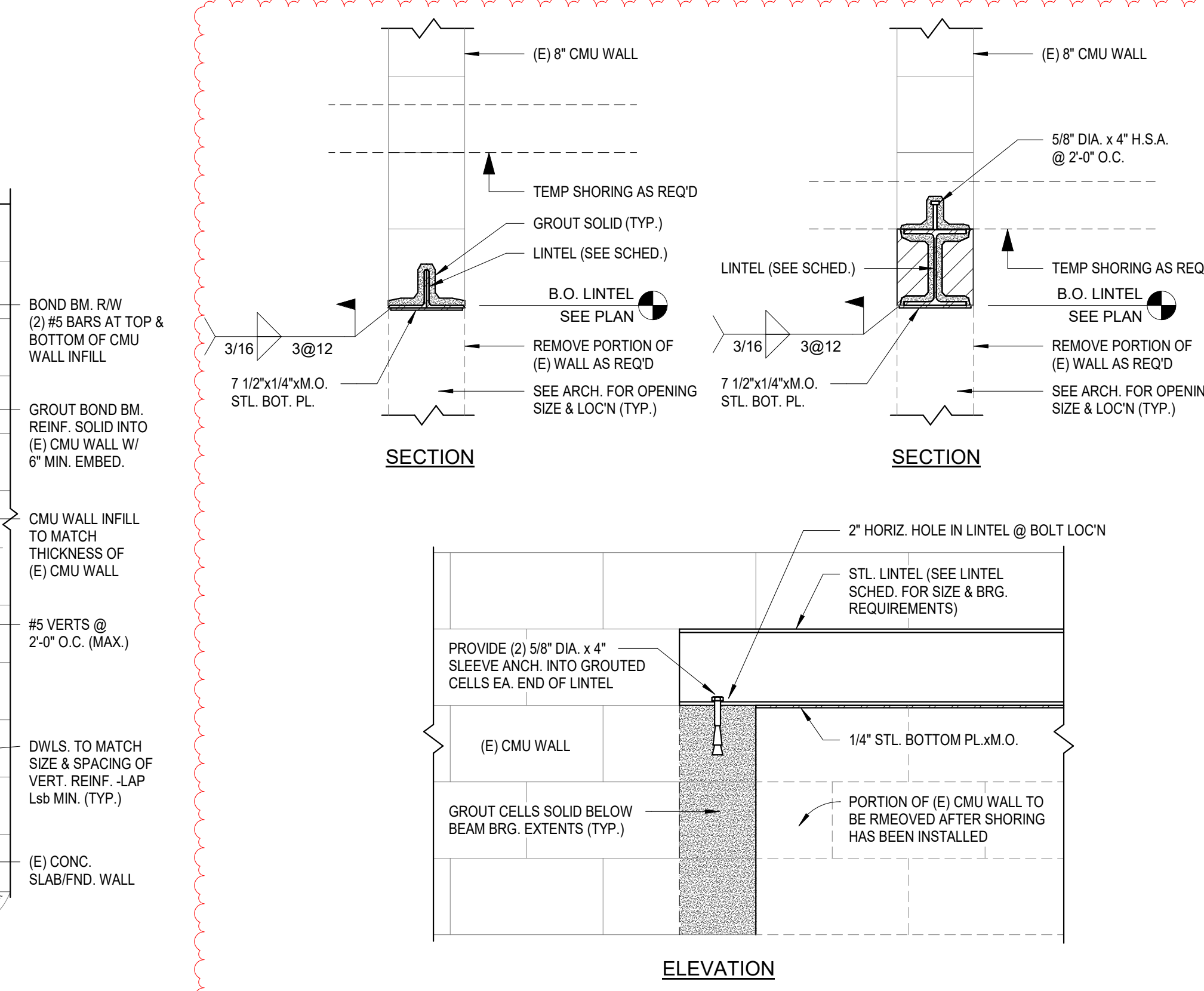
#### SECTION E



#### 11 PARTIAL ELEVATION @ CMU WALL INFILL NOT TO SCALE



#### 12 SECTION @ NEW WALL OPENINGS IN EXISTING WALLS NOT TO SCALE



#### 13 SECTION @ NEW WALL OPENINGS IN EXISTING WALLS NOT TO SCALE

## NORTHSTAR FORD ARENA

4309 UGSTAD RD  
HERMANTOWN, MN 55811

project #: 22-725  
date: 04/26/2024  
drawn by: MSS  
checked by: RJG/JEA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

signature: *Jon E. Ham*

printed name: JON E. HAMMOTT

reg. #: 24838

sign date: 04/26/2024

**Northland**  
Consulting Engineers L.L.P.  
Structural, Civil and Forensic Engineering  
102 South 21st Ave. West, Duluth, MN 55806  
(612) 218-727-5995, (612) 218-727-7779

BID PACKAGE #1  
04/26/2024

revision / issue	no.	date
SB-02	2	09-13-2024
SB-03	3	10-02-2024

TYPICAL CMU  
DETAILS

sheet title:  
sheet number:  
**S1.2**





4309 UGSTAD RD  
HERMANTOWN, MN 55811

project #: 22-725  
date: 04/26/2024  
drawn by: MSS  
checked by: RJG/JEA

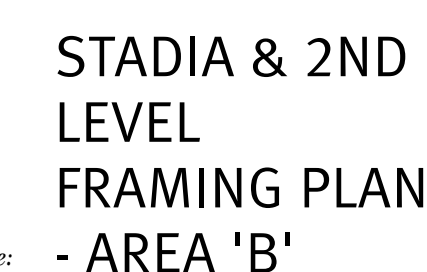
*I hereby certify that this plan,  
specification, or report was prepared  
by me or under my direct supervision  
and that I am a duly Licensed  
Professionals Engineer under the laws  
of the state of Minnesota.*

signature: Jon E. Aamodt  
 printed name: JON E AAMODT  
 reg. #: 24838  
 sign date: 04/26/2024



BID PACKAGE #1  
04/26/2024

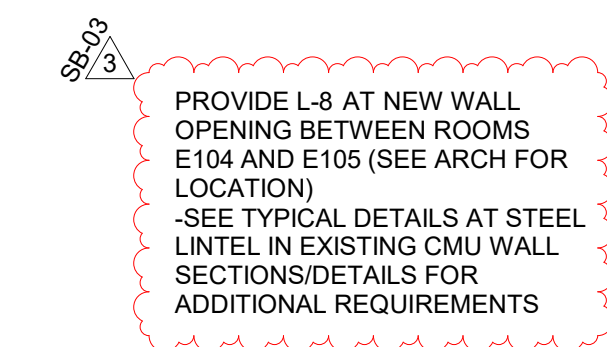
<i>revision / issue</i>	<i>no.</i>	<i>date</i>
SB-01	1	06-25-2024
SB-03	3	10-02-2024



sheet title:

sheet number:

## S2.4



1 STADIA AND SECOND LEVEL FRAMING PLAN - AREA B  
S2.4 1/8" = 1'-0"

TYPICAL MECHANICAL OPENING IN CMU WALL - LINTEL SCHEDULE	
ROUGH OPENING WIDTH	DESCRIPTION
6" AND LESS	NO LINTEL REQ'D PROVIDED BOND BM. ABOVE AT FLOOR / ROOF BRG.
>6" AND < OR = 12"	8" DEEP CMU BOND BM. R/W (2) #5 x CONT. BOT. BARS
>12" AND < OR = 24"	16" DEEP CMU BOND BM. R/W (2) #5 x CONT. BOT. BARS
>24" AND < OR = 48"	24" DEEP CMU BOND BM. R/W (2) #5 x CONT. BOT. BARS

LINTEL SCHEDULE		
MARK	DESCRIPTION	COMMENTS
L-1	LINTEL BY PRECAST SUPPLIER	
L-2	LINTEL BY STUD SUPPLIER	
L-3	SEE TYP MECH OPENING IN CMU WALL LINTEL SCHEDULE	
L-4	16" DEEP CMU BOARD BEAM R/W (2) #5 x CONT. BOTTOM	
L-5	24" DEEP CMU BOARD BEAM R/W (2) #5 x CONT. BOTTOM	
L-6	40" DEEP CMU BOARD BEAM R/W (4) #5 x CONT. TOP AND BOTTOM	x CONT. PER PLAN
L-8	48" DEEP CMU BOARD BEAM R/W (4) #6 x CONT. TOP AND BOTTOM	x CONT. PER PLAN
L-9	W8x24 W/ 3/8"x7 1/2"x M.O. STL. BOTTOM PLATE W/ 6" MIN. BRG. EA. END	SEE 10/51.2 FOR ADD'L REQUIREMENTS

**CMU LINTEL BEARING NOTES:**

- CMU LINTEL BEARING NOTES:**
1. EXTEND BOND BEAM AND REINFORCING 2'-8" PAST EDGE OF OPENING ON EACH SIDE, U.N.O
  2. WHEN OPENING OCCURS CLOSE TO CORNER AND NOTE #1 CANNOT BE ACHIEVED, RETURN BOND BEAM AND REINFORCING 2'-0" MINIMUM AROUND CORNER.
  3. SEE TYPICAL CMU SECTIONS AND DETAILS FOR ADDITIONAL STRUCTURAL REQUIREMENTS.

**SECOND FLOOR FRAMING PLAN NOTES:**

- SECOND FLOOR FRAMING PLAN NOTES:**  
1. SEE FLOOR FRAMING PLAN NOTES ON SHEET S2.3

**LOW ROOF FRAMING PLAN NOTES:**

- LOW ROOF FRAMING PLAN NOTES:**  
1. SEE LOW ROOF PLAN NOTES ON SHEET S2.3





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# NORTHSTAR FORD ARENA

4309 UGSTAD RD  
HERMANTOWN, MN 55811

project #: 22-725

date: 04/26/2024

drawn by: MSS

checked by: RJG/JEA

I hereby certify that this plan,  
specification, or report was prepared  
by me or under my direct supervision  
and that I am a duly Licensed  
Professional Engineer under the laws  
of the state of Minnesota.

signature: *Jon E. Aamodt*

printed name: JON E AAMODT

reg. #: 24838

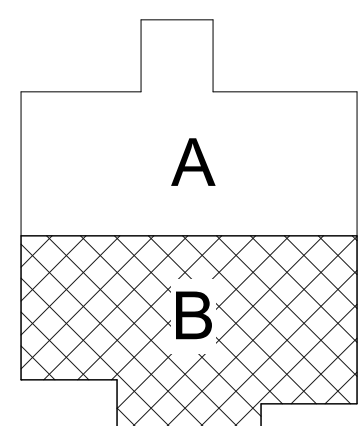
sign date: 04/26/2024



Structural, Civil and Forensic Engineering  
102 South 21st Ave. West, Duluth, MN 55806  
(721)8-727-5995, (721)8-727-7779

BID PACKAGE #1  
04/26/2024

revision / issue	no.	date
SB-01	1	06-25-2024
SB-03	3	10-02-2024

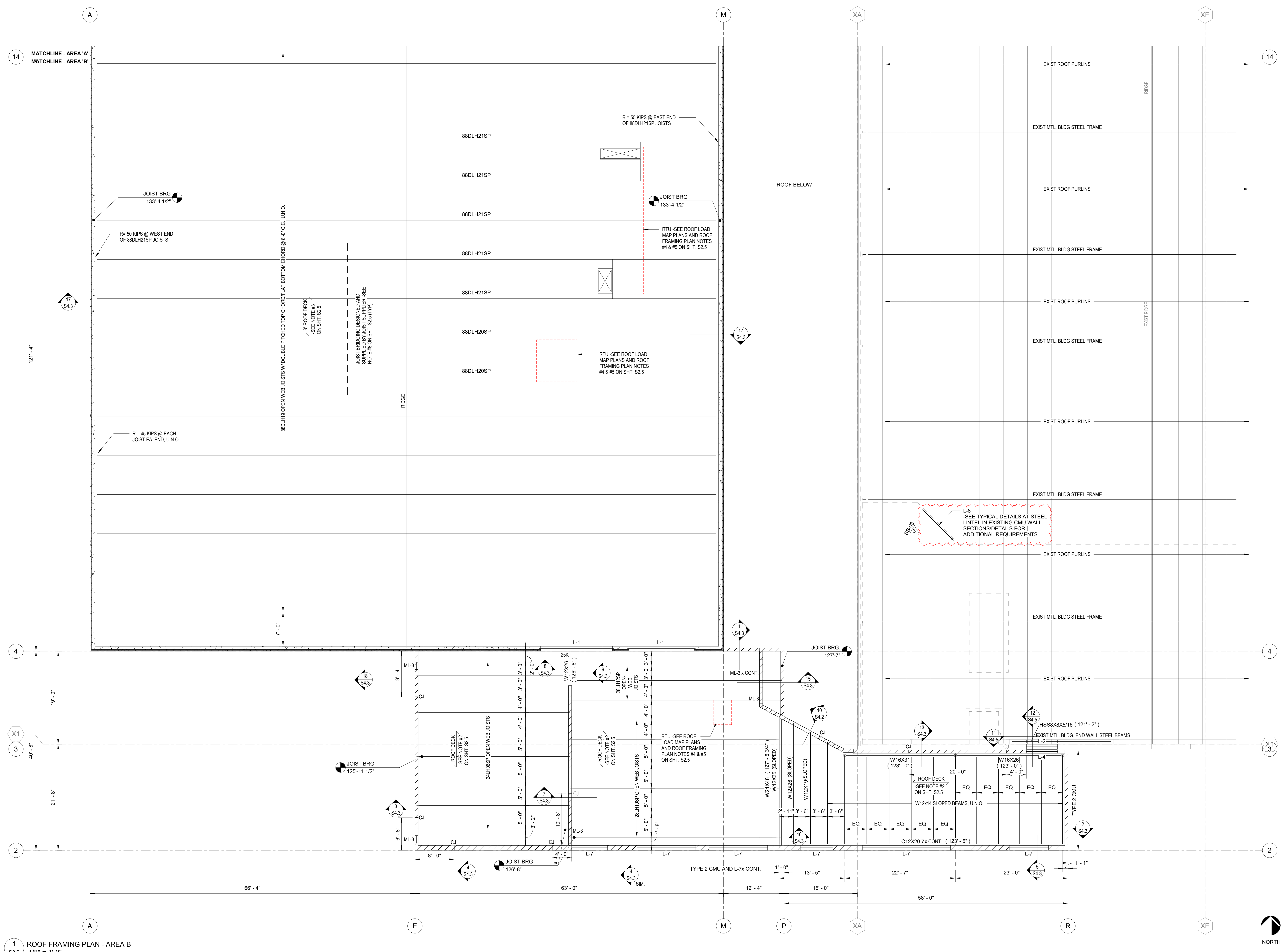


ROOF FRAMING  
PLAN - AREA 'B'

sheet title:

sheet number:

S2.6



1 ROOF FRAMING PLAN - AREA B  
S2.6 1/8" = 1'-0"

ROOF FRAMING PLAN NOTES:  
1. SEE ROOF PLAN NOTEES ON SHEET S2.5

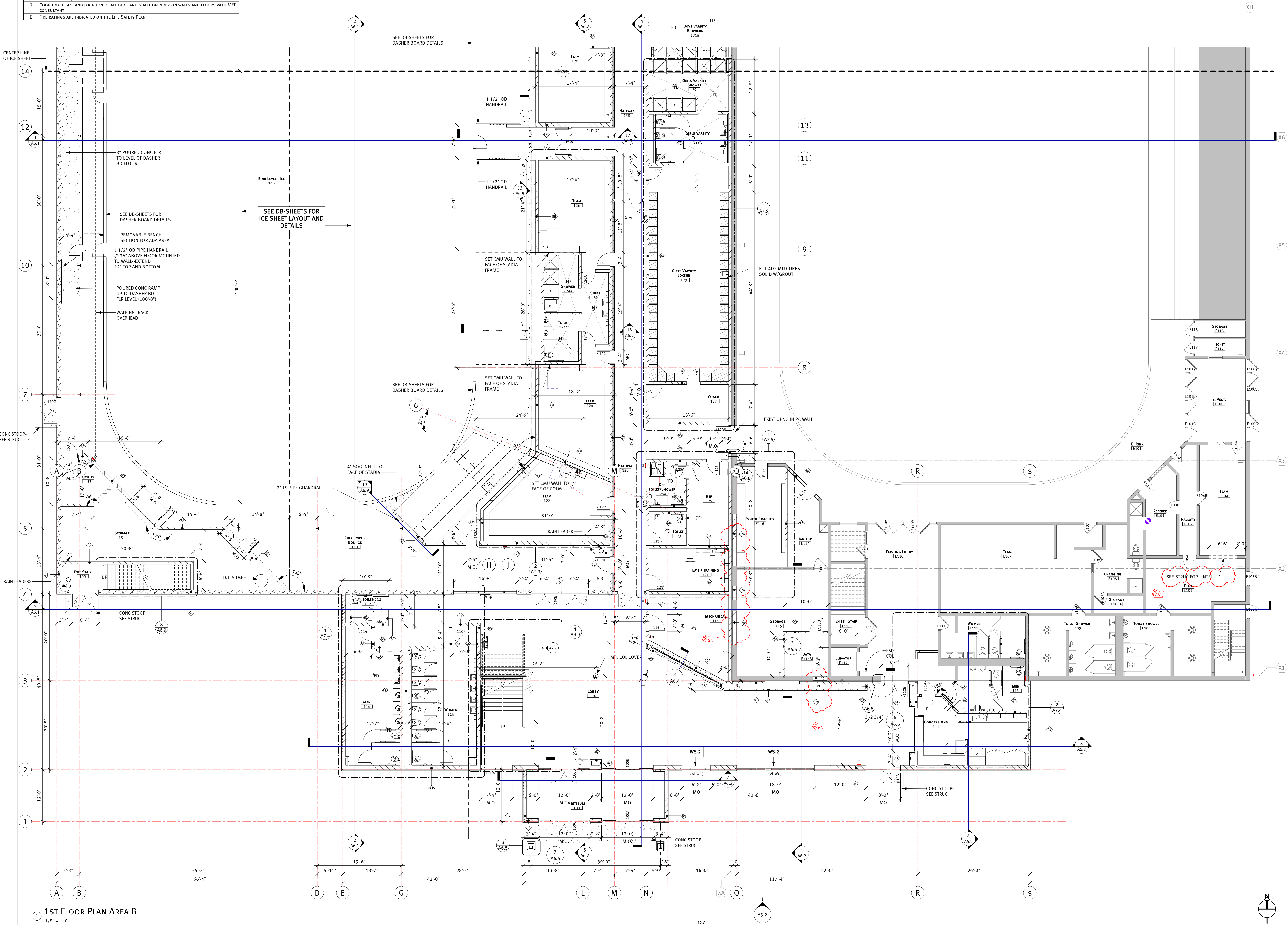
TYPICAL MECHANICAL OPENING IN CMU WALL - LINTEL SCHEDULE	
ROUGH OPENING WIDTH	DESCRIPTION
6" AND LESS	NO LINTEL REQ'D PROVIDED BOND BM. ABOVE AT FLOOR / ROOF BRG.
>6" AND < OR = 12"	8" DEEP CMU BOND BM. R/W (2) #5 x CONT. BOT. BARS
>12" AND < OR = 28"	16" DEEP CMU BOND BM. R/W (2) #5 x CONT. BOT. BARS
>28" AND < OR = 48"	24" DEEP CMU BOND BM. R/W (2) #5 x CONT. BOT. BARS

CMU LINTEL BEARING NOTES:  
1. EXTEND BOND BEAM AND REINFORCING 2'-8" PAST EDGE OF OPENING ON EACH SIDE, U.N.O.  
2. WHEN OPENING OCCURS CLOSE TO CORNER AND NOTE #1 CANNOT BE ACHIEVED, RETURN BOND BEAM AND REINFORCING 2'-0" MINIMUM AROUND CORNER  
3. SEE TYP. CMU SECTIONS AND DETAILS FOR ADDITIONAL STRUCTURAL REQUIREMENTS.

LINTEL SCHEDULE		
MARK	DESCRIPTION	COMMENTS
L-1	LINTEL BY PRECAST SUPPLIER	
L-2	LINTEL BY STUD SUPPLIER	
L-3	SEE TYP. MECH. OPENING IN CMU WALL LINTEL SCHEDULE	
L-4	16" DEEP CMU BOND BEAM R/W (2) #5 x CONT. BOTTOM	
L-5	24" DEEP CMU BOND BEAM R/W (2) #5 x CONT. BOTTOM	
L-6	40" DEEP CMU BOND BEAM R/W (4) #5 x CONT. TOP AND BOTTOM	x CONT. PER PLAN
L-7	48" DEEP CMU BOND BEAM R/W (4) #6 x CONT. TOP AND BOTTOM	x CONT. PER PLAN
L-8	W8x24 W/ 3/8"x 7 1/2"x M.O. STL. BOTTOM PLATE W/ 8" MIN. BRG. EA. END	SEE 10/S1.2 FOR ADDL REQUIREMENTS
ML-3	SEE TYP. MECH. OPENING IN CMU WALL LINTEL SCHEDULE	



FLOOR PLAN GENERAL NOTES	
NO.	DESCRIPTION
A	INTERIOR DIMENSIONS ARE TO FINISHED FACE OF STUD WALL, FACE OF MASONRY WALLS, TO CENTERLINE OF COLUMNS OR TO OTHER GRID POINTS UNLESS OTHERWISE NOTED. DIMENSIONS LABELED AS CLEAR OR CLR INDICATE MINIMUM DISTANCE TO FINISHED FACE OF WALLS. DIMENSIONS ARE TO FINISHED FACE OF EXISTING WALLS IF APPLICABLE.
B	ALL INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL OR CENTERED BETWEEN WALLS UNLESS OTHERWISE NOTED.
C	FURNITURE & EQUIPMENT SHOWN IS FOR REFERENCE ONLY AND IS NOT INCLUDED IN THE CONTRACT.
D	COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS WITH MEP CONSULTANT.
E	FIRE RATINGS ARE INDICATED ON THE LIFE SAFETY PLAN.



# NORTHSTAR FORD ARENA

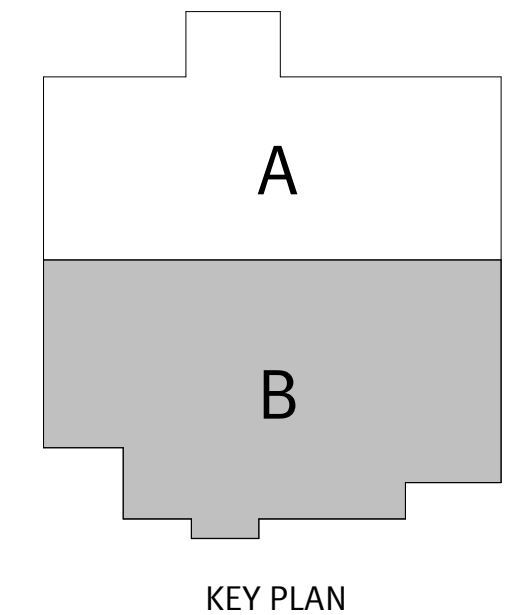
4309 UGSTAD RD  
HERMANTOWN, MN 55811

project #: 022058.00  
date: 10/02/2024  
drawn by: EVC, JMG, AR  
checked by: EWL, JEE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

signature: *John E. Erickson*  
printed name: JOHN E. ERICKSON, NCARB, LEED AP  
reg. #: 24199  
sign date: 06/14/2024

revision / issue	no.	date
BP#2 ADD	2	2024/07/09
ASI	3.1	2024/09/19
ASI	4	2024/09/30
ASI	6	2024/10/02

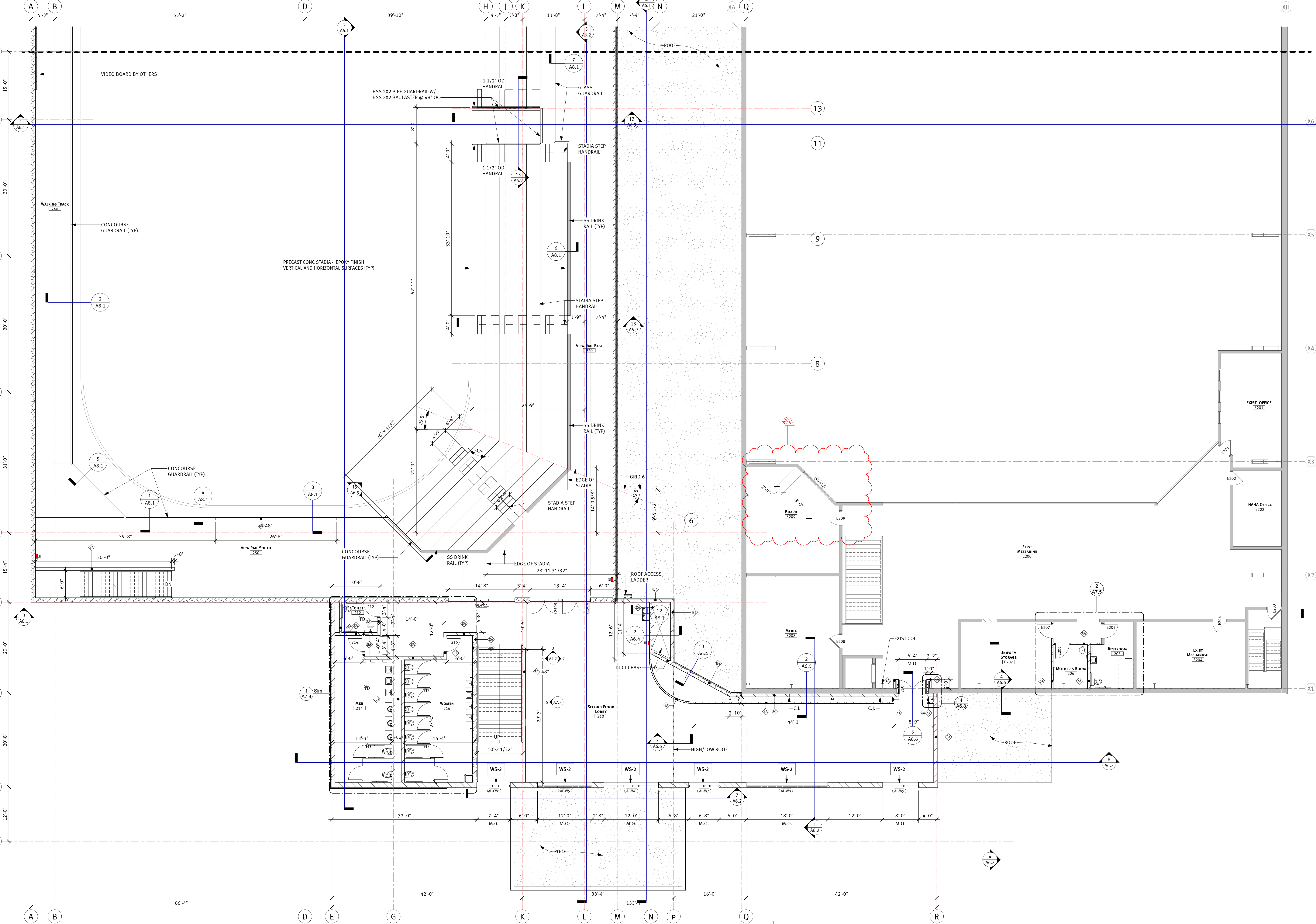


FIRST FLOOR PLAN  
- AREA B

sheet title:  
sheet number:  
**A2.1B**



NO.	DESCRIPTION
A	INTERIOR DIMENSIONS ARE TO FINISHED FACE OF STUD WALL, FACE OF MASONRY WALLS, TO CENTERLINE OF COLUMNS OR TO OTHER GRID POINTS UNLESS OTHERWISE NOTED. DIMENSIONS LABELED AS CLEAR OR CLR INDICATE MINIMUM DISTANCE TO FINISHED FACE OF WALLS. DIMENSIONS ARE TO FINISHED FACE OF EXISTING WALLS IF APPLICABLE.
B	ALL INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL OR CENTERED BETWEEN WALLS UNLESS OTHERWISE NOTED.
C	FURNITURE & EQUIPMENT SHOWN IS FOR REFERENCE ONLY AND IS NOT INCLUDED IN THE CONTRACT.
D	COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS WITH MEP CONSULTANT.
E	FIRE RATINGS ARE INDICATED ON THE LIFE SAFETY PLAN.



1 2ND FLOOR PLAN AREA B  
1/8" = 1'-0"

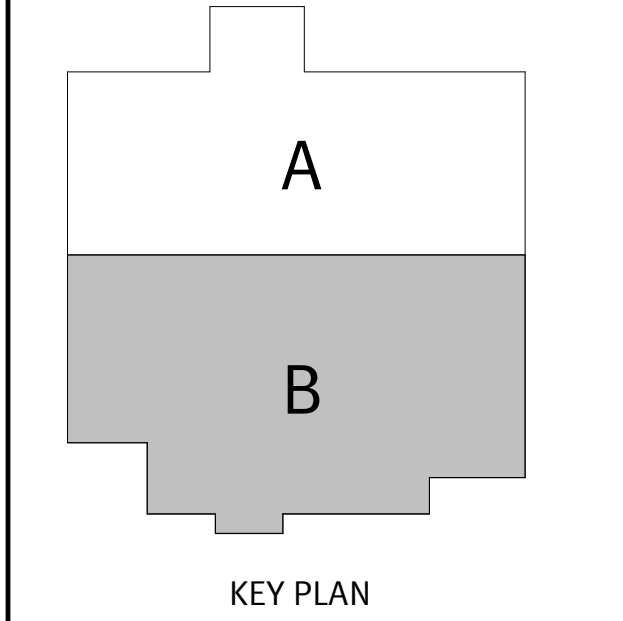
# **NORTHSTAR FORD ARENA** 4309 UGSTAD RD HERMANTOWN, MN 55811

project #: 022058.00  
date: 10/02/2024  
drawn by: EVC, JMG, AR  
checked by: EWL, JEE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

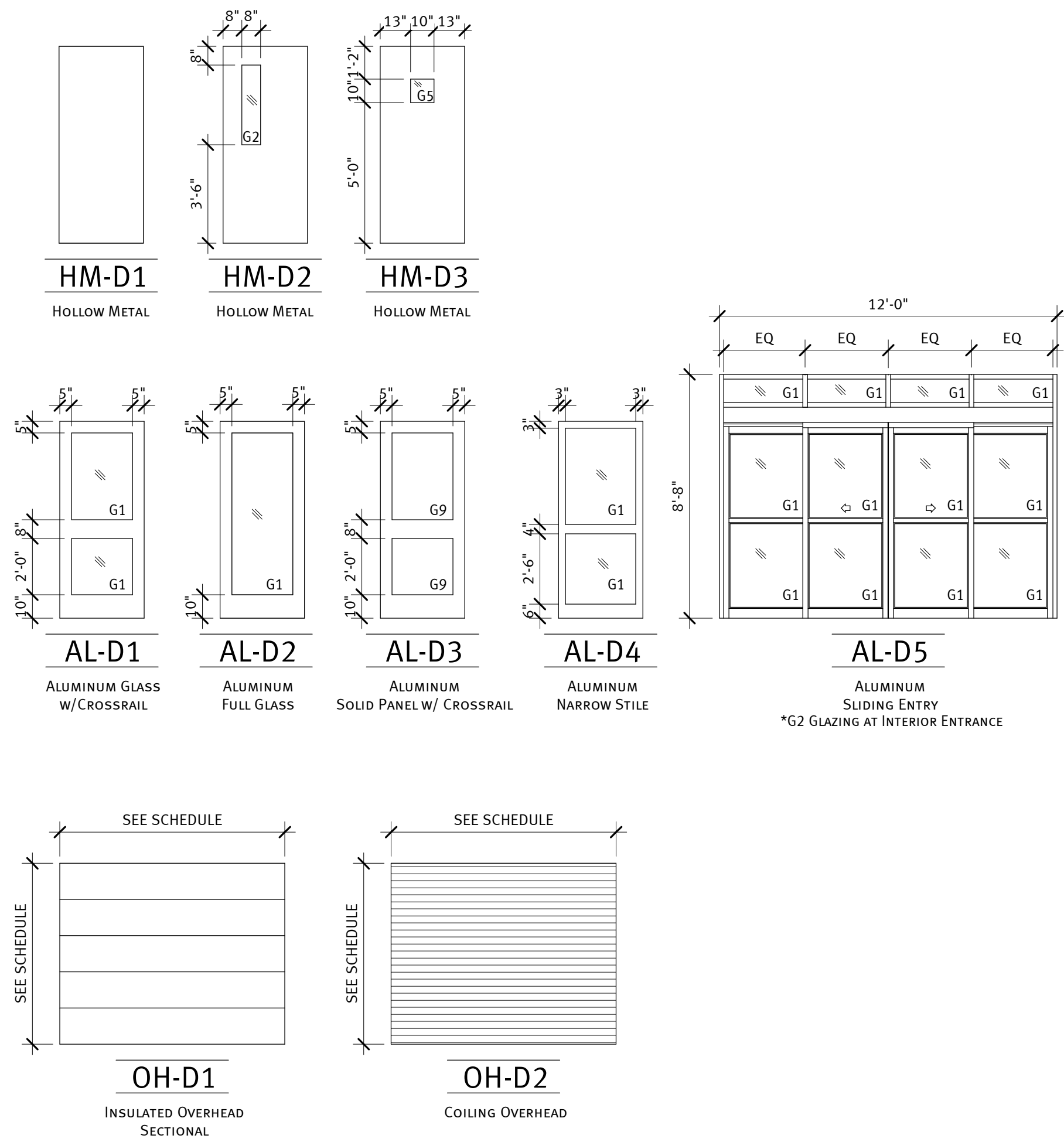
signature: *John E. Erickson*  
printed name: JOHN E. ERICKSON, NCARB, LEED AP  
reg. #: 24199  
sign date: 06/14/2024

revision / issue	no.	date
BP#1 ADD	2	2024/05/17
BP#2 ADD	2	2024/07/09
ASI	3.1	2024/09/19
ASI	3.3	2024/09/26
ASI	4	2024/09/30
ASI	6	2024/10/02



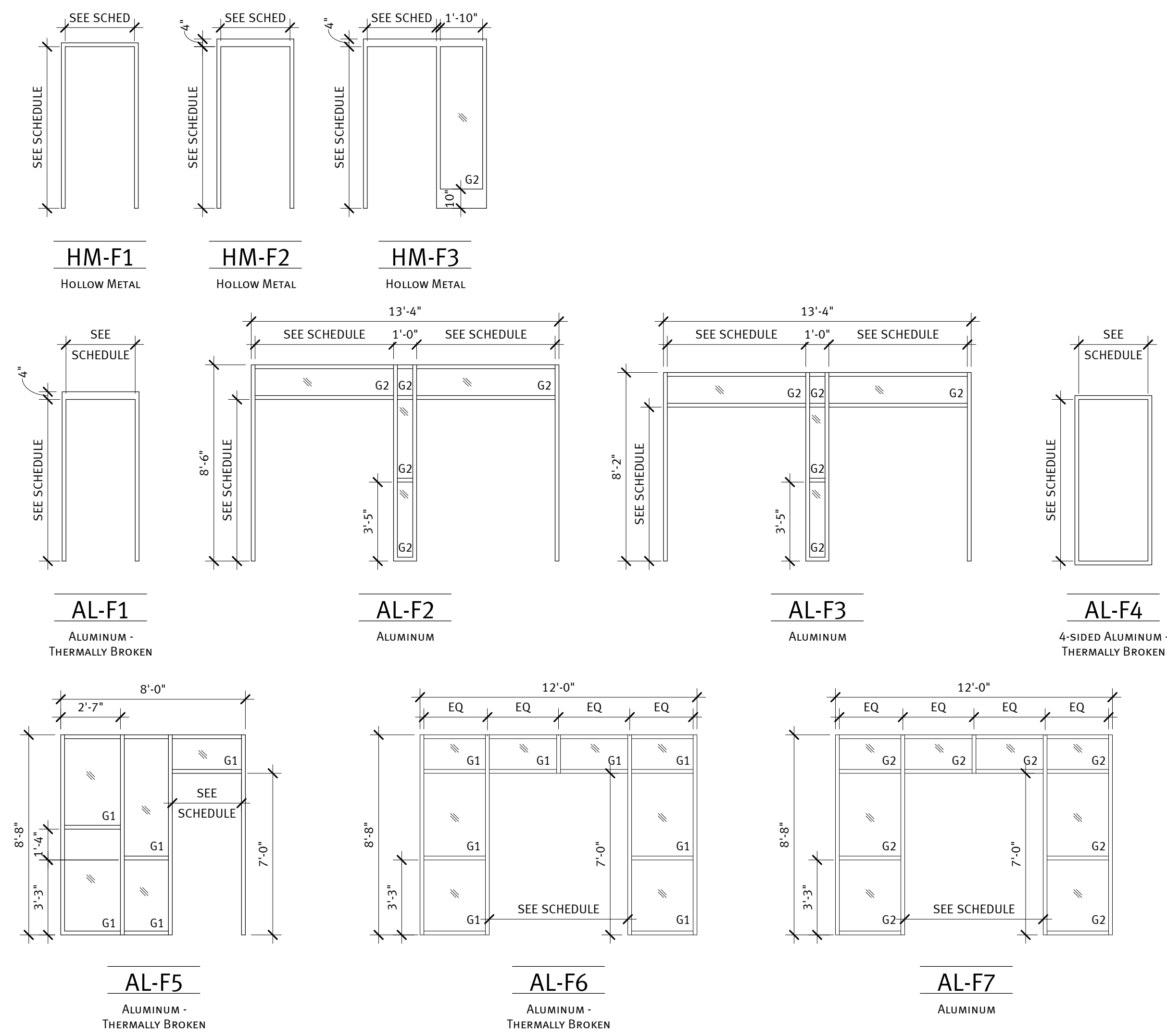


## DOOR TYPES



## FRAME TYPES

FRAME WIDTH IS 2" UNLESS OTHERWISE DIMENSIONED. FRAME DEPTH TO MATCH WALL THICKNESS PER INDUSTRY STANDARDS UNLESS OTHERWISE NOTED. SEE DETAILS.

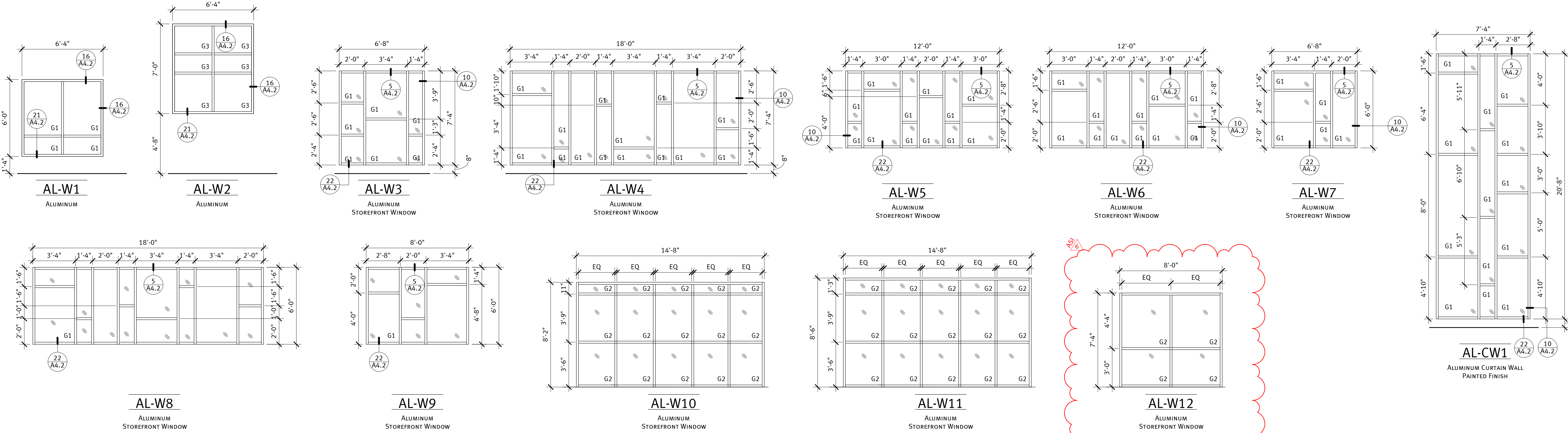


## DOOR AND FRAME SCHEDULE

NO.	WIDTH	HEIGHT	TYPE	TYPE	FRAME			FIRE LABEL	HDW. NO.	NOTES
					HEAD	JAMB	SILL			
100A	11'-8"	7'-0"	AL-D5	--	4/A4.2	9/A4.2	11/A4.2	--	--	
100B	11'-8"	7'-0"	AL-D5	--	13/A4.2	18/A4.2	11/A4.2	--	--	
100C	6'-0"	7'-0"	AL-D1	AL-F6	5/A4.2	10/A4.2	11/A4.2	--	08	
100D	6'-0"	7'-0"	AL-D1	AL-F7	5/A4.2	10/A4.2	11/A4.2	--	11	
110A	3'-0"	7'-0"	AL-D4	AL-F5	5/A4.2	10/A4.2	11/A4.2	--	10	
110B	6'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	90 MIN	30	
111A	3'-0"	7'-0"	HM-D1	HM-F2	12/A4.2	17/A4.2	--	--	29	
111B	10'-0"	7'-4"	OH-D2	HM-F2	15/A4.2	20/A4.2	--	90 MIN	33	
112	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	14	
113	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
114	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
115	3'-8"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	--	
116	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
120A	6'-0"	7'-0"	HM-D3	HM-F2	3/A4.2	8/A4.2	--	--	33	
120B	6'-0"	7'-0"	HM-D3	HM-F2	3/A4.2	8/A4.2	--	90 MIN	32	
121	3'-6"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	21	
122	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
123	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	18	
124	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
124A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	15	
125	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	39	
125A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	19	
126	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
126A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	14	
127A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
127B	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	20	
128	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
129	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
130A	6'-0"	7'-0"	HM-D2	HM-F2	3/A4.2	8/A4.2	--	--	17	
130B	6'-0"	7'-0"	HM-D3	HM-F2	3/A4.2	8/A4.2	--	90 MIN	31	
131	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
132	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
132A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	15	
132B	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	14	
133A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
133B	3'-0"	7'-0"	HM-D2	HM-F2	3/A4.2	8/A4.2	--	--	20	
134	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
140A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	27	
140B	14'-0"	10'-0"	OH-D2	--	14/A4.2	19/A4.2	--	--	--	
140C	3'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	04	
140D	10'-0"	12'-0"	OH-D1	--	2/A4.2	7/A4.2	2/A4.2	--	--	
140E	12'-0"	12'-0"	OH-D2	--	14/A4.2	19/A4.2	--	90 MIN	--	
141A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	38	
141B	3'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	05	
141C	8'-0"	8'-0"	OH-D1	--	2/A4.2	7/A4.2	2/A4.2	--	--	
142A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	37	
142B	3'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	09	
150A	6'-0"	7'-0"	AL-D1	AL-F3	6/A4.2	6/A4.2	--	--	01	
150B	6'-0"	7'-0"	AL-D1	AL-F3	6/A4.2	6/A4.2	--	--	07	
150C	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
150D	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
150E	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
150F	6'-0"	7'-0"	HM-D2	HM-F2	1/A4.2	1/A4.2	--	--	35	
150G	6'-0"	7'-0"	HM-D2	HM-F2	3/A4.2	5/A4.2	--	--	36	
150H	3'-0"	7'-0"	HM-D2	HM-F2	1/A4.2	1/A4.2	--	--	34	
151A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
151B	8'-0"	8'-0"	OH-D2	--	19/A4.2	20/A4.2	--	--	--	
152A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
152B	3'-0"	3'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
152C	3'-0"	3'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
152D	3'-0"	3'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
153	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
155	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
210	6'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	90 MIN	30	
212	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	18	
214	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
216	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
231A	6'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	24	
231B	3'-0"	7'-0"	AL-D3	AL-F4	6/A4.2	6/A4.2	6/A4.2	--	12	
231C	2'-6"	8'-0"	ROOF HATCH	--	--	--	--	--	--	ROOF HATCH
250A	6'-0"	7'-0"	AL-D1	AL-F2	6/A4.2	6/A4.2	--	--	06	
250B	6'-0"	7'-0"	AL-D1	AL-F2	6/A4.2	6/A4.2	--	--	07	
E100A	6'-6"	7'-0"	EXIST	EXIST	--	--	--	--	03	
E114	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	28	
E115	3'-0"	7'-0"	EXIST	EXIST	--	--	--	--	13	
E115B	3'-0"	7'-0"	HM-D1	HM-F1	4/A4.2	6/A4.2	--	--	25	
E116	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	39	
E205	3'-0"	7'-0"	HM-D1	HM-F2	12/A4.2	17/A4.2	--	--	18	
E206	3'-0"	7'-0"	HM-D1	HM-F1	12/A4.2	17/A4.2	--	--	18	
E207	3'-0"	7'-0"	HM-D1	HM-F1	12/A4.2	17/A4.2	--	--	22	

## WINDOW TYPES

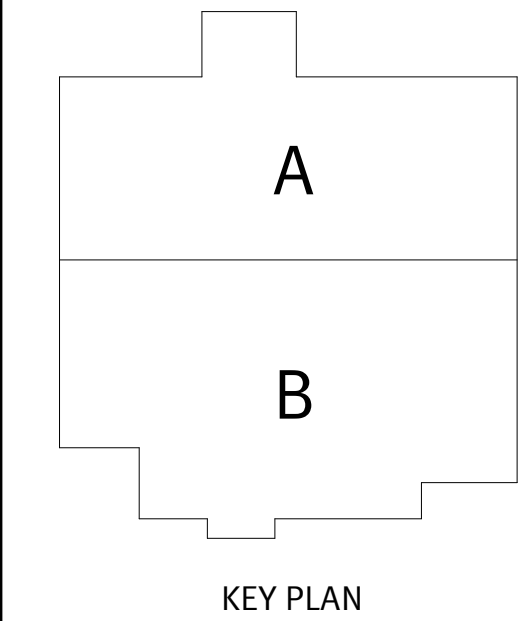
FRAME WIDTH IS 2" UNLESS OTHERWISE DIMENSIONED. FRAME DEPTH TO MATCH WALL THICKNESS PER INDUSTRY STANDARDS UNLESS OTHERWISE NOTED. SEE DETAILS.



## GLAZING TYPES

- G1: 1" INSULATED, TEMPERED GLAZING
- G2: 1/4" TEMPERED, CLEAR GLAZING
- G3: 1" INSULATED GLAZING
- G4: 1/4" CLEAR GLAZING
- G5: FIRE-RATED SAFETY GLAZING
- G6: 1" INSULATED, TEMPERED, SPANDREL GLAZING
- G7: 1" INSULATED, SPANDREL GLAZING
- G8: 1/2" TEMPERED, LAMINATED GLAZING
- G9: SOLID PANEL
- G10: 1" INSULATED, TEMPERED SILKSCREEN GLAZING

revision / issue	no.	date
BP#2 ADD	2	2024/07/09
BP#2 ADD	3	2024/07/15
ASI	3.3	2024/09/26
ASI	4	2024/09/30
ASI	6	2024/10/02



## OPENING SCHEDULES & TYPES

sheet title:  
sheet number:

A4.1



## NORTHSTAR FORD ARENA

4309 UGSTAD RD  
HERMANTOWN, MN 55811

project #: 022058.00  
date: 10/02/2024  
drawn by: EVC, JMG, AR  
checked by: EWL, JEE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

signature: John E. Erickson  
printed name: JOHN E. ERICKSON, NCARB, LEED AP  
reg. #: 24199  
sign date: 06/14/2024

# TNT

CONSTRUCTION  
GROUP LLC



Grand Rapids, MN (218) 326 • 4184

40 County Road 63, Grand Rapids, Minnesota 55744 Phone: 218-326-4184 Fax: 218-326-9296

Proposal/Change order

- Today's Date: 1-9-24
- Proposal submitted to: K/A Duluth
- Project name: Northstar Ford Arena
- Project Location: Hermantown MN
- Description of work: PCO 52 added
- Date of drawings:
- Addendums:

Proposal Includes:

Install 2 new door per PCO labor only 16 @ 99

1,584.00

We propose hereby to furnish equipment, material, and labor for the sum of \$ 1,584.00  
One Thousand Five Hundred Eighty Four Dollars 00/100

Signed and prepared by: 

Project Manager/Estimator: Clay Witkowsky

Mobile: 218-398-2141

Hammerlund Inc. - UNION CONTRACTOR

clay@tnt-cg.com

Note: Proposal may be withdrawn if not accepted within \_\_\_\_\_ days.

Acceptance of proposal: Signed \_\_\_\_\_ Date: \_\_\_\_\_

AN EQUAL OPPORTUNITY EMPLOYER





# **CONTRACT**

## **TILE AND CARPET, LLC**

COMMERCIAL FLOORING SPECIALISTS

537 Garfield Ave. Duluth, MN 55802

218-723-4056 f 218-723-4058

jill@contracttileduluth.com  
www.contracttileandcarpet.com

---

### *TRANSMITTAL*

**DATE: 1/13/2025**

**TO: Kraus-Anderson**

**ATTN: Max Vergeldt**

**FROM: Jill Hammer**

**RE: North Star Ford Arena PCO 52/ASI 6.1**

**Pricing for changes within our work scope is as follows:**

<b>Materials, Tax &amp; Freight</b>	<b>\$4,398.00</b>
<b>Profit (10%)</b>	<b>\$440.00</b>
<b>Labor</b>	<b><u>\$1,905.00</u></b>
<b>Total</b>	<b>\$6,743.00</b>

**Note – No floor prep figured; floors to be ready to receive flooring.**

**If you have questions or need anything else, please let me know. Thanks!**



# Harbor City Masonry, Inc.

310 SOUTH CENTRAL AVENUE • DULUTH, MN 55807  
PH 218-628-3686 • FAX 218-628-3706

January 8, 2025

## CHANGE ORDER REQUEST

PROJECT:	Hermantown Hockey Arena Addition Hermantown, MN	HCM PROJECT HCM COR	2024-12 12
CONTRACTOR:	Kraus Anderson Construction Company 3716 Oneota Street Duluth, MN 55807	GC CONTRACT GC COR ATTN: Pete Auvinen	

The change is as follows:

**Kraus Anderson PCO #25**  
**Kraus Anderson ASI #06**  
**Kraus Anderson PCO #52**  
**Kraus Anderson ASI #6.1**

**Patch CMU for new Lintel and Opening AL-W12 Window in BOARD E209**

Material	Description	units	total units	cost/unit	total
	4" CMU	block	16.00	\$1.95	\$31.20
	8" CMU Double Bullnose	block	34.00	\$2.70	\$91.80
	CMU Mortar	block	50.00	\$1.00	\$50.00
	Rebar	lf	20.00	\$2.00	\$40.00
	Corefill	cy	0.500	\$250.00	\$125.00

**Subtotal of Material** \$338.00

Labor	Description	units	total units	cost/unit	total
Setup Scaffolding on Both Sides of Wall	Working Foreman	hrs	3.000	\$130.00	\$390.00
	Operator	hrs	3.000	\$105.00	\$315.00
	Laborer	hrs	3.000	\$90.00	\$270.00
Tooth out and Tooth in CMU Jambs at both ends of new opening	Working Foreman	hrs	4.000	\$130.00	\$520.00
	Operator	hrs	4.000	\$105.00	\$420.00
Lay 8" Double Bullnose Sill CMU	Working Foreman	hrs	2.000	\$130.00	\$260.00
	Operator	hrs	2.000	\$105.00	\$210.00
Install & Soap new W8x24 Lintel	Working Foreman	hrs	3.000	\$130.00	\$390.00
	Operator	hrs	3.000	\$105.00	\$315.00
	Laborer	hrs	3.000	\$90.00	\$270.00
Infill Needle Beam Holes from Shoring with 8" CMU	Working Foreman	hrs	2.000	\$130.00	\$260.00
	Operator	hrs	2.000	\$105.00	\$210.00
Tear Down Scaffolding	Working Foreman	hrs	2.000	\$130.00	\$260.00
	Operator	hrs	2.000	\$105.00	\$210.00
	Laborer	hrs	2.000	\$90.00	\$180.00

**Subtotal of Labor** \$4,480.00

Equipment	Description	units	total units	cost/unit	total
	Scaffolding & Small Specialized Equipment (Tied to labor total cost)	8% of labor	\$4,480.00	8%	\$358.40
	Forklift (Tied to operator total hours)	days	2.00	\$375.00	\$750.00
	Mixer (Tied to operator total hours)	days	2.00	\$80.00	\$160.00
	Saw (Tied to Bricklayer & Foreman total hours)	days	2.00	\$80.00	\$160.00

**Subtotal of Equipment** \$1,428.40

Subtotal COR # 12	\$6,246.40
1.1% Bond Charge	\$68.71
10% Profit & Overhead	\$624.64
<b>Total COR # 12</b>	<b>\$6,939.75</b>

*OK*

# Northern Door & Hardware, Inc.

2202 West First Street P.O. Box 16026 Duluth, MN 55816-0026

Phone: (218) 722-9531

Fax: (218) 722-9098

**Date:** 1/13/24

**To:** K/A

**Attn:** Max / Allison

**Quote #:** PCO 052 – ASI 6.1

**Job Name:** Northstar Ford Arena

- PCO 52 Response
  - o #E208 & E209
    - Reuse existing hollow metal frames
    - New hollow metal doors
    - New hardware sets

**Total Add: \$4,252.00**

**Notes:**      Sales Tax (8.875%) = \$377.37  
                 Total cost with Tax = \$4629.37

**No Tax Included – Materials Only – F.O.B. Northern Door**

**Quote is good for 30 Days only – After 30 days escalation charges may apply based on current market conditions**

**Terms: Net 30 Days – No Retainage Allowed**

**Northern Door & Hardware, Inc**

**By: Chris Benson**

# NORTHSTAR FORD ARENA

City of Hermantown, MN

## WORK SCOPE 02-A: DEMOLITION PACKAGE

MAERTENS-BRENNY CONSTRUCTION COMPANY

8251 Main Street NE, Suite 106

Fridley, MN 55432

Issue Date : 1/8/25

Submit Date:

PCO #: 052

ASI #: 006.1

Project Manager: Jennifer Richmond

### COST SUMMARY

Description	Cost	Notes/Attachments
Labor Total	\$ 16,459.88	(Auto Fill from Sub-Total Below)
Materials and Equipment Total	\$ 4,460.00	(Auto Fill from Sub-Total Below)
Tax on Materials and Equipment Only	\$ 133.13	<<< Sales/Use Tax of 8.875%
<b>Self Performed Subtotal</b>	<b>\$ 21,053.01</b>	
10% Overhead and Profit	\$ 2,105.30	(10% is the max fee allowed on CO's)
<b>Self Performed Total</b>	<b>\$ 23,158.31</b>	
Subcontractors	\$ 1,000.00	Auto Fill from Sub-Total Below
5% Overhead and Profit on Subs	\$ 50.00	(5% is the max allowed on subcontractors)
<b>Subcontractor Total</b>	<b>\$ 1,050.00</b>	
<b>TOTAL COST OF CHANGE</b>	<b>\$ 24,208.31</b>	

Signature: Jennifer Richmond

### DESCRIPTION OF WORK:

Please provide pricing for any changes/revisions to your scope of work per the attached ASI 6.1, expanding the scope of work in E208 and E209.

Attachments: ASI 6.1 dated 10.07.25

Contractor acknowledges no other Costs associated with this PCO.

### PROVIDE DETAIL BREAKDOWN BELOW:

Labor By Task	Qty	Unit	Unit Cost	Total Cost
<b>Plan Note D3: Remove door &amp; hdwe, frame to remain</b>				
Laborer - Journeyman	4	EA	\$ 107.29	\$ 429.16
<b>Plan Note F2: Remove floor coverings 880 SF</b>				
Laborer - Journeyman	16	EA	\$ 107.29	\$ 1,716.64
<b>Plan Note R1: Remove ACT Ceiling 880 SF</b>				
Laborer - Journeyman	8	EA	\$ 107.29	\$ 858.32
<b>Plan Note W2: Demo masonry wall opening</b>				
<b>Setup Shoring:</b>				
Carpenter Foreman	8	EA	\$ 120.08	\$ 960.64
Carpenter - Journeyman	16	EA	\$ 113.95	\$ 1,823.20
Laborer - Journeyman	16	EA	\$ 107.29	\$ 1,716.64
<b>Demo Wall:</b>				
Carpenter Foreman	4	EA	\$ 120.08	\$ 480.32
Carpenter - Journeyman	8	EA	\$ 113.95	\$ 911.60
Laborer - Journeyman	8	EA	\$ 107.29	\$ 858.32
<b>Remove Shoring:</b>	144			
Carpenter Foreman	4	EA	\$ 120.08	\$ 480.32

Carpenter - Journeyman		8	EA	\$	113.95	\$	911.60
Laborer - Journeyman		8	EA	\$	107.29	\$	858.32
Plan Note W5: Remove wood stud wall 72'-6 lineal feet							
Carpenter Foreman		4	EA	\$	120.08	\$	480.32
Carpenter - Journeyman		8	EA	\$	113.95	\$	911.60
Laborer - Journeyman		8	EA	\$	107.29	\$	858.32
Plan Note Z2: Remove wood benches, supports & shelves							
Carpenter Foreman		4	MH'S	\$	116.12	\$	464.48
Carpenter - Journeyman		8	EA	\$	113.95	\$	911.60
Laborer - Journeyman		8	MH'S	\$	103.56	\$	828.48
Sub-Total						\$	16,459.88
Materials and Equipment By Task		Qty	Unit	Unit Cost		Total Cost	
Dumpster		1	LS	\$	500.00	\$	500.00
Shoring Rental - Needle Beams & Posts		1	LS	\$	1,000.00	\$	1,000.00
General - Non-Taxed:							
Per Diem & Lodging		148	MH	\$	20.00	\$	2,960.00
Sub-Total						\$	4,460.00
Sub-Contractor Proposals		Description of Work				Total Cost	
Shoring Design/Engineering		Advanced Shoring				\$	1,000.00
Sub-Total		(Attach Sub-Contractor Proposals)				\$	1,000.00



Pinnacle Wall Systems Inc. | 4849 White Bear Parkway - White Bear Lake, MN 55110

**PROPOSED CONTRACT CHANGES**

**Date:** Saturday, February 10, 2024  
**To:** Kraus Anderson  
**Attn:** Max Vergeldt  
**Address:** \_\_\_\_\_  
 \_\_\_\_\_

**Project Name:** Northstar Arena  
**Pinnacle Job #** 24182  
**Pinnacle PCO #** 3  
**FWO# Reference** \_\_\_\_\_  
**Reference Date:** 1/20/2025

<b>Description of work ADDED / DELETED:</b>	<u>PCO 052</u>
Add 4A and 3A walls to media and board rooms	

**COST SUMMARY:**

**Labor:**

General Superintendent:		Hours @ \$142.00 / Hour	\$0.00
Carpenter Foreman:		Hours @ \$111.00 / Hour	\$0.00
Taper Foreman:		Hours @ \$108.00 / Hour	\$0.00
Lather/Plasterer/Fireproofer Foreman:	40	Hours @ \$108.00 / Hour	\$4,320.00
Carpenter:	8	Hours @ \$106.00 / Hour	\$848.00
Taper:		Hours @ \$105.00 / Hour	\$0.00
Laborer/Tender:		Hours @ \$105.00 / Hour	\$0.00
Lather/Plasterer/Fireproofer:		Hours @ \$106.00 / Hour	\$0.00
Overtime:		Hours @ \$49.00 / Hour	\$0.00
Total Clean Up Costs: Laborer / Tender		Hours @ \$105.00 / Hour	\$0.00
<b>Total Labor Cost</b>			<b>\$5,168.00</b>

**Materials:**

Materials: steel studs/track, GWB, fasteners, taping materials / beads	\$3,227.00
<b>Total Material Cost:</b>	<b>\$3,227.00</b>

**General Conditions:**

PWS owned equipment % of Labor Cost:	5%	\$258.40
Equipment:		\$790.00
Engineering:		
Per Diem (travel pay, parking):		\$1,029.00
<b>Total General Conditions Cost:</b>		<b>\$2,077.40</b>

**Overhead and Profit / Markups**

Total Material Cost		\$3,227.00
Markup on Materials	10%	322.70
Total Labor Cost		\$5,168.00
General Conditions Cost		\$2,077.40
Markup on Labor / General Conditions / Equipment	10%	\$724.54
Bond		\$0.00
<b>Grand Total:</b>		<b>\$11,520</b>
<b>Total Labor:</b>		<b>\$7,970</b>
<b>Total Materials:</b>		<b>\$3,550</b>

Please contact me should you have any questions regarding the above information.

Best Regards,

Nate Edwards - Estimator/ Project Manager

Phone / Main: 651-653-3303 | Cell: 239-822-9773 146 Email: nate@pinnaclewall.com

# Right-Way Caulking Inc.

1135 73<sup>rd</sup> Avenue NE, Minneapolis MN 55432

Tel. (763) 780-4102 Fax (763) 780-3363

February 10, 2025

Joint Sealant Proposal

To: Kraus Anderson

Attention: Max Vergeldt

Phone: 218-324-3349

Project: Northstar Ford Arena

Subject: PCO #52



## Scope of Work

1. Additional HM door frames
2. Additional finish bead at window perimeters
3. Gyp board to dissimilar materials

## Bid Amount

1. Labor: 470.00
2. Material: \$100.00

## Exclusions

1. N/A

Thank You,

Right –Way Caulking Inc.

By: Dalton Keep

Estimator/PM

147

Notes: Pricing includes labor, material and equipment to complete the work scope noted above

Taxes are included unless noted otherwise

# **Right-Way Caulking Inc.**

**1135 73<sup>rd</sup> Avenue NE, Minneapolis MN 55432**

**Tel. (763) 780-4102 Fax (763) 780-3363**

**February 10, 2025**

**Joint Sealant Proposal**

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**KRAUS-ANDERSON®**  
*Construction Company*

2000 West Superior Street, Suite 101  
Duluth, MN 55806

## Request For Proposal

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Project:	2222026- Hermantown Hockey Arena Addition 4309 Ugstad Road Hermantown, MN 55811	PCO #:	52
		Date:	01/08/2025
To:	All Contractors		

---

Please provide a cost breakdown in accordance with the Contract Documents and a Summary for the Change described herein and on the attachments (if any) listed. All responses are required within seven (7) days.

This is not an authorization to proceed with the work described herein unless and until approved by the Owner. On approval, this change will be included in a Change Order, which will provide the formal Contract Change.

---

### DESCRIPTION OF PROPOSAL:

Please provide pricing for any changes/revisions to your scope of work per the attached ASI 6.1, expanding the scope of work in E208 and E209.

Attachments: ASI 6.1 dated 01.07.2025

---

☐ We have reviewed the PCO and acknowledge that it is a "no change" item and does not affect our completion date.

Signed By: \_\_\_\_\_ Date: \_\_\_\_\_

Company Name: \_\_\_\_\_

# ASI Architects Supplemental Instructions



**Project Name** NorthStar Ford Arena  
**Project No** 022058.00  
**Project Address** 4309 Ugstad Road  
**Owner** City of Hermantown  
**Contractor Name** Kraus Anderson

**ASI No** 6.1

*The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.*


*If these supplemental instructions cause a change in the Contract Sum or Contract Time, submit a Proposal Request to the Architect for review and comment. DO NOT PROCEED with the Work until the Proposal Request is approved by the Architect.*

**ASI Date**  
1/7/2025

**ASI Title**  
**E208/E209 Expanded Scope**

**ASI Description**  
See attached DSGW ASI Memo # 6.1 memo dated January 7, 2025.

## ASI Attachments

- 1  22058 DSGW ASI 6.1 Memo.pdf
- 2
- 3



## MEMO

*project* NorthStar Ford Arena  
Hermantown, Minnesota  
*project #* 022058.00  
*date* January 7, 2025  
*subject* ASI #6.1  
*from* Eric Lagergren DSGW Architecture  
*to* Kraus Anderson  
*cc* file

### **ARCHITECTURAL**

#### A1.1B DEMO PLAN – AREA B

1. ADDED demo work to E208 & E209

#### A2.2B SECOND FLOOR PLAN – AREA B

1. ADDED walls to E208 & E209

#### A3.2B SECOND FLOOR RCP – AREA B

1. REMOVED acoustic ceiling in E208 & E209

#### A4.1 OPENING SCHEDULES & TYPES

1. ADDED new doors. Modified AL-W12

#### A4.2 OPENING DETAILS

1. 23/A4.2: ADDED detail

#### A7.1 FINISH SCHEDULES

1. Room Finish Schedule: ADDED E208 & E209
2. Interior Material & Color Schedule: ADDED CPT-2

### **ELECTRICAL**

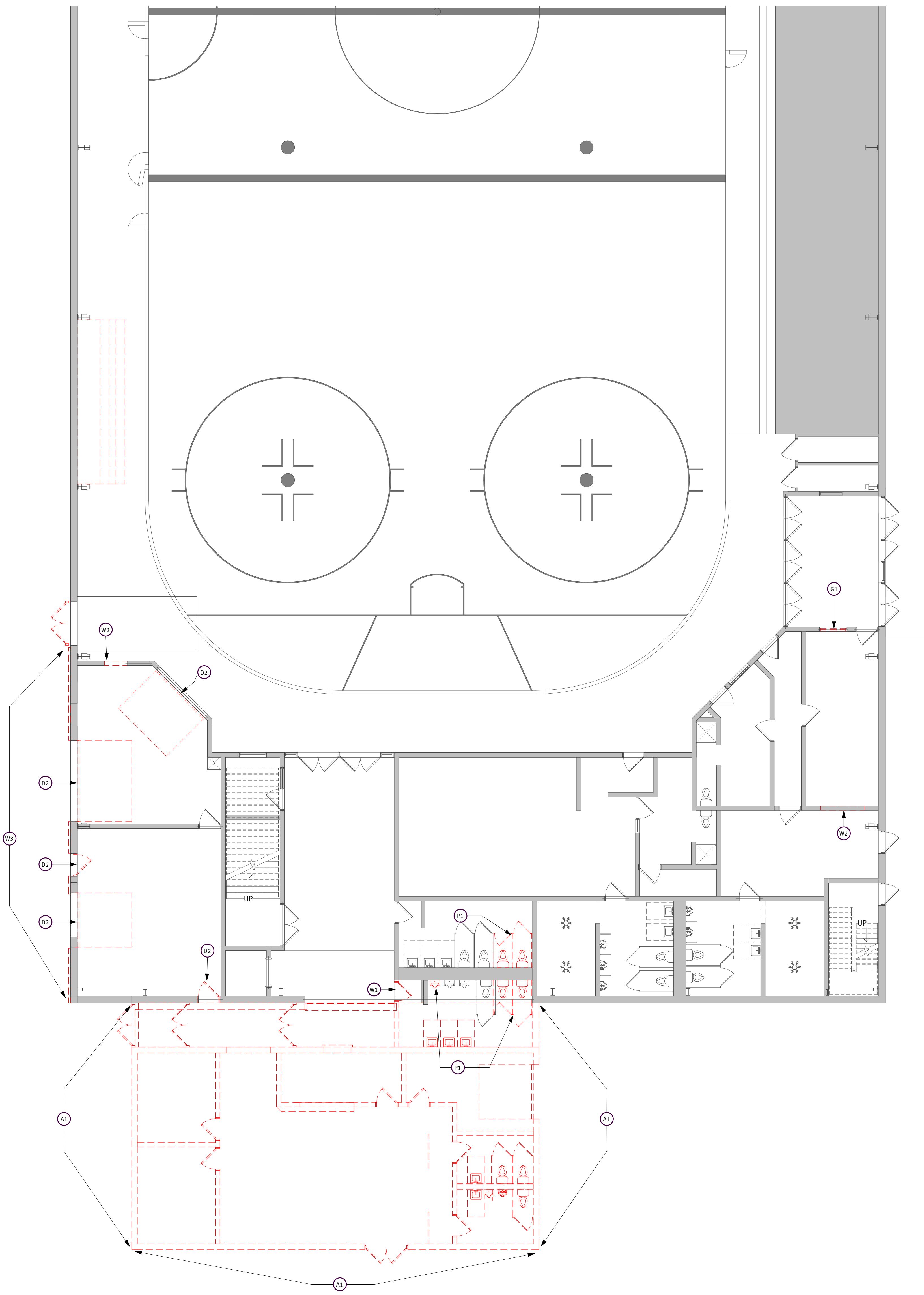
CMTA Electrical Supplemental Instructions ASI-6.1, dated 1/7/2025.

# MEMO

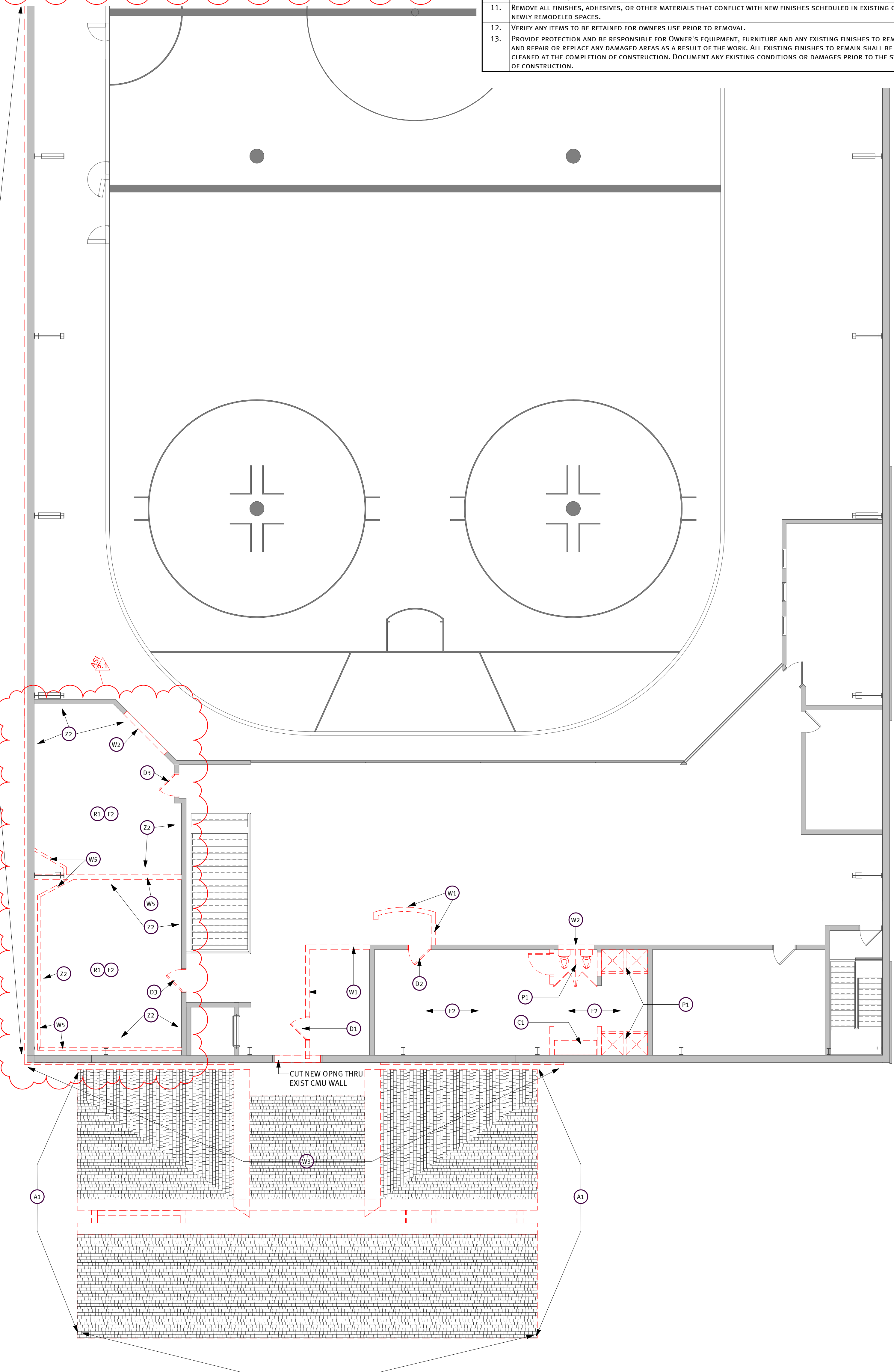
Attachments:

- *Architectural Drawing Sheets: A1.1B, A2.2B, A3.2B, A4.1, A4.2, and A7.1 (30x42)(6 pages)*
- *CMTA Electrical Supplemental Instructions ASI-6.1 (1 - 8.5x11; 2 – 30x42)(3 pages)*

END OF MEMO



1 1ST FLOOR DEMO PLAN AREA B  
1/8" = 1'-0"



2 2ND FLOOR DEMO PLAN AREA B  
1/8" = 1'-0"

DEMO PLAN NOTES	
A1	DEMO & REMOVE EXIST STRUCTURE
C1	DEMO & REMOVE CASEWORK
D1	DEMO & REMOVE DOORS
D2	DEMO & REMOVE DOORS - INFILL OPENING TO MATCH EXISTING
D3	DEMO & REMOVE DOORS - FRAME TO REMAIN
F1	DEMO CONC FLR FOR NEW TRENCH DRAIN
F2	DEMO & REMOVE EXISTING FLOORING AND BASE
F3	DEMO CONC FLR FOR NEW THICKENED SLAB
G1	DEMO WINDOW AND INFILL WALL
P1	DEMO & REMOVE PLUMBING FIXTURES & PARTITIONS
R1	DEMO & REMOVE EXISTING ACOUSTIC CEILING, GRID, AND FIXTURES
W1	DEMO & REMOVE WALL
W2	DEMO WALL FOR OPENING
W3	DEMO & REMOVE EXIST METAL WALL PANEL
W4	DEMO PORTION OF EXIST WALL FOR NEW LOUVER - SEE STRUC/MECH
W5	DEMO & REMOVE WOOD STUD WALL
Z2	REMOVE BENCHES AND WALL MOUNTED ITEMS - PATCH CMU AND PREP FOR PNT

DEMO GENERAL NOTES	
NO.	DESCRIPTION
1.	DEMOLITION NOTES AND PLANS ARE PROVIDED AS A GUIDE ONLY. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND EXAMINE DRAWINGS AND DETAILS TO DETERMINE EXTENT AND LIMITS OF DEMOLITION TO ACCOMMODATE NEW CONSTRUCTION.
2.	CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL ASPECTS OF DEMOLITION AND RECONSTRUCTION. CONTRACTOR TO COORDINATE NEW WORK PLAN DIMENSIONS AND INSTALLATION OF NEW MATERIALS AND FINISHES, AS REQUIRED, WHETHER INDICATED ON DRAWINGS OR NOT.
3.	DEMOLITION NOTES WITHOUT LEADERS INDICATE THAT THE NOTE APPLIES TO THE ENTIRE ROOM.
4.	CONTRACTORS SHALL COORDINATE ALL DEMOLITION WORK PHASING AND SEQUENCING WITH OWNER PRIOR TO START OF CONSTRUCTION.
5.	VERIFY EXISTING WALL TYPE AT WALL INFILL OR WALL EXTENSION AREAS. IF EXISTING WALL TYPE DOES NOT MATCH THE CALLED OUT WALL TYPE, INFILL OR EXTEND TO MATCH EXISTING WALL TYPE INSTEAD.
6.	VERIFY EXISTING WALL MATERIALS TO BE REMOVED (GYPSUM BOARD, STUD, CMU, BRICK, ETC.).
7.	PROVIDE TRANSITION STRIP AT AREAS OF NEW FLOORING MEETING EXISTING FLOORING AND AT NEW DOOR OPENINGS IN EXISTING WALLS. PATCH FLOOR AS REQUIRED.
8.	PREP FLOORS AS NEEDED FOR NEW FINISHES.
9.	REMOVE EXISTING WALL MOUNTED ITEMS SUCH AS GRAB BARS, MIRRORS, PAPER TOWEL DISPENSERS, TOILET PAPER DISPENSERS, SOAP DISPENSERS, TOILET PARTITIONS, ETC IN DEMOLISHED AREAS. PATCH EXISTING WALLS AS REQUIRED.
10.	PATCH SUBFLOOR, WALLS, & CEILINGS DISTURBED BY DEMOLITION. PATCH TO MATCH EXISTING FINISHES AS REQUIRED.
11.	REMOVE ALL FINISHES, ADHESIVES, OR OTHER MATERIALS THAT CONFLICT WITH NEW FINISHES SCHEDULED IN EXISTING OR NEWLY REMODELED SPACES.
12.	VERIFY ANY ITEMS TO BE RETAINED FOR OWNERS USE PRIOR TO REMOVAL.
13.	PROVIDE PROTECTION AND BE RESPONSIBLE FOR OWNER'S EQUIPMENT, FURNITURE AND ANY EXISTING FINISHES TO REMAIN AND REPAIR OR REPLACE ANY DAMAGED AREAS AS A RESULT OF THE WORK. ALL EXISTING FINISHES TO REMAIN SHALL BE CLEANED AT THE COMPLETION OF CONSTRUCTION. DOCUMENT ANY EXISTING CONDITIONS OR DAMAGES PRIOR TO THE START OF CONSTRUCTION.

enriching communities  
www.dsgw.com

# NORTHSTAR FORD ARENA

4309 UGSTAD RD  
HERMANTOWN, MN 55811

project #: 022058.00  
date: 1/7/2025 2:22:03 PM  
drawn by: EVC, JMG, AR  
checked by: EWL, JEE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

signature:   
printed name: JOHN E. ERICKSON, NCARB, LEED AP  
reg. #: 24199  
sign date: 06/14/2024

revision / issue	no.	date
ASI	3.3	2024/09/26
ASI	4	2024/09/30
ASI	6.1	2025/01/06

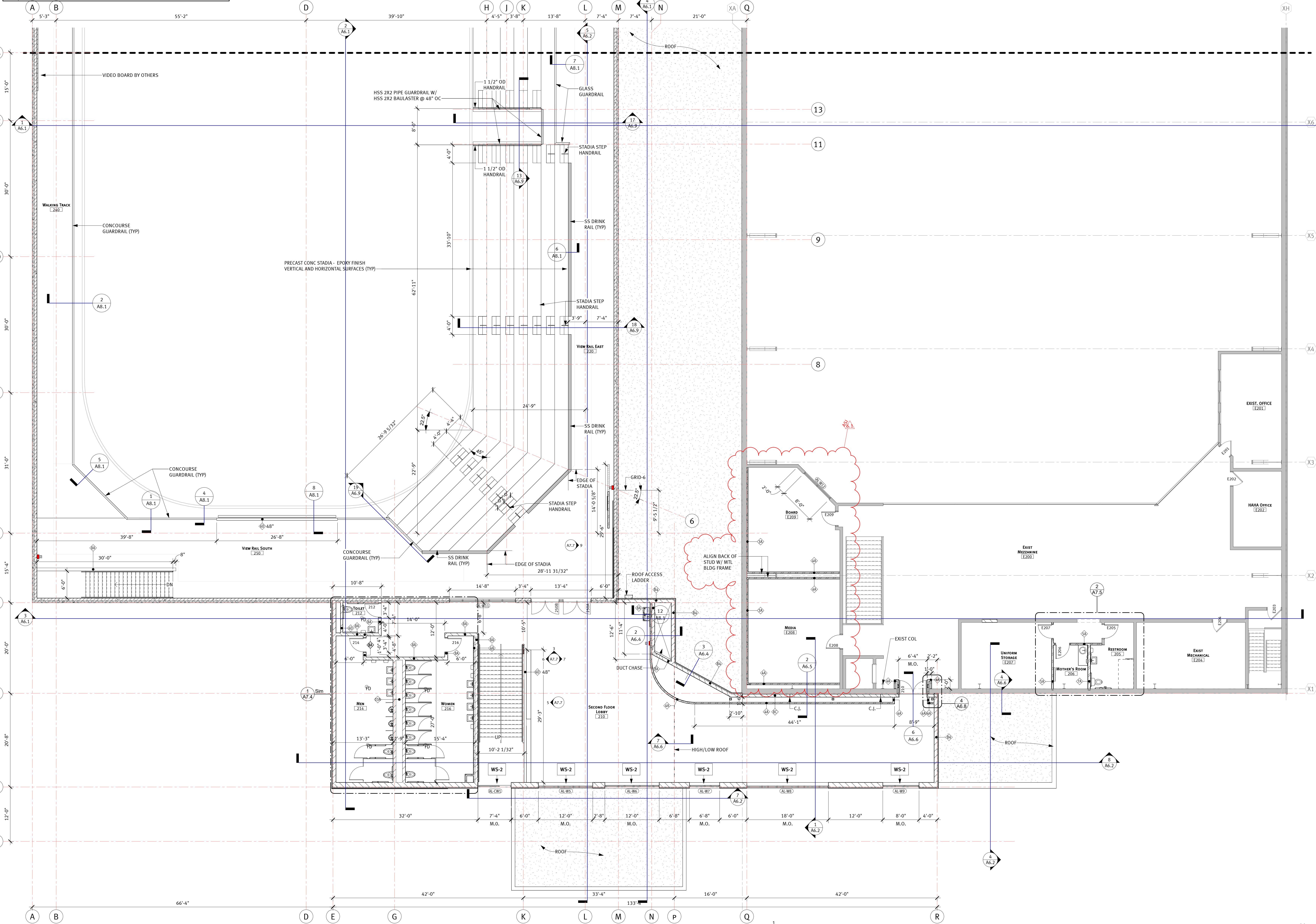
KEY PLAN

DEMO PLAN - AREA B

sheet title: B  
sheet number: A1.1B



NO.	DESCRIPTION
A	INTERIOR DIMENSIONS ARE TO FINISHED FACE OF STUD WALL, FACE OF MASONRY WALLS, TO CENTERLINE OF COLUMNS OR TO OTHER GRID POINTS UNLESS OTHERWISE NOTED. DIMENSIONS LABELED AS CLEAR OR CLR INDICATE MINIMUM DISTANCE TO FINISHED FACE OF WALLS. DIMENSIONS ARE TO FINISHED FACE OF EXISTING WALLS IF APPLICABLE.
B	ALL INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL OR CENTERED BETWEEN WALLS UNLESS OTHERWISE NOTED.
C	FURNITURE & EQUIPMENT SHOWN IS FOR REFERENCE ONLY AND IS NOT INCLUDED IN THE CONTRACT.
D	COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS WITH MEP CONSULTANT.
E	FIRE RATINGS ARE INDICATED ON THE LIFE SAFETY PLAN.



1 2ND FLOOR PLAN AREA B  
1/8" = 1'-0"

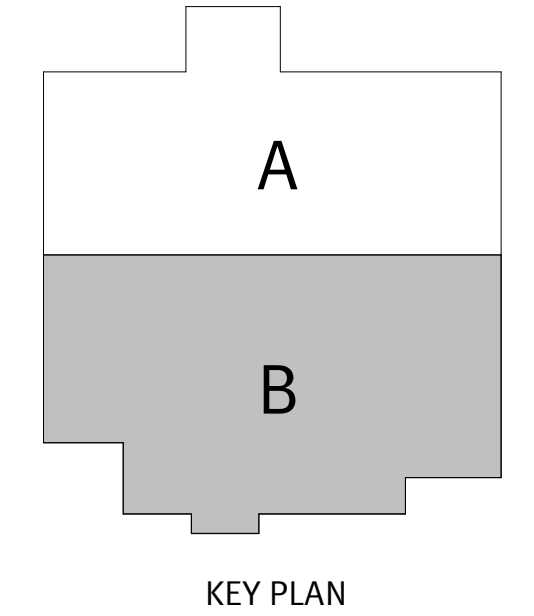
# **NORTHSTAR FORD ARENA** 4309 UGSTAD RD HERMANTOWN, MN 55811

project #: 022058.00  
date: 1/7/2025 2:22:05 PM  
drawn by: EVC, JMG, AR  
checked by: EWL, JEE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

signature: *John E. Erickson*  
printed name: JOHN E. ERICKSON, NCARB, LEED AP  
reg. #: 24199  
sign date: 06/14/2024

revision / issue	no.	date
BP#1 ADD	2	2024/05/17
BP#2 ADD	2	2024/07/09
ASI	3.1	2024/09/19
ASI	3.3	2024/09/26
ASI	4	2024/09/30
ASI	6	2024/10/02
ASI	13	2024/11/
ASI	6.1	2025/01/06



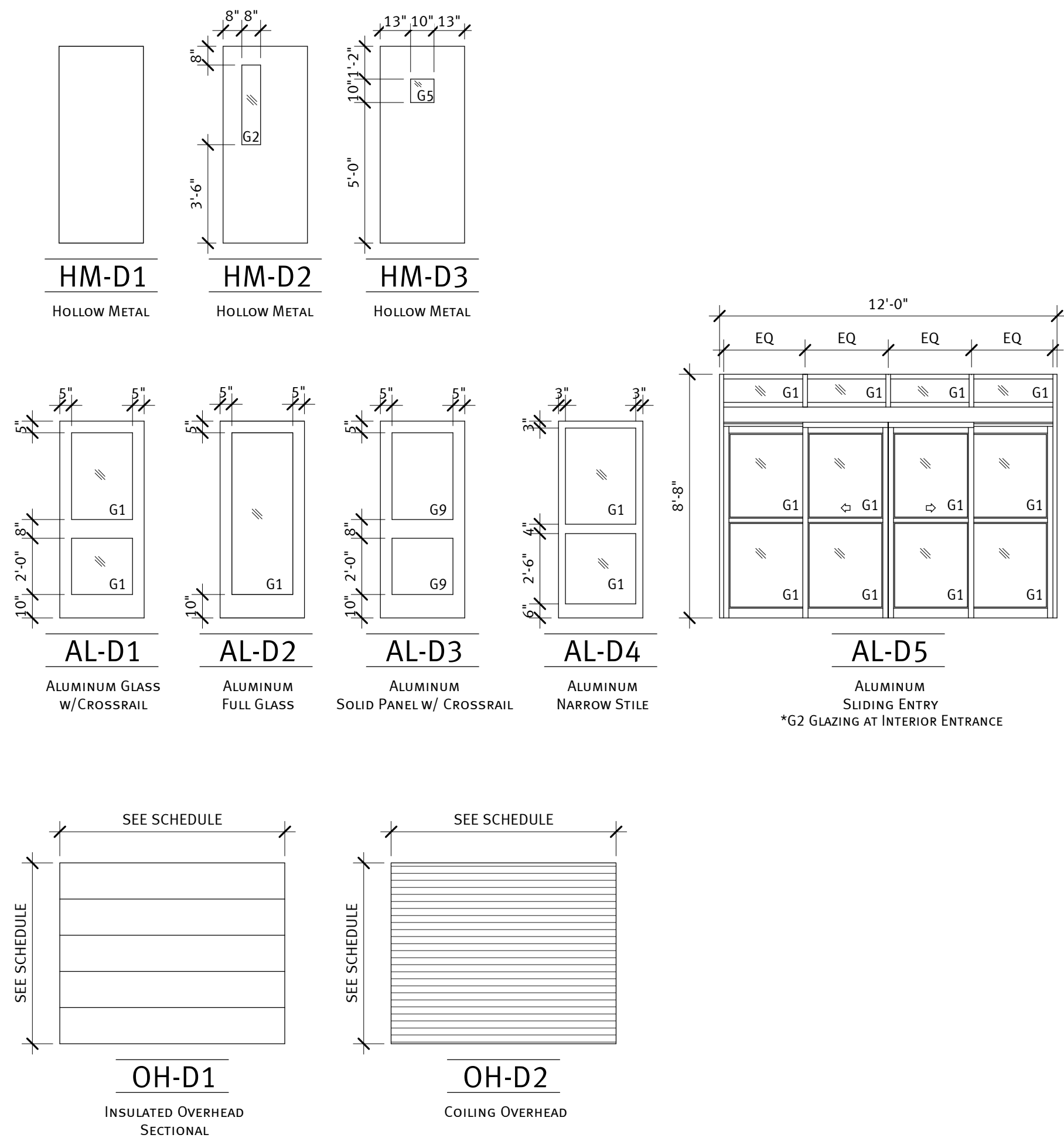
SECOND FLOOR  
PLAN - AREA B  
sheet title:  
sheet number:  
**A2.2B**





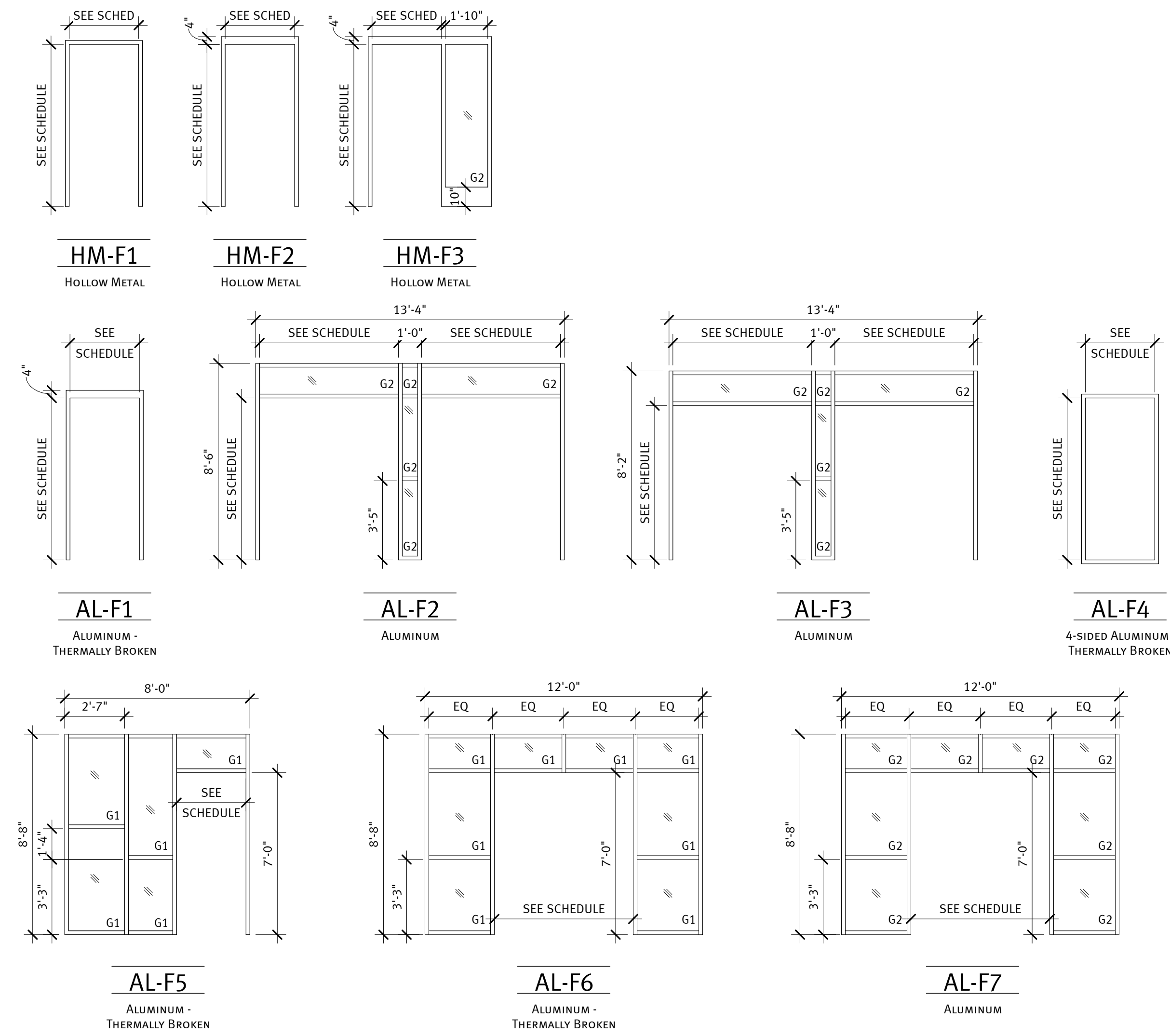


## DOOR TYPES



## FRAME TYPES

FRAME WIDTH IS 2" UNLESS OTHERWISE DIMENSIONED. FRAME DEPTH TO MATCH WALL THICKNESS PER INDUSTRY STANDARDS UNLESS OTHERWISE NOTED. SEE DETAILS.

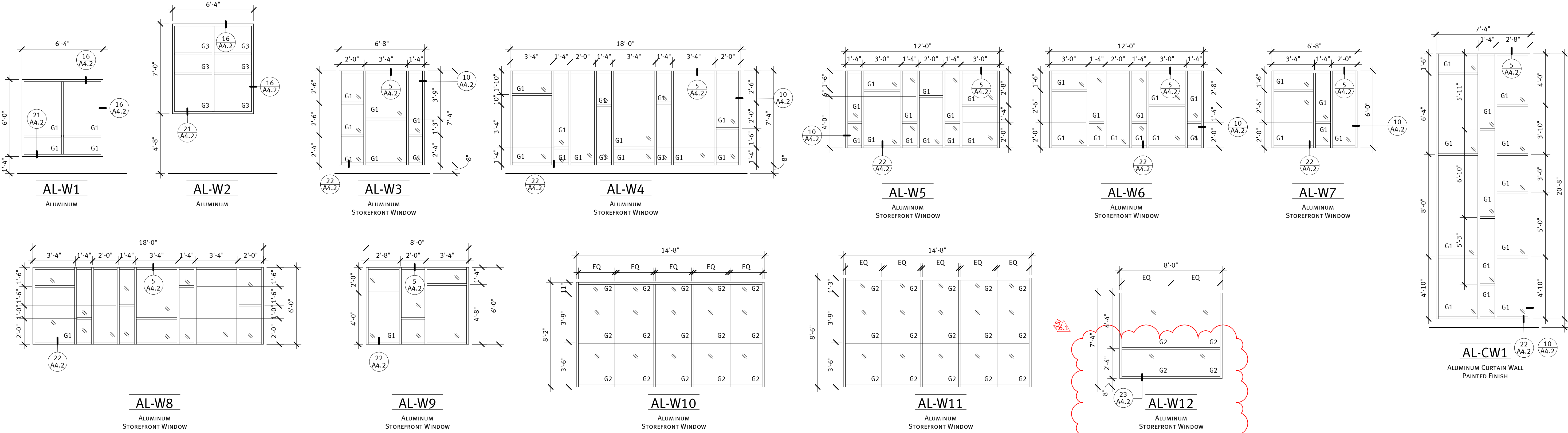


## DOOR AND FRAME SCHEDULE

REV.	NO.	WIDTH	HEIGHT	TYPE	TYPE	DETAIL			FIRE LABEL	HDW. NO.	NOTES
						HEAD	JAMB	SILL			
	100A	11'-8"	7'-0"	AL-D5	--	4/A4.2	9/A4.2	11/A4.2	--	--	
	100B	11'-8"	7'-0"	AL-D5	--	13/A4.2	18/A4.2	--	--	--	
	100C	6'-0"	7'-0"	AL-D1	AL-F6	5/A4.2	10/A4.2	11/A4.2	--	08	
	100D	6'-0"	7'-0"	AL-D1	AL-F7	5/A4.2	10/A4.2	--	--	11	
	110A	3'-0"	7'-0"	AL-D4	AL-F5	5/A4.2	10/A4.2	11/A4.2	--	10	
	110B	6'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	90 MIN	30	
	111A	3'-0"	7'-0"	HM-D1	HM-F2	12/A4.2	17/A4.2	--	--	29	
	111B	10'-0"	7'-4"	OH-D2	--	15/A4.2	20/A4.2	--	90 MIN	--	
	112	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	18	
	113	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
	114	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
	115	3'-8"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	--	
	116	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
	120A	6'-0"	7'-0"	HM-D2	HM-F2	3/A4.2	8/A4.2	--	--	33	
	120B	6'-0"	7'-0"	HM-D3	HM-F2	3/A4.2	8/A4.2	--	90 MIN	32	
	121	3'-6"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	21	
	122	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
	123	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	18	
	124	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
	124A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	15	
	125	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	39	
	125A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	19	
	126	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
	126A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	14	
	127A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
	127B	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	20	
	128	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
	129	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
	130A	6'-0"	7'-0"	HM-D2	HM-F2	3/A4.2	8/A4.2	--	--	17	
	130B	6'-0"	7'-0"	HM-D3	HM-F2	3/A4.2	8/A4.2	--	90 MIN	31	
	131	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
	132	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
	132A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	15	
	132B	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	14	
	133A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	26	
	133B	3'-0"	7'-0"	HM-D2	HM-F2	3/A4.2	8/A4.2	--	--	20	
	134	3'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	14	
	140A	3'-0"	7'-0"	HM-D1	HM-F2	--	--	--	--	27	
	140B	14'-0"	10'-0"	OH-D2	--	14/A4.2	19/A4.2	--	--	--	
	140C	3'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	04	
	140D	10'-0"	12'-0"	OH-D1	--	2/A4.2	7/A4.2	2/A4.2	--	--	
	140E	12'-0"	12'-0"	OH-D2	--	14/A4.2	19/A4.2	--	90 MIN	--	
	141A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	38	
	141B	3'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	05	
	141C	8'-0"	10'-0"	OH-D1	--	2/A4.2	7/A4.2	2/A4.2	--	--	
	142A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	37	
	142B	3'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	09	
	150A	6'-0"	7'-0"	AL-D1	AL-F3	6/A4.2	6/A4.2	--	--	01	
	150B	6'-0"	7'-0"	AL-D1	AL-F3	6/A4.2	6/A4.2	--	--	07	
	150C	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
	150D	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
	150E	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
	150F	6'-0"	7'-0"	HM-D2	HM-F2	1/A4.2	1/A4.2	--	--	35	
	150G	6'-0"	7'-0"	HM-D2	HM-F2	3/A4.2	5/A4.2	--	--	36	
	150H	3'-0"	7'-0"	HM-D2	HM-F2	1/A4.2	1/A4.2	--	--	34	
	151A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
	151B	8'-0"	8'-0"	OH-D2	--	19/A4.2	20/A4.2	--	--	--	
	152A	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
	152B	3'-0"	3'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
	152C	3'-0"	3'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
	152D	3'-0"	3'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
	153	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	22	
	155	6'-0"	7'-0"	AL-D3	AL-F1	6/A4.2	6/A4.2	11/A4.2	--	02	
	210	6'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	90 MIN	30	
	212	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	18	
	214	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	16	
	216	3'-0"	7'-0"	HM-D1	HM-F2	8/A4.2	8/A4.2	--	--	16	
	231A	6'-0"	7'-0"	HM-D1	HM-F2	1/A4.2	1/A4.2	--	--	24	
	231B	3'-0"	7'-0"	AL-D3	AL-F4	6/A4.2	6/A4.2	6/A4.2	--	12	
	231C	2'-6"	8'-0"	ROOF HATCH	--	--	--	--	--	ROOF HATCH	
	250A	6'-0"	7'-0"	AL-D1	AL-F2	6/A4.2	6/A4.2	--	--	06	
	250B	6'-0"	7'-0"	AL-D1	AL-F2	6/A4.2	6/A4.2	--	--	07	
	E100A	6'-6"	7'-0"	EXIST	EXIST	--	--	--	--	03	
	E114	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	28	
	E115	3'-0"	7'-0"	EXIST	EXIST	--	--	--	--	13	
	E115B	3'-0"	7'-0"	HM-D1	HM-F1	4/A4.2	6/A4.2	--	--	25	
	E116	3'-0"	7'-0"	HM-D1	HM-F2	3/A4.2	8/A4.2	--	--	39	
	E205	3'-0"	7'-0"	HM-D1	HM-F2	12/A4.2	17/A4.2	--	--	18	
	E206	3'-0"	7'-0"	HM-D1	HM-F1	12/A4.2	17/A4.2	--	--	18	
	E207	3'-0"	7'-0"	HM-D1	HM-F1	12/A4.2	17/A4.2	--	--	22	
ASI 6.1	E208	3'-0"	7'-0"	HM-D1	EXIST	3/A4.2	8/A4.2	--	--	21	
ASI 6.1	E209	3'-0"	7'-0"	HM-D1	EXIST	3/A4.2	8/A4.2	--	--	21	

## WINDOW TYPES

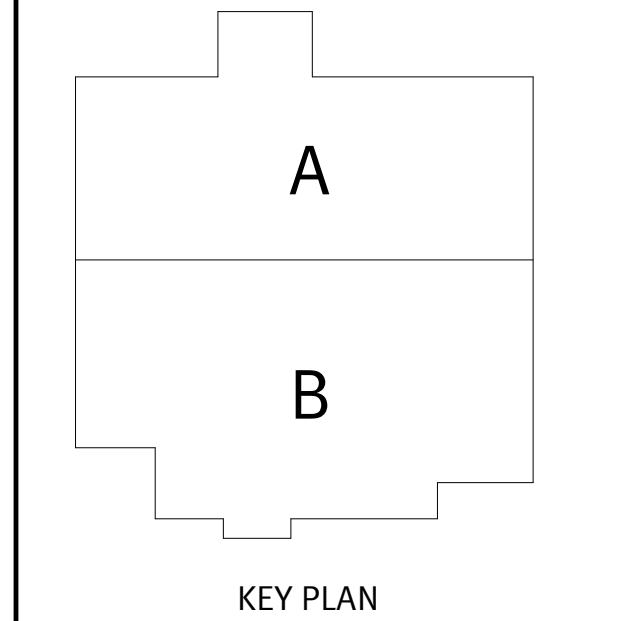
FRAME WIDTH IS 2" UNLESS OTHERWISE DIMENSIONED. FRAME DEPTH TO MATCH WALL THICKNESS PER INDUSTRY STANDARDS UNLESS OTHERWISE NOTED. SEE DETAILS.



## GLAZING TYPES

- G1: 1" INSULATED, TEMPERED GLAZING
- G2: 1/4" TEMPERED, CLEAR GLAZING
- G3: 1" INSULATED GLAZING
- G4: 1/4" CLEAR GLAZING
- G5: FIRE-RATED SAFETY GLAZING
- G6: 1" INSULATED, TEMPERED, SPANDREL GLAZING
- G7: 1" INSULATED, SPANDREL GLAZING
- G8: 1/2" TEMPERED, LAMINATED GLAZING
- G9: SOLID PANEL
- G10: 1" INSULATED, TEMPERED SILKSCREEN GLAZING

revision / issue	no.	date
BP#2 ADD	2	2024/07/09
BP#2 ADD	3	2024/07/15
ASI	3.3	2024/09/26
ASI	4	2024/09/30
ASI	6	2024/10/02
ASI	12	2024/11/11
ASI	6.1	2025/01/06



## OPENING SCHEDULES & TYPES

sheet title:  
sheet number:

A4.1



## NORTHSTAR FORD ARENA

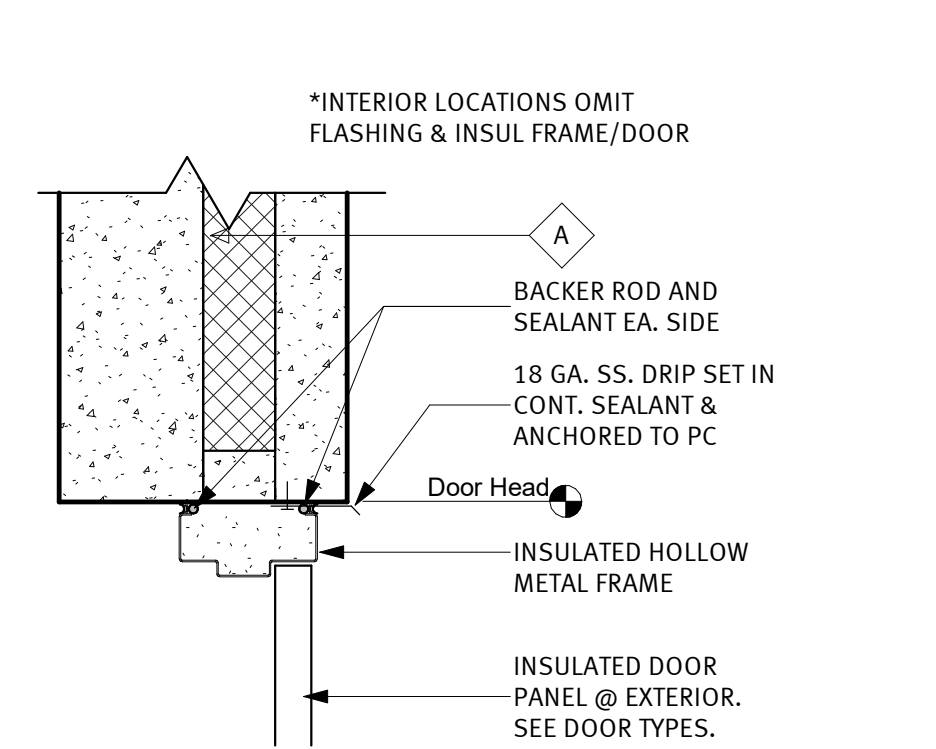
4309 Ugstad Rd  
HERMANTOWN, MN 55811

project #: 022058.00  
date: 1/7/2025 2:22:08 PM  
drawn by: EVC, JMG, AR  
checked by: EWL, JEE

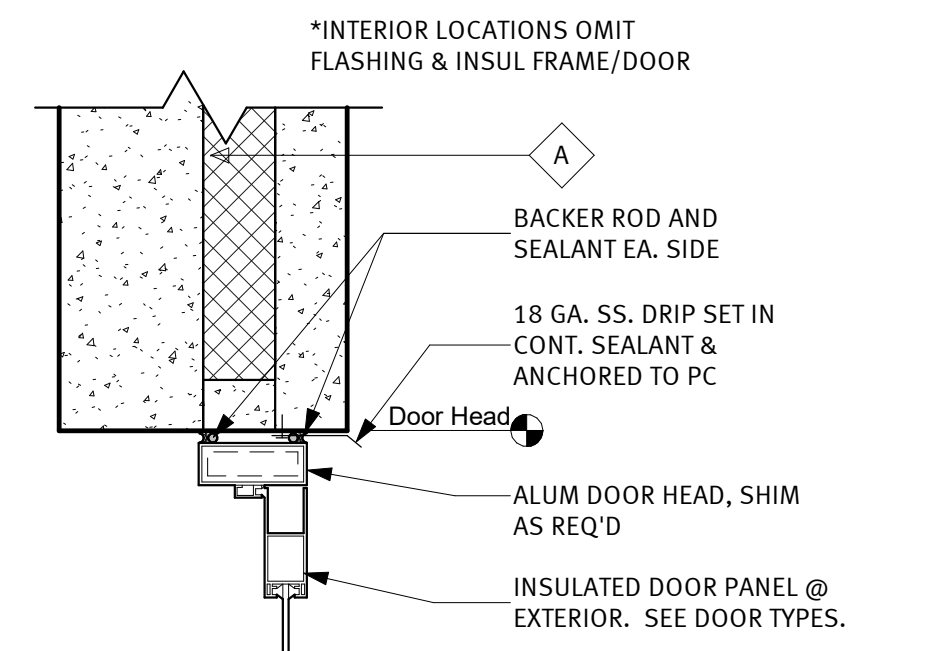
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

signature: John E. Erickson  
printed name: JOHN E. ERICKSON, NCARB, LEED AP  
reg. #: 24199  
sign date: 06/14/2024

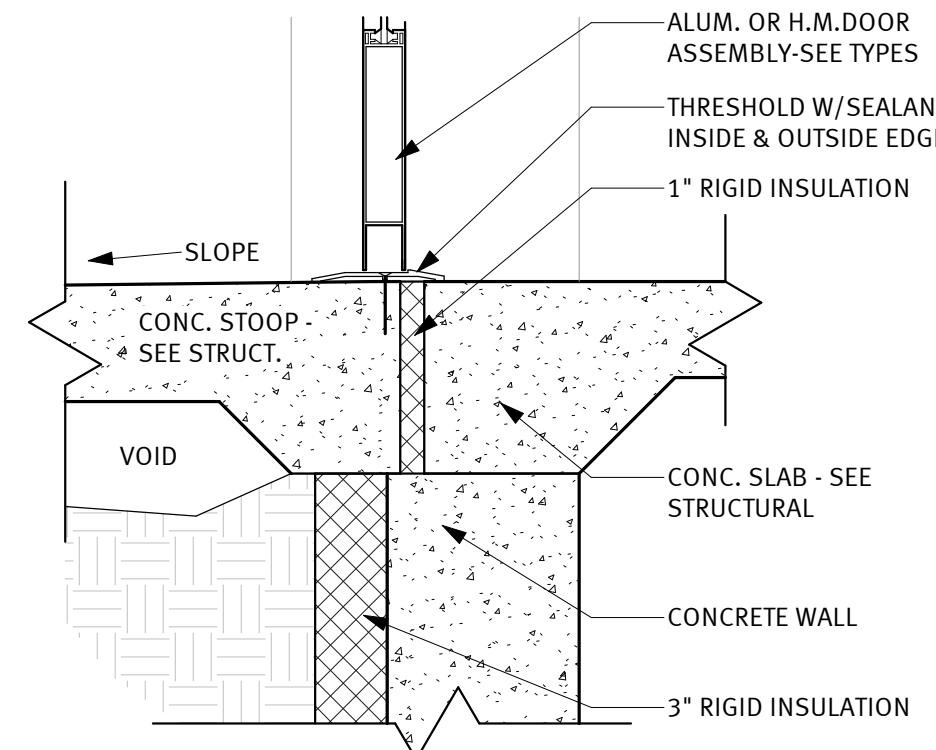




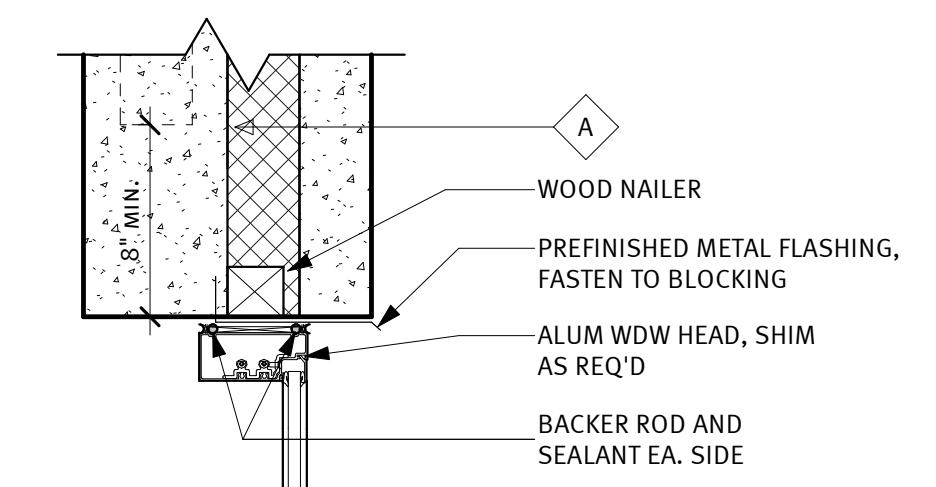
1 HM Door Head @ Precast - Jamb Sim.  
1 1/2" = 1'-0"



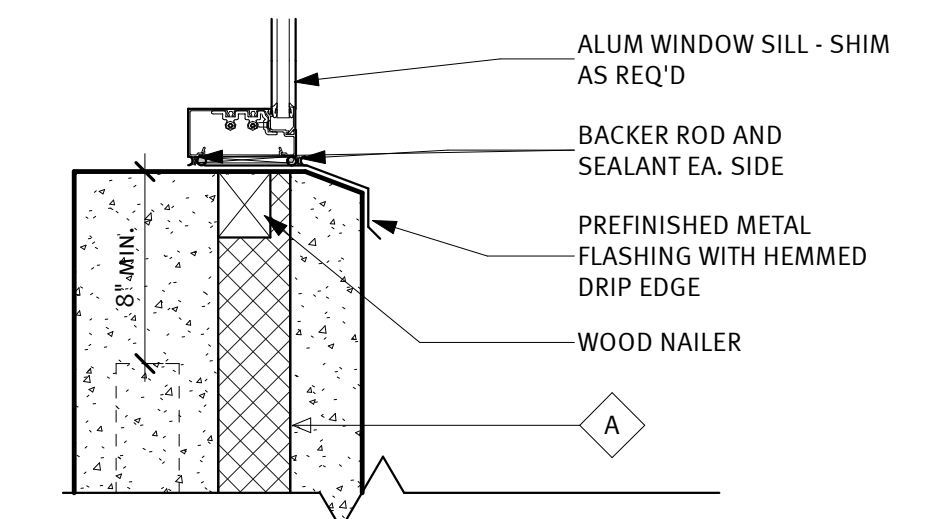
6 Alum Door Head @ Precast - Jamb Sim.  
1 1/2" = 1'-0"



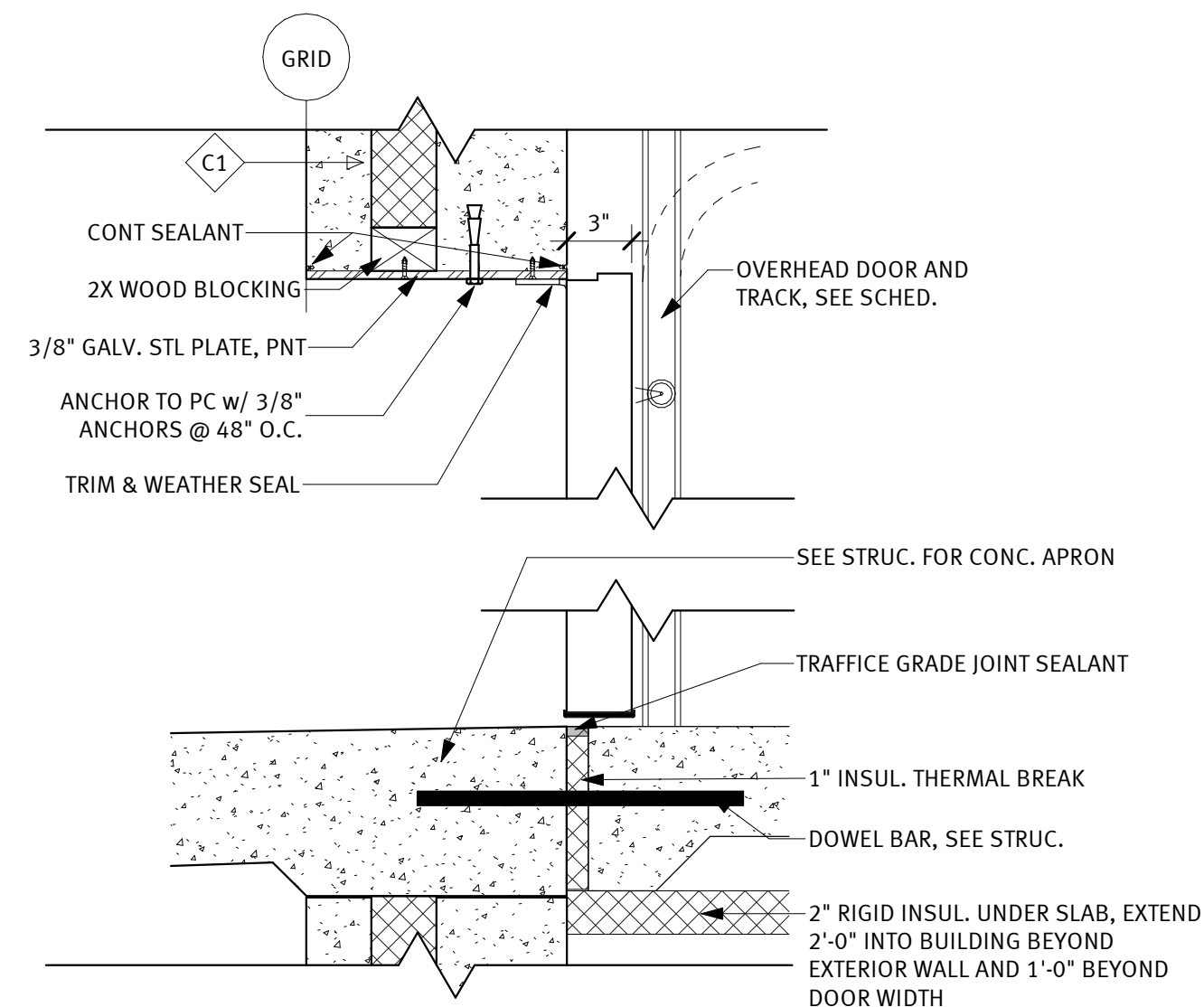
11 Typical Door Threshold  
1 1/2" = 1'-0"



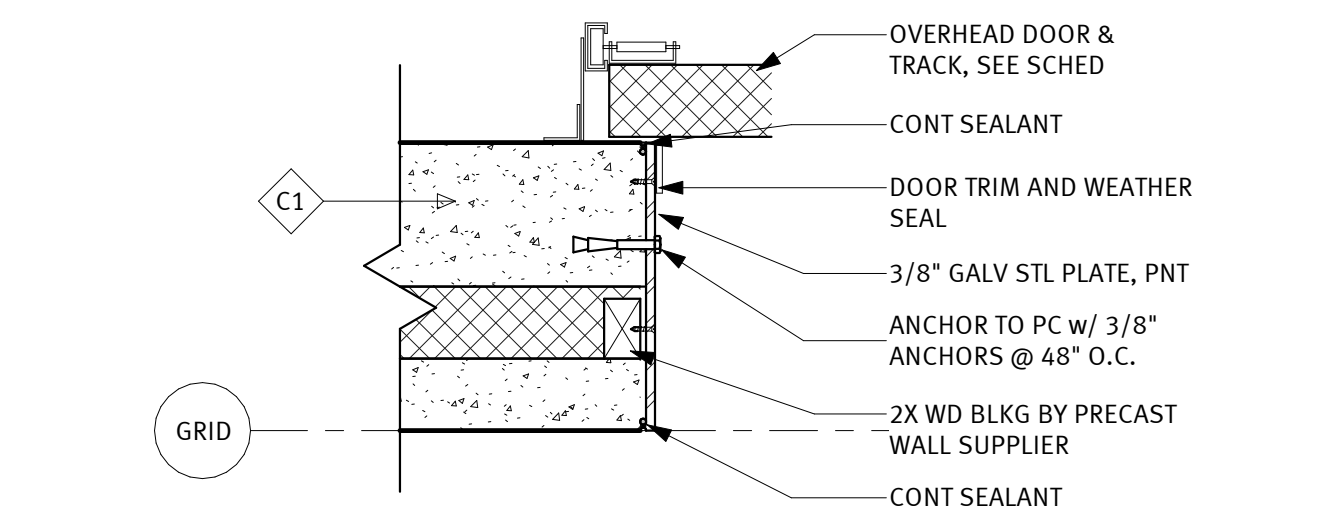
16 Alum Wdw Head @ Precast - Jamb Sim.  
1 1/2" = 1'-0"



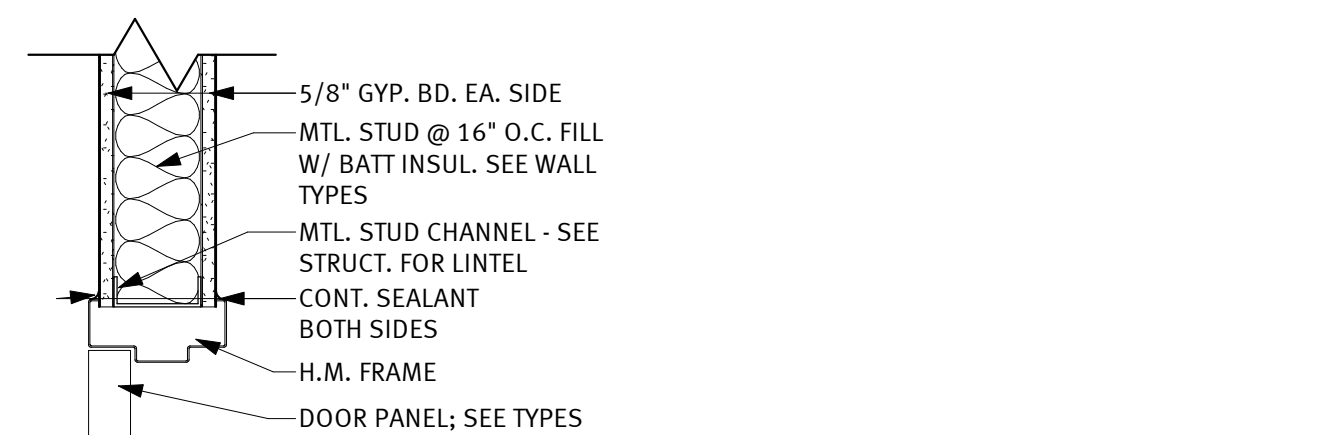
21 Alum Wdw Sill @ Precast  
1 1/2" = 1'-0"



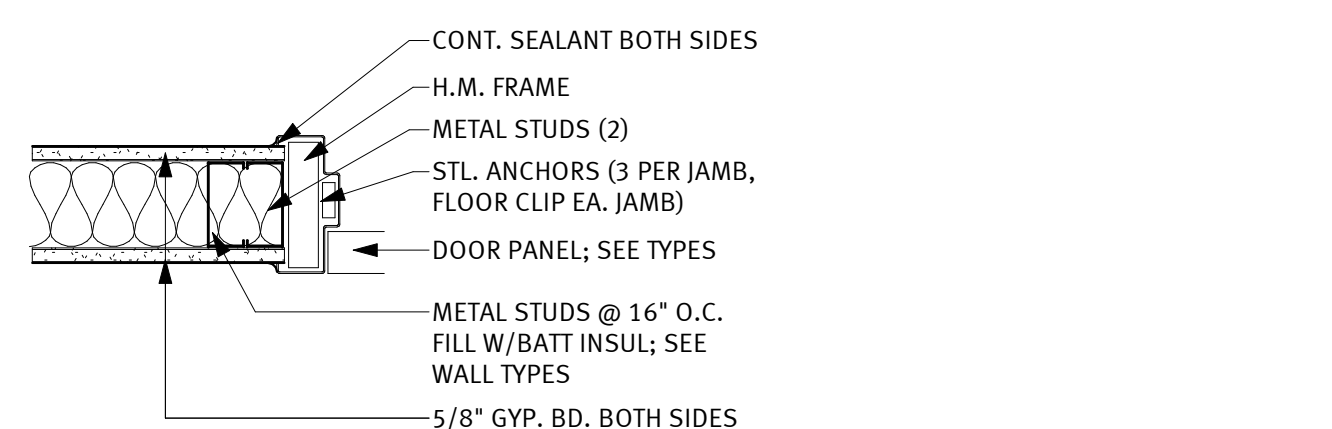
2 OH Door Head & Sill @ Precast  
1 1/2" = 1'-0"



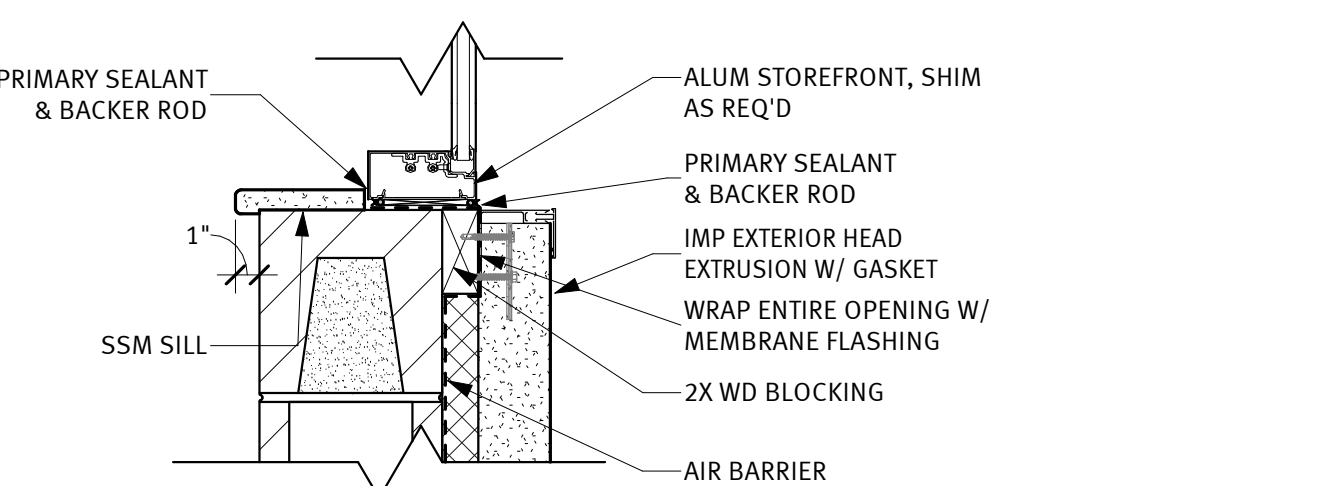
7 OH Door Jamb @ Precast  
1 1/2" = 1'-0"



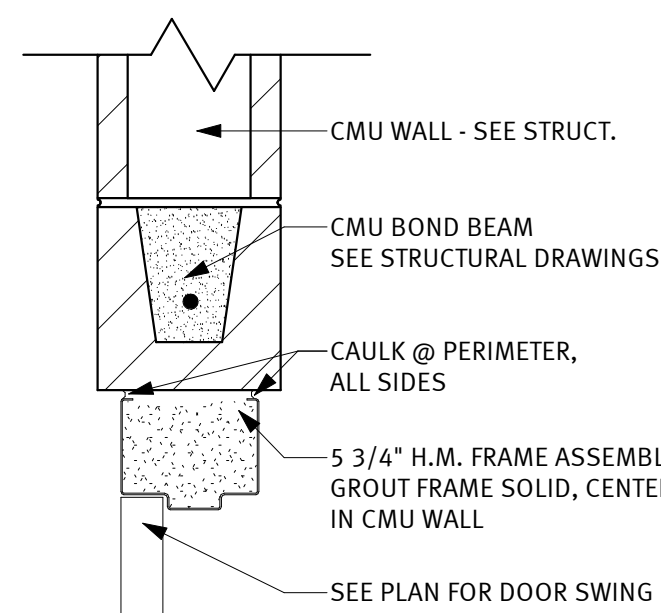
12 HM Door Head @ Metal Stud Wall  
1 1/2" = 1'-0"



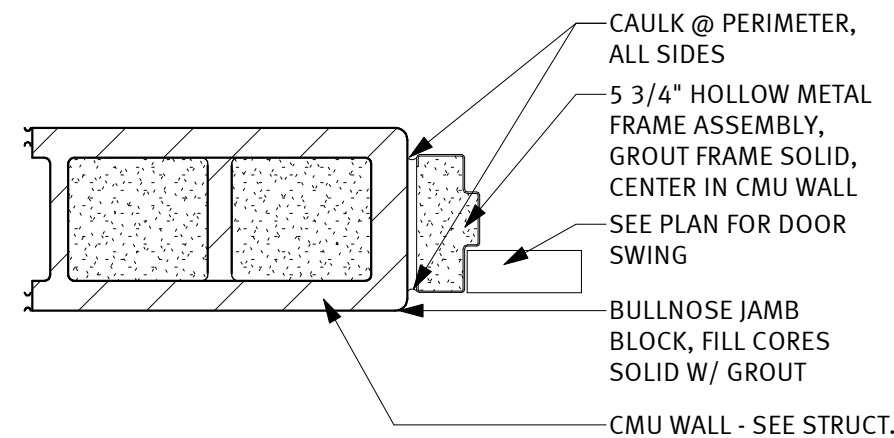
17 HM Door Jamb @ Metal Stud Wall  
1 1/2" = 1'-0"



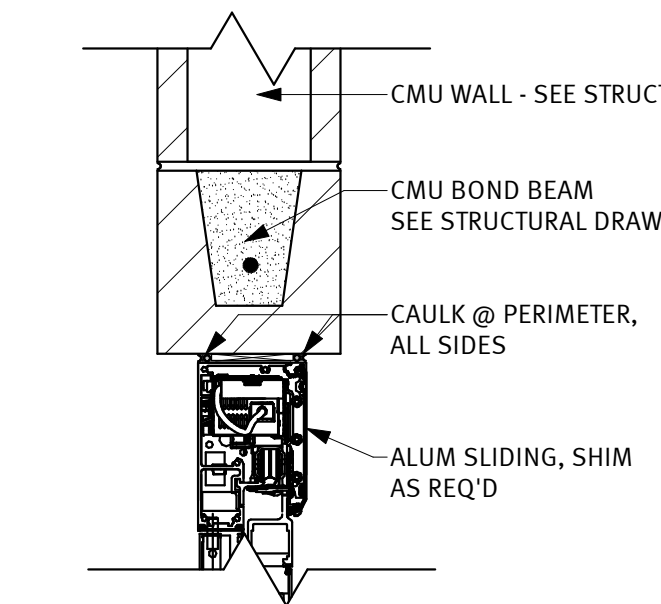
22 Alum Window Sill @ CMU Exterior Wall  
1 1/2" = 1'-0"



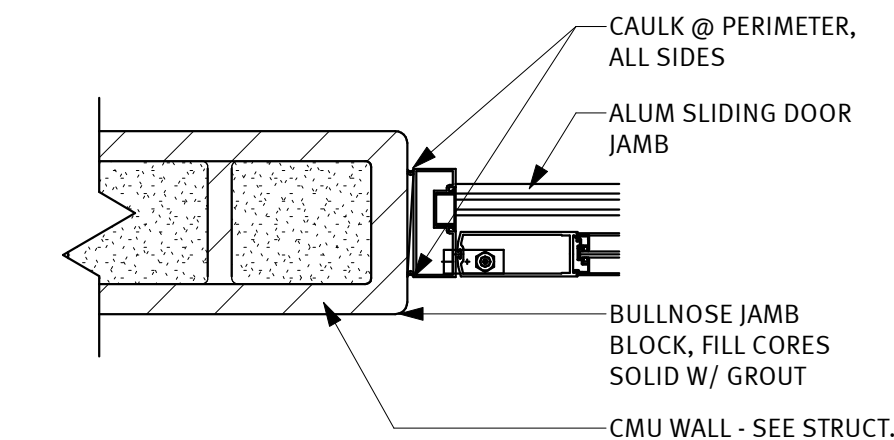
3 HM Door Head @ CMU Wall  
1 1/2" = 1'-0"



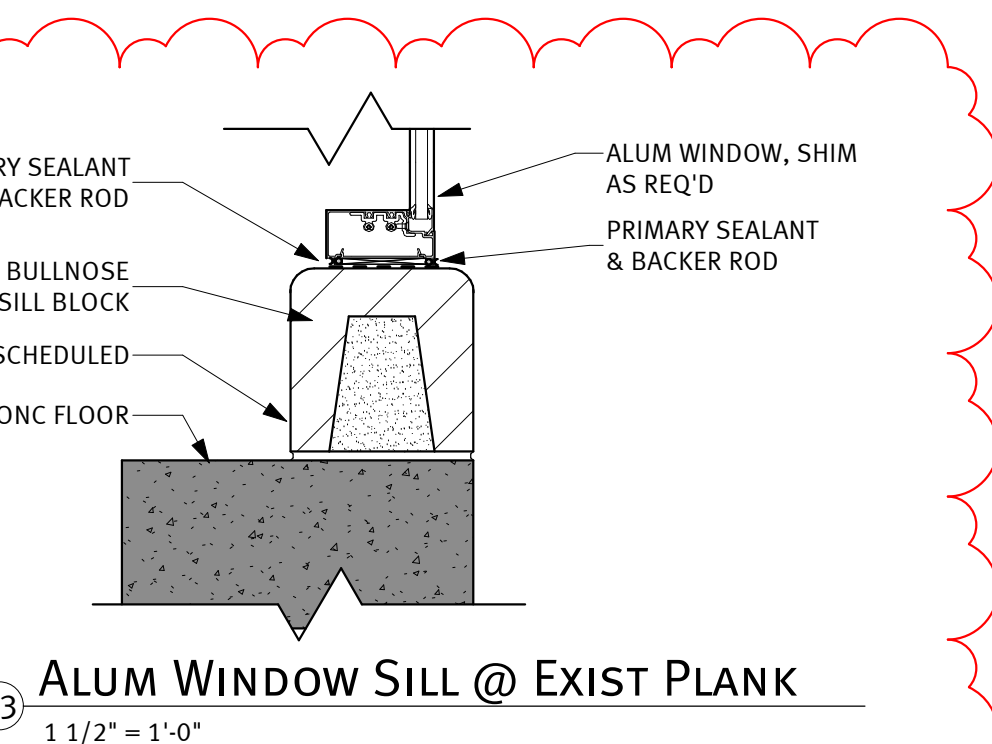
8 HM Door Jamb @ CMU Wall - Alum Sim.  
1 1/2" = 1'-0"



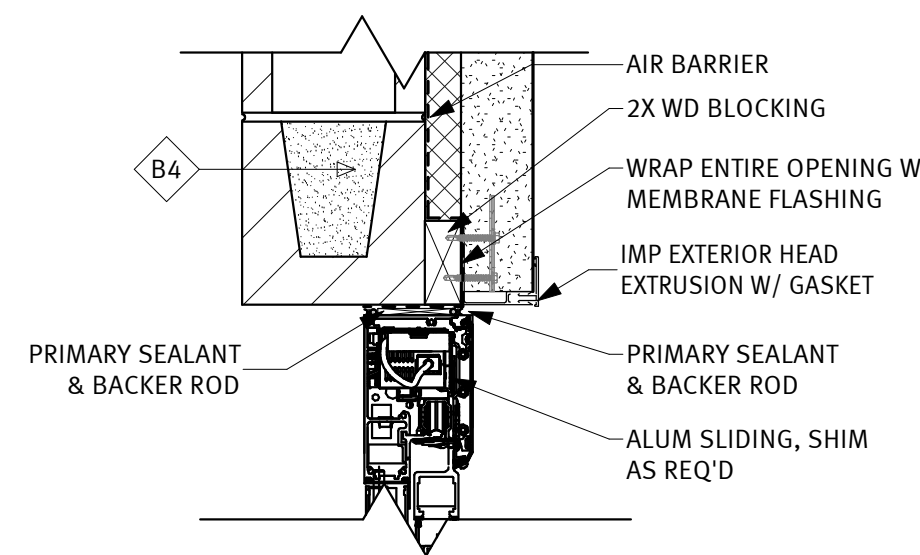
13 Alum Sliding Door Head @ CMU Wall  
1 1/2" = 1'-0"



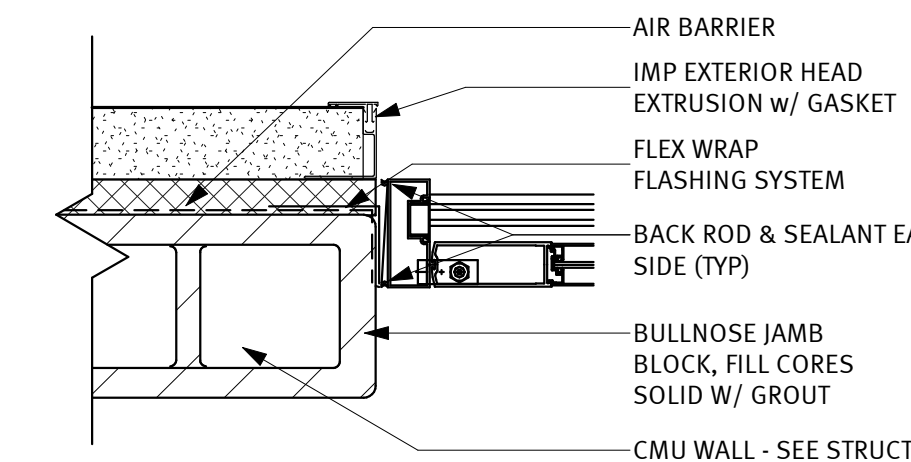
18 Alum Sliding Door Jamb @ CMU Wall  
1 1/2" = 1'-0"



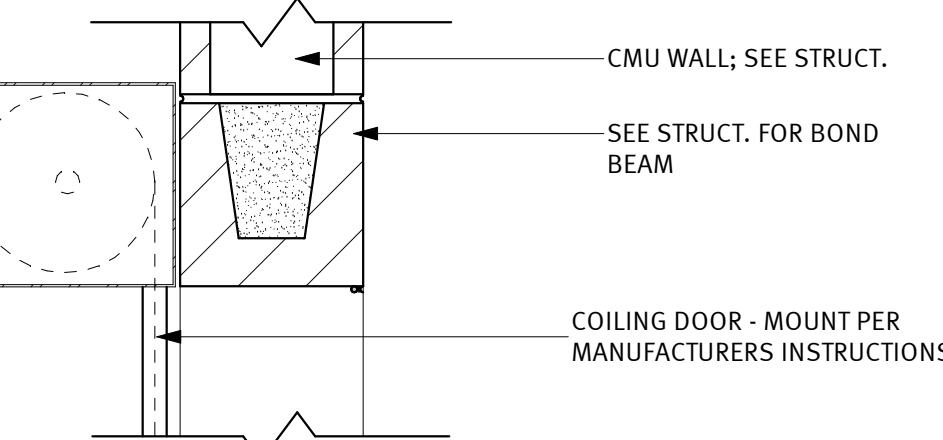
23 Alum Window Sill @ Exist Plank  
1 1/2" = 1'-0"



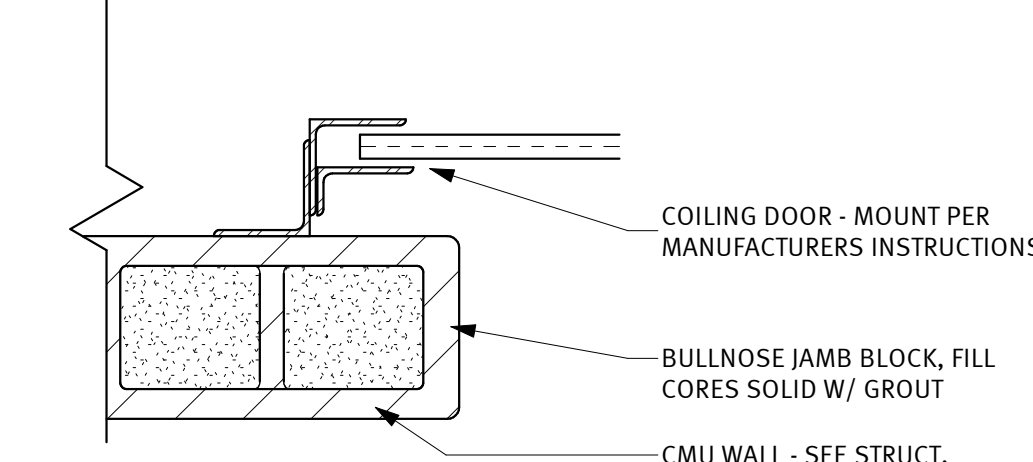
4 Alum Sliding Door Head @ CMU Exterior Wall  
1 1/2" = 1'-0"



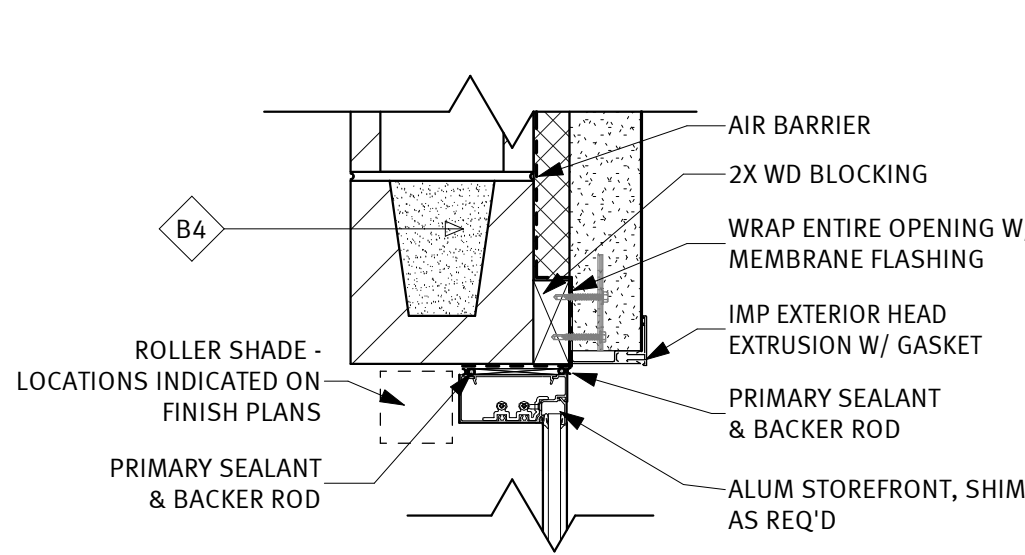
9 Alum Sliding Door Jamb @ CMU Exterior Wall  
1 1/2" = 1'-0"



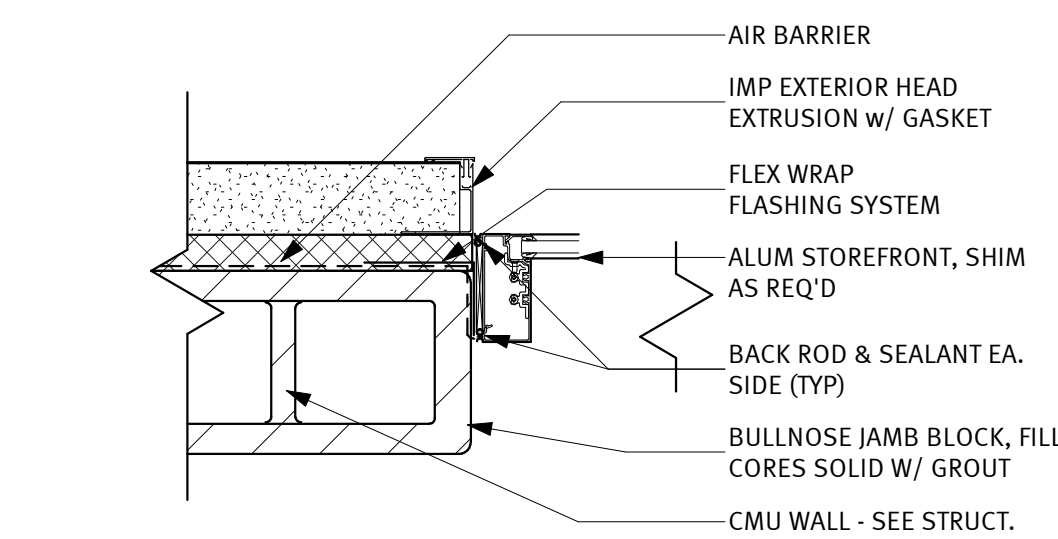
14 Coiling Door Head @ CMU  
1 1/2" = 1'-0"



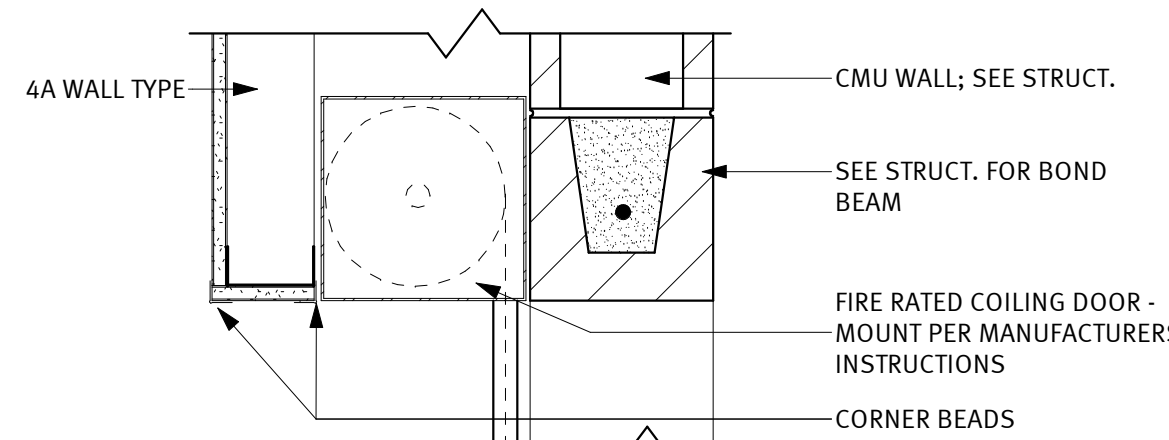
19 Coiling Door Jamb @ CMU  
1 1/2" = 1'-0"



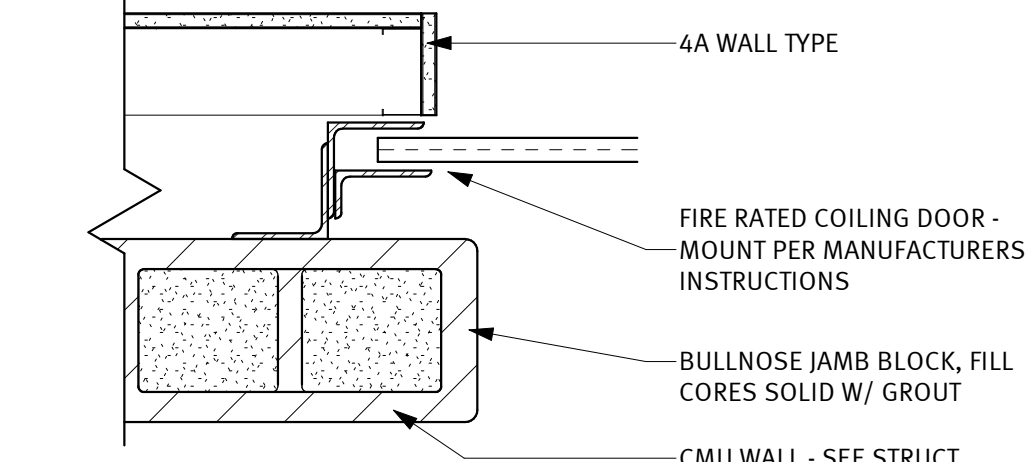
5 Alum Storefront Head @ 8" CMU Exterior Wall  
1 1/2" = 1'-0"



10 Alum Storefront Jamb @ CMU Exterior Wall  
1 1/2" = 1'-0"



15 Coiling Door Head @ CMU w/ Soffit  
1 1/2" = 1'-0"



20 Coiling Door Jamb @ CMU Wall w/ Furring  
1 1/2" = 1'-0"

## NORTHSTAR FORD ARENA

4309 Ugstad Rd  
HERMANTOWN, MN 55811

project #: 022058.00  
date: 1/7/2025 2:22:08 PM  
drawn by: EVC, JMG, AR  
checked by: EWL, JEE

I hereby certify that this plan,  
specification, or report was  
prepared by me or under my direct  
supervision and that I am a duly  
Licensed Architect under the laws  
of the state of Minnesota.

signature: *John E. Erickson*  
printed name: JOHN E. ERICKSON, NCARB, LEED AP  
reg. #: 24199  
sign date: 06/14/2024

revision / issue	no.	date
BP#2 ADD	3	2024/07/15
ASI	4	2024/09/30
ASI	6.1	2025/01/06



ROOM FINISH SCHEDULE												
REV.	NO.	NAME	FLOOR		WALL FINISH					CEILING		NOTES
			FINISH	BASE	NORTH	EAST	SOUTH	WEST	MAT'L	FINISH		
	100	VESTIBULE	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1		
	110	LOBBY	SEALED CONCRETE	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1/PNT-1A	ACP-1/AB-1A/AB-1B	PNT-6 FOR EXPOSED AREAS	
	111	CONCESSIONS	RF-5	RB-1	PNT-1	PNT-1	FRP/PNT-1	PNT-1	PNT-1	SACT-2	--	
	112	TOILET	CT-1	CT-1 CB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	
	113	MEN	CT-1	CT-1 CB	PNT-1	PNT-1	CT-1	PNT-1	PNT-1	SACT-1	--	
	114	MEN	CT-1	CT-1 CB/MTLT-1	PNT-1	CT-2A/CT-2B/CT-2D	PNT-1	PNT-1	PNT-1	SACT-1	--	
	115	MECHANICAL	SEALED CONCRETE							EXPOSED	--	
	116	WOMEN	CT-1	CT-1 CB/MTLT-1	PNT-1	CT-2A/CT-2B/CT-2D	PNT-1	PNT-1	PNT-1	SACT-1	--	
	120	HALLWAY	RF-1/RF-4	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	
	121	EMT / TRAINING	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	
	122	TEAM	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	Locker Room A
	123	TOILET	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	
	124	TEAM	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	Locker Room B
ASI 3.1	124A	SHOWER	CT-3	CT-1 CB	CT-1/CT-2B	PNT-1	CT-1/CT-2B	CT-1/CT-2B	GYP. BD.	DAFS		
ASI 3.1	124B	SINKS	RF-1	RB-1	PNT-1	CT-1/CT-2B	PNT-1	PNT-1	PNT-1	SACT-1	--	
ASI 3.1	124C	TOILET	RF-1	RB-1	PNT-1	CT-1/CT-2B	PNT-1	PNT-1	PNT-1	SACT-1	--	
	125	REF	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	
	125A	REF TOILET/SHOWER	RF-1/CT-3	RB-1/CT-1 CB	PNT-1/CT-1	PNT-1	PNT-1	PNT-1	GYP. BD.	DAFS		
	126	TEAM	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	Locker Room C
	127	COACH	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-3A	--	
	128	TEAM	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	Locker Room D
ADD 2	129	GIRLS VARSITY LOCKER	RF-1/RF-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-3A/SACT-3B	--	
ASI 3.1	129A	GIRLS VARSITY TOILET	RF-1	RB-1	PNT-1	CT-1/CT-2B	PNT-1	PNT-1	PNT-1	GYP. BD.	PNT-4	
ASI 3.1	129B	GIRLS VARSITY SHOWER	CT-1/CT-3	CT-1 CB	CT-1/CT-2B	CT-1/CT-2B/PNT-1	CT-1/CT-2B/PNT-1	CT-1/CT-2B/PNT-1	GYP. BD.	DAFS		
ADD 2	130	HALLWAY	RF-1/RF-2/RF-4	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	
ADD 2	131	BOYS VARSITY LOCKER	RF-1/RF-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-3A/SACT-3B	--	
ASI 3.1	131A	BOYS VARSITY TOILET	RF-1	RB-1	PNT-1	CT-1/CT-2B	PNT-1	PNT-1	PNT-1	GYP. BD.	PNT-4	
ASI 3.1	131B	BOYS VARSITY SHOWERS	CT-1/CT-3	CT-1 CB	CT-1/CT-2B	CT-1/CT-2B/PNT-1	CT-1/CT-2B	CT-1/CT-2B/PNT-1	GYP. BD.	DAFS		
ADD 2	132	TEAM	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	Locker Room E
	133	COACH	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-3A	--	
	134	TEAM	RF-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	Locker Room F
	140	RESURFACER	SEALED CONCRETE	--	--	--	--	--	--	EXPOSED	--	
	141	ICE PLANT	SEALED CONCRETE	--	--	--	--	--	--	EXPOSED	--	
	142	ELECTRICAL	SEALED CONCRETE	--	--	--	--	--	--	EXPOSED	--	
ASI 3.1	143	TOILETS	RF-1	RB-1	CT-1/CT-2B	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	
ASI 3.1	143A	SINKS	RF-1	RB-1	PNT-1	CT-1/CT-2B	PNT-1	PNT-1	PNT-1	SACT-1	--	
ASI 3.1	144	SHOWERS	CT-1/CT-3	CT-1 CB	CT-1/CT-2B	PNT-1	CT-1/CT-2B	CT-1/CT-2B	GYP. BD.	DAFS		
	150	RINK LEVEL - NON ICE	SEALED CONCRETE/RF-1	--	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	
	151	STORAGE	SEALED CONCRETE	--	--	--	--	--	--	EXPOSED	--	
	152	UNDER STADIA STORAGE	SEALED CONCRETE	--	--	--	--	--	--	EXPOSED	--	
	153	UTILITY	SEALED CONCRETE	--	--	--	--	--	--	EXPOSED	--	
	155	EXIT STAIR	SEALED CONCRETE	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	
	160	RINK LEVEL - ICE	SEALED CONCRETE	ICE MANUF.	ICE MANUF.	ICE MANUF.	ICE MANUF.	ICE MANUF.	ICE MANUF.	CT-1	SACT-1	--
	205	RESTROOM	CT-1	CT-1 CB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	EXISTING ROOM
	206	MOTHER'S ROOM	CT-1	CT-1 CB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	EXISTING ROOM
	210	SECOND FLOOR LOBBY	SEALED CONCRETE	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1/PNT-1A	ACP-1/SACT-1/GYP. BD.	PNT-6 FOR EXPOSED AREAS	
	212	TOILET	CT-1	CT-1 CB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	SACT-1	--	
	214	MEN	CT-1	CT-1 CB/MTLT-1	PNT-1	CT-2A/CT-2C/CT-2E	PNT-1	PNT-1	PNT-1	SACT-1	--	
	216	WOMEN	CT-1	CT-1 CB/MTLT-1	PNT-1	CT-2A/CT-2C/CT-2E	PNT-1	PNT-1	PNT-1	SACT-1	--	
ASI 4	220	VIEW RAIL EAST	EPOXY	RB-1	PNT-1	PNT-1/PNT-4	PNT-1	--	--	EXPOSED	PNT-6	
ASI 4	230	VIEW RAIL NORTH	EPOXY	RB-1	PNT-1	PNT-1	--	--	--	EXPOSED	PNT-6	
	231	MECHANICAL	SEALED CONCRETE	--	--	--	--	--	--	EXPOSED	--	
ASI 4	240	WALKING TRACK	EPOXY	RB-1	PNT-1	--	--	--	PNT-1/PNT-3	EXPOSED	PNT-6	
ASI 4	250	VIEW RAIL SOUTH	EPOXY	RB-1	PNT-1	--	--	--	PNT-1	EXPOSED	PNT-6	
ASI 6.1	E208	MEDIA	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	
ASI 6.1	E209	BOARD	CPT-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	EXPOSED	PNT-6	

INTERIOR MATERIAL & COLOR SCHEDULE										
REV.	SPEC NO.	CODE	DESCRIPTION	MANUFACTURER	PRODUCT_MODEL	COLOR_FINISH	SIZE	NOTES	CONTACT	
	06 41 00	PLAM-1	PLASTIC LAMINATE	WILSONART	STANDARD LAMINATE	HARVEST MAPLE		CASEWORK	LYNETTE STENDE; PHONE: 612-500-6020; LYNETTE.STENDE@WILSONART.COM	
	06 41 00	SSM-1	SOLID SURFACE COUNTERTOP	CORIAN	CORIAN SOLID SURFACE	LAGUNA TERRAZZO		ARENA DRINK RAIL	KIM BROSE; PHONE: 612-362-4522; KIM@HLLMARK.COM	
	06 41 00	SSM-2	SOLID SURFACE COUNTERTOP	WILSONART	WILSONART SOLID SURFACE	YUKON RIVERSTONE		CONCESSIONS COUNTER + WINDOWSILLS	LYNETTE STENDE; PHONE: 612-500-6020; LYNETTE.STENDE@WILSONART.COM	
	06 41 00	SSM-3	SOLID SURFACE	CORIAN	CORIAN SOLID SURFACE	WHISPER		LOBBY BENCH	KIM BROSE; PHONE: 612-362-4522; KIM@HLLMARK.COM	
	06 41 00	SSM-4	SOLID SURFACE	TBD		TBD		FRONT OF CONCESSIONS		
	06 41 00	WD-1	SOLID WOOD		DOUGLAS FIR			LOBBY BENCH SEAT AND BACK, DONOR WALL		
	06 82 00	FRP-1	FIBERGLASS REINFORCED PANELING	MARLITE	STANDARD FRP	SMOOTH WHITE	48" x 120"	CONCESSIONS		
	09 30 00	CT-1	PORCELAIN TILE	IRIS US	ECOCRETE	MELTED ICE	12" x 24"	PRIMARY TILE	KRISTA GARDNER; PHONE: 612-801-0683; KRISTA@CERAMICTILEWORKSMN.COM	
	09 30 00	CT-1 CB	TILE COVE BASE	IRIS US	ECOCRETE	MELTED ICE	6" x 12"	PRIMARY TILE BASE	KRISTA GARDNER; PHONE: 612-801-0683; KRISTA@CERAMICTILEWORKSMN.COM	
	09 30 00	CT-2A	CERAMIC WALL TILE	PORTOBELLO AMERICA	TERRALMA	NORONHA	3" x 14"	LOBBY PUBLIC RESTROOMS	KRISTA GARDNER; PHONE: 612-801-0683; KRISTA@CERAMICTILEWORKSMN.COM	
	09 30 00	CT-2B	CERAMIC WALL TILE	PORTOBELLO AMERICA	TERRALMA	BORA BORA	3" x 14"	LOBBY PUBLIC RESTROOMS- LEVEL 1 ACCENT	KRISTA GARDNER; PHONE: 612-801-0683; KRISTA@CERAMICTILEWORKSMN.COM	
	09 30 00	CT-2C	CERAMIC WALL TILE	PORTOBELLO AMERICA	TERRALMA	SERIDO	3" x 14"	LOBBY PUBLIC RESTROOMS- LEVEL 2 ACCENT	KRISTA GARDNER; PHONE: 612-801-0683; KRISTA@CERAMICTILEWORKSMN.COM	
	09 30 00	CT-2D	CERAMIC WALL TILE	PORTOBELLO AMERICA	TERRALMA - TRIM ACCENT PIECE	BORA BORA	3/5" x 14"	LOBBY PUBLIC RESTROOMS- LEVEL 1 ACCENT	KRISTA GARDNER; PHONE: 612-801-0683; KRISTA@CERAMICTILEWORKSMN.COM	
	09 30 00	CT-2E	CERAMIC WALL TILE	PORTOBELLO AMERICA	TERRALMA - TRIM ACCENT PIECE	SERIDO	3/5" x 14"	LOBBY PUBLIC RESTROOMS- LOBBY 2 ACCENT	KRISTA GARDNER; PHONE: 612-801-0683; KRISTA@CERAMICTILEWORKSMN.COM	
	09 30 00	CT-3	MOSAIC TILE	DALTILE	KEYSTONES LINE EXTENSION - CRISS CROSS MOSAIC	URBAN PUTTY D161	2"x 2"	LOCKER ROOM SHOWER FLOOR	JULIE JOOS; PHONE: 763-656-6324; JULIE.JOOS@DALITILE.COM	
	09 30 00	MTLT-1	METAL TRIM	SCHLUTER	DILEX-AHK COVE-SHAPED PROFILE	ANODIZED ALUMINUM		FLOOR TILE TO WALL TILE COVE BASE	DEREK BOOMER; PHONE: 612-719-3409; DBOOMER@SCHLUTER.COM	
	09 30 00	MTLT-2	METAL TRIM	SCHLUTER	RONDEC ROUNDED CORNER EDGE-PROTECTION	ANODIZED ALUMINUM		OUTSIDE CORNERS OF TILED WALLS	DEREK BOOMER; PHONE: 612-719-3409; DBOOMER@SCHLUTER.COM	
ADD 2	09 30 00	MTLT-3	METAL TRIM	TBD	DECORATIVE EDGE-PROTECTION; PROFILE TBD	ANODIZED ALUMINUM		DONOR WALL AT WOOD CORNERS		
	09 51 00	AB-1A	ACOUSTIC BAFFLE	ARMSTRONG	SOUNDSCAPES BLADES; ITEM#: 8250F03RH08	LIGHT GREY	16" x 94" x 2"	DIRECT-ATTACH WITH AXIOM WALL MOLDING	BETH SCHELDUP; PHONE: 612-968-0613; EMSCHELDUP@ARMSTRONGCEILINGS.COM	
	09 51 00	AB-1B	ACOUSTIC BAFFLE	ARMSTRONG	SOUNDSCAPES BLADES; ITEM#: 8250F03RH07	LIGHT GREY	16" x 46" x 2"	DIRECT-ATTACH WITH AXIOM WALL MOLDING	BETH SCHELDUP; PHONE: 612-968-0613; EMSCHELDUP@ARMSTRONGCEILINGS.COM	
	09 51 00	ACP-1	ACOUSTIC CEILING PANEL - TECTUM	ARMSTRONG	TECTUM DIRECT-ATTACH CEILING PANELS; ITEM#: 8180T10	WHITE	SEE RCP	DIRECT-ATTACH MOUNTING 'A'	BETH SCHELDUP; PHONE: 612-968-0613; EMSCHELDUP@ARMSTRONGCEILINGS.COM	
	09 51 00	SACT-1	SUSPENDED ACOUSTIC CEILING TILE	USG	MARS ACOUSTICAL PANEL; EDGE: FINELINE BEVEL; ITEM #: 86085	WHITE	24" x 24" 3/4"	GRID PROFILE: USG FINELINE DXF	JASON NEMITZ; PHONE: 651-302-2181; JNEMITZ@USG.COM	
	09 51 00	SACT-2	SUSPENDED ACOUSTIC CEILING TILE - WASHABLE	USG	KITCHEN LAY-IN PANEL 3210	WHITE	24" x 24" x 5/8"	GRID PROFILE: USG DX	JASON NEMITZ; PHONE: 651-302-2181; JNEMITZ@USG.COM	
	09 51 00	SACT-3A	SUSPENDED ACOUSTIC CEILING TILE - TECTUM	ARMSTRONG	TECTUM HIGH NRC SQUARE LAY-IN; ITEM#: 5340W2L02T10	WHITE	24" x 24" x 1"	PRELUDE XL SUSPENSION SYSTEM 1"	BETH SCHELDUP; PHONE: 612-968-0613; EMSCHELDUP@ARMSTRONGCEILINGS.COM	
	09 51 00	SACT-3B	SUSPENDED ACOUSTIC CEILING TILE - TECTUM	ARMSTRONG	TECTUM HIGH NRC SQUARE LAY-IN; ITEM#: 5340W2L02T10	TWILIGHT	24" x 24" x 1"	PRELUDE XL SUSPENSION SYSTEM 1"	BETH SCHELDUP; PHONE: 612-968-0613; EMSCHELDUP@ARMSTRONGCEILINGS.COM	
ASI 11	09 51 00	SACT-3C	SUSPENDED ACOUSTIC CEILING TILE - TECTUM	ARMSTRONG	TECTUM HIGH NRC SQUARE LAY-IN; ITEM#: 5340W2L02T10	IVY	24" x 24" x 1"	PRELUDE XL SUSPENSION SYSTEM 1"	BETH SCHELDUP; PHONE: 612-968-0613; EMSCHELDUP@ARMSTRONGCEILINGS.COM	
	09 65 00	RB-1	RESILIENT WALL BASE	TARKETT	RUBBER WALL COVE BASE	TBD	-	SEE ELEVATIONS FOR HEIGHT	CLIFF GUSTAFSON; PHONE: 952-451-8405; CLIFF.GUSTAFSON@TARKETT.COM	
ADD 2	09 65 00	RF-3	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	BRANDON HAGEN; PHONE: 763-238-3772; BHAGEN@SPARTANSURFACES.COM	
	09 65 00	RF-5	RESILIENT FLOORING - VINYL	ECO-GRIP	ECO-GRIP SLIP RESISTENT INDUSTRIAL VINYL; 6.5MM	CHARCOAL	8' x 5'	CONCESSIONS	COURTNEY SPICER; PHONE: 612-382-1245; COURTNEY@KIEFERUSA.COM	
ADD 3	09 65 66	RF-1	RESILIENT FLOORING - ROLL	MONDO	MONDO SPORT IMPACT; 10MM THICKNESS	BLACK 008	6'-1" x 29'-6"	PRIMARY FLOORING IN LOCKER ROOM AREAS	COURTNEY SPICER; PHONE: 612-382-1245; COURTNEY@KIEFERUSA.COM	
ADD 3	09 65 66	RF-2	RESILIENT FLOORING - TILE	MONDO	MONDO SPORT IMPACT; 10MM THICKNESS	DARK BLUE 073	3' x 3'	ACCENT IN VARSITY LOCKER ROOMS	COURTNEY SPICER; PHONE: 612-382-1245; COURTNEY@KIEFERUSA.COM	
ADD 3	09 65 66	RF-4	RESILIENT FLOORING - TILE	MONDO	MONDO SPORT IMPACT; 10MM THICKNESS	MEDIUM GREY 011	3' x 3'	ACCENT IN TEAMS LOCKER ROOM	COURTNEY SPICER; PHONE: 612-382-1245; COURTNEY@KIEFERUSA.COM	
	09 68 13	CPT-1	CARPET TILE - WALK OFF CARPET	-J  FLOORING	INCOGNITO MODULAR WALK-OFF CARPET	1837 OPERATIVE	24" x 24"	VESTIBULE	TONY HILL; PHONE: 763-614-8896; TONY.HILL@JFLOORING.COM	
ASI 6.1	09 68 13	CPT-2	CARPET TILE	-J  FLOORING	COMPOSITION 7507	TBD	24" x 24"	E208, E209	TONY HILL; PHONE: 763-614-8896; TONY.HILL@JFLOORING.COM	
ADD 2	09 84 00	AWP-1	ACOUSTIC WALL PANEL	MDC	ZINTRA ETCH WALLS - CRAZE	TBD	48" X 108" X 0.5"	ABOVE LOBBY BENCH	JOANNE MROSAK; PHONE: 763-218-7207; JMROSAK@MDCWALL.COM	
ADD 2	09 84 00	AWP-2	ACOUSTIC WALL PANEL - TECTUM	ARMSTRONG	TECTUM WALL PANELS	SEE ELEVATIONS	SEE ELEVATIONS	ARENA WALLS	BETH SCHELDUP; PHONE: 612-968-0613; EMSCHELDUP@ARMSTRONGCEILINGS.COM	
	09 90 00	PNT-1	PAINT	SHERWIN WILLIAMS		TBD		PRIMARY WALL PAINT		
	09 90 00	PNT-1A	PAINT	SCUFFMASTER		MATCH PNT-1		SCUFFMASTER WALL PROTECTION PAINT @ LOBBY STAIR WALL	JESSICA NALIPINSKI; PHONE: 612-791-3080; JESSICA.NALIPINSKI@WOLFGORDON.COM	
	09 90 00	PNT-2	PAINT	SHERWIN WILLIAMS		TBD		ARENA RAILINGS		
	09 90 00	PNT-3	PAINT	SHERWIN WILLIAMS		TBD		BLUE ACCENT IN ARENA AND VARSITY SHOWERS		
	09 90 00	PNT-4	PAINT	SHERWIN WILLIAMS		PURE WHITE		GYF CEILINGS		
	09 90 00	PNT-5	PAINT	SHERWIN WILLIAMS		TBD		HOLLOW METAL DOOR FRAMES		
ADD 2	09 90 00	PNT-6	PAINT	SHERWIN WILLIAMS		PURE WHITE		EXPOSED CEILINGS		
	10 21 13	TP-1	TOILET PARTITION	ASI		TBD				
	10 26 01	CG-1	CORNER GUARD	KOROSEAL	KOROGARD GS SERIES STAINLESS STEEL CORNER GUARD	56 BRUSHED STAINLESS	1/2" WING, 8"H	INSTALL ABOVE WALL BASE	GAYL LINDEMAN; PHONE: 612-751-5155; GLINDEMAN@KOROSEAL.COM	
	12 24 00	WS-1	BLACKOUT ROLLER SHADES- POWERED							
	12 24 00	WS-2	ROLLER SHADES 3% OPACITY- POWERED							



## SUPPLEMENTAL INSTRUCTIONS – ASI-6.1

Date	01/06/2025
Project #	2023232
Project Name	Northstar Ford Arena
Project Location	Hermantown, MN
Description	Board/Media Lighting

---

The work shall be carried out in accordance with the following supplemental instruction issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

---

### Drawings

**ITEM NO. 1**     E1.1B – Demo Plans Area B – Electrical

- A.     Changed existing to remain lighting and controls in Board and Media rooms to demolished.

**ITEM NO. 2**     E2.2B – Second Floor Plan Area B - Lighting

- A.     Added eight M4 fixtures to Board E209.
- B.     Added nine M4 fixtures to Media E208.
- C.     Added new lighting controls and lighting control note to Board E209.
- D.     Added new lighting controls and lighting control note to Media E208.

Respectfully,  
CMTA

Andrew Carlson

Attachment(s): Sheets



4309 Ugstad Rd  
Hermantown, MN 55811

project #: 2023232  
date: 1/6/2025 3:16:03 PM  
drawn by: Andrew Carlson  
checked by: Andrew Bartsch

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

signature: Andrew Bartsch  
printed name: Andrew Bartsch  
reg. #: 48775  
sign date: 06/28/2024

CONFORMANCE  
SET

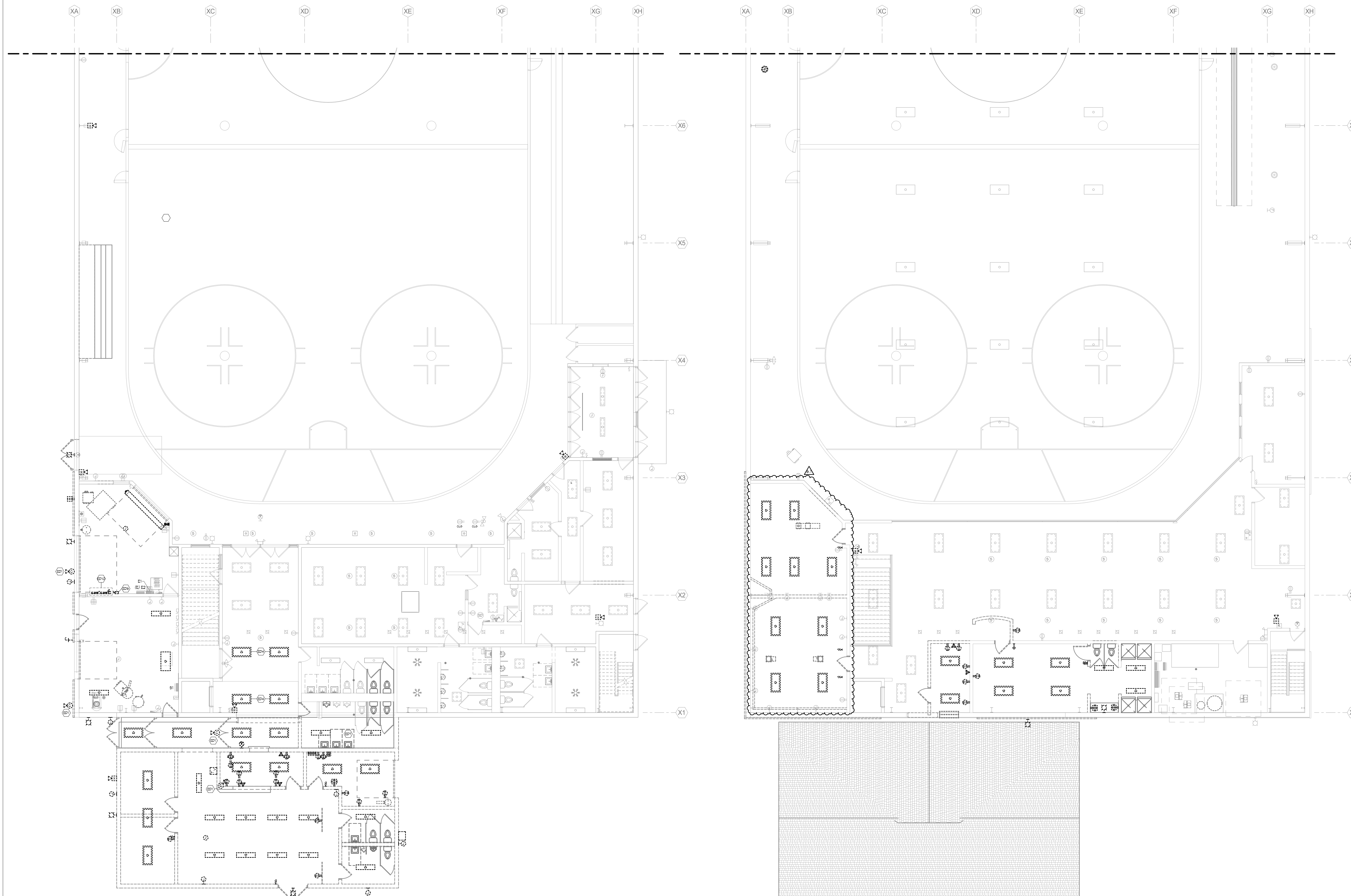
[illegible]

DEMO PLANS  
AREA B -  
ELECTRICAL

sheet title: ELECTRICAL

sheet number: 51 1B

- ED1 SALVAGE EXISTING CAMERA AND TURN OVER TO OWNER.
- DEMOLISH EXISTING CABLE COMPLETE BACK TO SOURCE.
- ED4 DISCONNECT, REMOVE, STORE, AND REINSTALL EXISTING LIGHT FIXTURE TO FACILITATE CEILING PAD REPLACEMENT.
- LIGHT FIXTURE TO BE CLEANED AND RELAMPED FOR RE-INSTALLATION.
- ED6 REMOVE AND RETAIN EXHAUST FAN DISCONNECT FOR INSTALLATION AT NEW LOCATION.
- ED7 RETAIN AND PROTECT EXISTING CIRCUITS TO BE UTILIZED FOR INSTALLATION OF NEW FIXTURES.
- ED10 DEMOLISH DEVICES ASSOCIATED WITH CONTROL OF EXTERIOR LIGHTING. PROTECT AND PREPARE EXTERIOR LIGHTING CIRCUITS TO BE UTILIZED THROUGH NEW EXTERIOR LIGHTING CONTROL. CONTRACTOR.



 **1** FIRST FLOOR DEMO PLAN AREA B - ELECTRICAL  
SCALE: 1/8" = 1'-0"

2 SECOND FLOOR DEMO PLAN AREA B - ELECTRICAL  
SCALE: 1/8" = 1'-0"

# NorthStar Ford Arena

4309 Ugstad Rd  
Hermantown, MN 55811

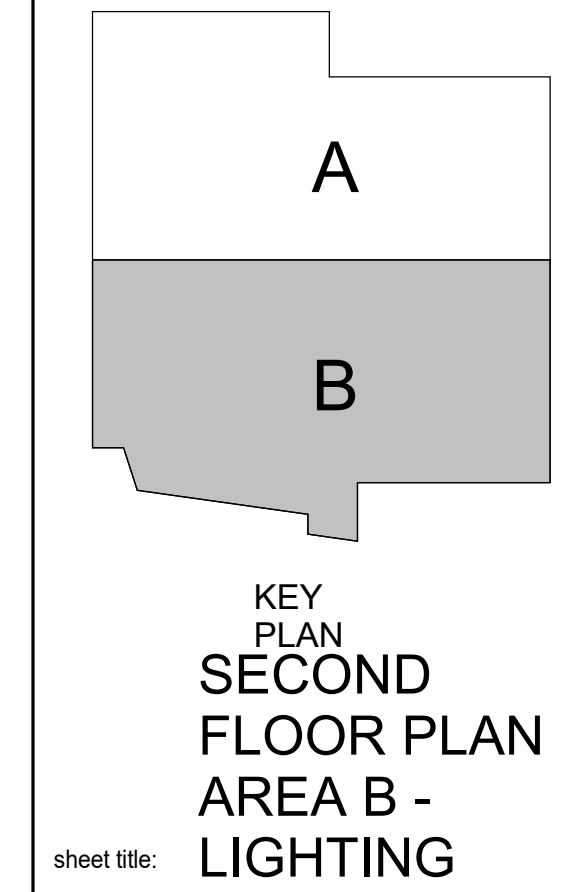
project #: 2023232  
date: 1/6/2025 3:16:04 PM  
drawn by: Andrew Carlson  
checked by: Andrew Bartsch

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

signature: *Andrew Bartsch*  
printed name: Andrew Bartsch  
reg. #: 48775  
sign date: 06/28/2024

## CONFORMANCE SET

revision / issue	no.	date
ASI-6.1	6.1	01/06/25
BP-2 ADD #2	3	07/08/24
BP-2 ADD #3	3	07/15/24
ASI-3.1		9/19/24
ASI-13	13	11/22/24

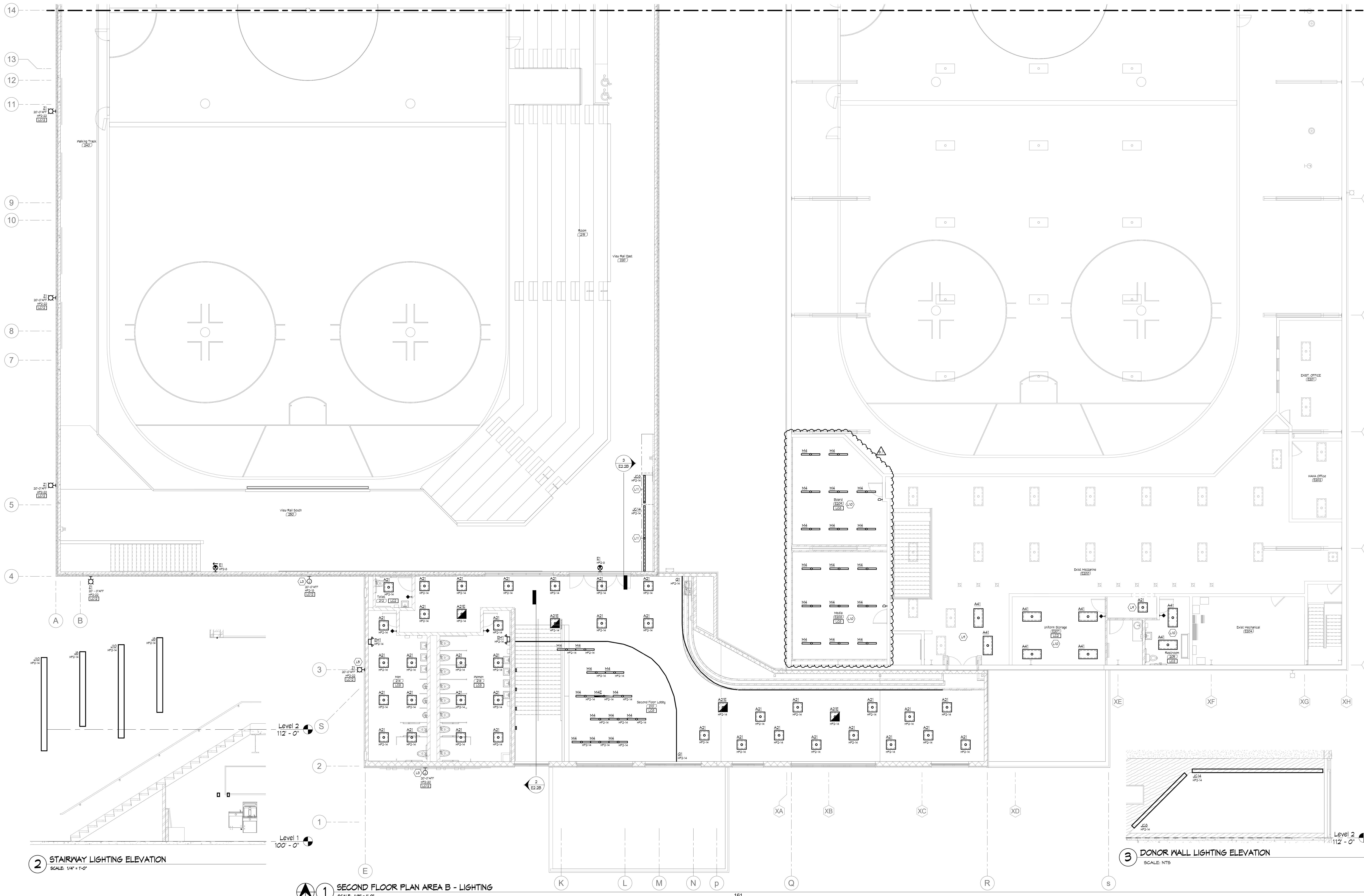


sheet title:  
sheet number:

# E2.2B

- LIGHTING CONTROL NOTES:**
- L01 MANUAL WALL SWITCH / DIMMER CONTROL.
  - L02 WALL-MOUNTED PIR SENSOR.
  - L03 GELING MOUNTED PIR SENSOR. MANUAL CONTROLS AS INDICATED ON FLOOR PLAN. AUTO ON, AUTO OFF AFTER 30 MINUTES NO ACTIVITY.
  - L04 CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL CONTROLS.
  - L05 ROUTE THROUGH PHOTOCELL CONTROLLED CONTACTOR. CONFIGURE SUCH THAT LIGHTS TURN ON AT DUSK AND TURN OFF AT 10:00 PM.
  - L06 ROUTE EXTERIOR LIGHTING CIRCUIT THROUGH PHOTOCELL CONTROLLED CONTACTOR. CONFIGURE SUCH THAT LIGHTS TURN ON AT DUSK AND TURN OFF AT 10:00 PM.
  - L07 CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL CONTROLS.
  - L08 ROUTE THROUGH PHOTOCELL CONTROLLED CONTACTOR. CONFIGURE SUCH THAT LIGHTS TURN ON AT DUSK AND TURN OFF AT 10:00 PM.
  - L09 CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL CONTROLS.
  - L10 PART OF ARENA LIGHTING CONTROL SYSTEM. ZONE AS INDICATED.

- SHEET NOTES**
- L11 PROVIDE CIRCUIT FOR EXTERIOR LETTER SIGN. COORDINATE WITH SIGNAGE MANUFACTURER FOR SPECIFIC REQUIREMENTS PRIOR TO ROUGH-IN.
  - L12 ROUTE EXTERIOR LIGHTING CIRCUIT THROUGH PHOTOCELL CONTROLLED CONTACTOR. CONFIGURE SUCH THAT LIGHTS TURN ON AT DUSK AND TURN OFF AT 10:00 PM.
  - L13 CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL CONTROLS.
  - L14 ROUTE THROUGH PHOTOCELL CONTROLLED CONTACTOR. CONFIGURE SUCH THAT LIGHTS TURN ON AT DUSK AND TURN OFF AT 10:00 PM.
  - L15 CONNECT TO EXISTING LIGHTING CIRCUIT AND CONTROL CONTROLS.
  - L16 PART OF ARENA LIGHTING CONTROL SYSTEM. ZONE AS INDICATED.



**2 STAIRWAY LIGHTING ELEVATION**  
SCALE: 1/4" = 1'-0"

**1 SECOND FLOOR PLAN AREA B - LIGHTING**  
SCALE: 1/8" = 1'-0"

**3 DONOR WALL LIGHTING ELEVATION**  
SCALE: NTS

JOB NAME	NORTHSTAR ARENA		24-6518					
DATE	2/11/2025							
CONTRACTOR	KRAUS-ANDERSON DULUTH							
NOTES	PCO 72 ASI 6.2 Board Media Ductwork and GRDs							
	Description	Labor Hours	Labor Rate	Materials	Subcontract	Materials with OH/Fee (10%)	Subcontract with OH/Fee (5%)	Total
	Field Labor	4	\$ 105.30			\$ -		\$ 421.20
	GRDs from SVL			\$ 891.25		\$ 980.38	\$ -	\$ 980.38
	Paint Grip Increase			\$ 1,380.00		\$ 1,518.00	\$ -	\$ 1,518.00
	Total	4		\$ 2,271.25	\$ -	\$ 2,498.38	\$ -	\$ 2,919.58

## Johnson Controls Inc.Change Order Summary

Project: North Star Ford Arena - PCO-72  
 Contract No. 5N51-0060

Date: 2/4/25

Quote No. PCO-72 / ASI 6.2

Description of change: Board/Media Ductwork Changes

Johnson Controls Material				
Material	@		\$	346
Warranty	@	5.0%	\$	17
Tax	@	8.9%	\$	31
Freight Charges		5.0%	\$	17
Total Johnson Controls Material Cost				\$ 411

Outside Purchased Material or Equipment \$ -

## Labor

## Direct Johnson Controls Labor

Mechanical	0	\$	-
Electrical	4 hrs	\$	480
Engineering	1 hr	\$	116
Programming	0	\$	-
Commissioning	1 hr	\$	119
Project Management	0	\$	-

Total Johnson Controls Labor \$ 715

## Subcontracts

Electrical	Elect Sub (Install & wiring, material & labor)	\$	-
Mechanical	Name	\$	-
Other	Name	\$	-

Total Subcontractor Cost \$ -

General Conditions and Special Items from sheet 2 \$ -

## Margins

## Overhead &amp; Profit

Johnson Controls Material	10%	\$	41
Outside Purchased Material or Equipment	10%	\$	-
Johnson Controls Direct Labor	10%	\$	72
General Conditions and Special Conditions	10%	\$	-
Subcontractors	5%	\$	-

Subtotal Less Bond \$ 1,239

Bond \$ -

Total Amount of Change \$ 1,239





**KRAUS-ANDERSON®**  
*Construction Company*

2000 West Superior Street, Suite 101  
Duluth, MN 55806

## Request For Proposal

---

Project:	2222026- Hermantown Hockey Arena Addition 4309 Ugstad Road Hermantown, MN 55811	PCO #:	72
		Date:	02/04/2025
To:	Chris Adatte, A.G. O'Brien Plumbing & Heating Co. Brian Schmidt, Johnson Controls, Inc.		

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Please provide a cost breakdown in accordance with the Contract Documents and a Summary for the Change described herein and on the attachments (if any) listed. All responses are required within seven (7) days.

This is not an authorization to proceed with the work described herein unless and until approved by the Owner. On approval, this change will be included in a Change Order, which will provide the formal Contract Change.

---

### DESCRIPTION OF PROPOSAL:

Please provide pricing for any changes/revisions to your scope of work per the attached ASI 6.2 modifying the ductwork and GRDs in the Board/Media

Attachments: ASI 6.2 dated 02.03.2025

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☐ We have reviewed the PCO and acknowledge that it is a "no change" item and does not affect our completion date.

Signed By: \_\_\_\_\_ Date: \_\_\_\_\_

Company Name: \_\_\_\_\_

# ASI Architects Supplemental Instructions



**Project Name** NorthStar Ford Arena  
**Project No** 022058.00  
**Project Address** 4309 Ugstad Road  
**Owner** City of Hermantown  
**Contractor Name** Kraus Anderson

**ASI No** 6.2

*The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.*



*If these supplemental instructions cause a change in the Contract Sum or Contract Time, submit a Proposal Request to the Architect for review and comment. DO NOT PROCEED with the Work until the Proposal Request is approved by the Architect.*

**ASI Date**  
2/3/2025

**ASI Title**  
**Board/Media Ductwork and GRDs**

**ASI Description**  
See attached CMTA Supplemental Instructions ASI-6.2 dated February 3, 2025.

## ASI Attachments

- 1  2023232 NSF Arena MECH ASI-6.2 Narrative.pdf
- 2  2023232\_Hermantown Arena\_Mech ASI-6.2 Drawings.pdf
- 3

## SUPPLEMENTAL INSTRUCTIONS – ASI-6.2

Date	02/03/2025
Project #	2023232
Project Name	Northstar Ford Arena
Project Location	Hermantown, MN
Description	Board/Media Ductwork and GRDs

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The work shall be carried out in accordance with the following supplemental instruction issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

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### Drawings

**ITEM NO. 1**      M3.2B – Second Floor Plan Area B - HVAC

- A.      Changed diffusers to round cone diffusers with rigid duct connections to branch ducts (exposed ceilings).
- B.      Changed return registers to sidewall above door.

**ITEM NO. 2**      M7.1 – Mechanical Bid Pack 2 Schedules

- A.      Updated Diffuser, Register, and Grille Schedule to reflect above changes

Respectfully,  
CMTA

Benjamin Felland, PE

Attachment(s): Sheets M3.2B, and M7.1



Kraus-Anderson Construction Company  
2000 West Superior Street, Suite 101 , Duluth, MN 55806

February 18, 2025

John Mulder  
City of Hermantown  
5105 Maple Grove Road  
Hermantown, MN 55811

Reference: Hermantown Hockey Arena Addition  
KA Project No.: 2222026-  
COR No. 74.00 ASI 22 AV Technology Addition

Dear John:

In response to the above referenced COR No. 74.00, Kraus-Anderson Construction Company proposes to complete the necessary Work associated with ASI 22 AV Technology Addition per attached documentation provided herein. Our cost to complete this additional work is an **ADD** of ONE HUNDRED TWENTY-NINE THOUSAND TWO HUNDRED EIGHTY AND 19 / 100 Dollars (\$129,280.19).

This proposal assumes that all outstanding proposals previously submitted will be accepted. This proposal is valid for a period of fourteen (14) days.

Please contact the undersigned should you have any questions concerning the above proposal.

Very truly yours,

Kraus-Anderson Construction Company

Max Vergeldt  
Project Manager

Enclosure

Cc: Eric Lagergren, DSGW Architects



**KRAUS-ANDERSON®**  
*Construction Company*

Project: Hermantown Hockey Arena Addition

Location: Hermantown, MN

Project Number: 2222026-

Project Manager: Max Vergeldt

Date:

COR: 74.00

**Description: ASI 22 AV Technology Addition**

Phase Code	Description	Subcontractor Name	Material	Labor	Subcontractors	Est Totals
26.0000.05.	Electrical Labor	Hunt Electric Corporation	0.00	0.00	124,224.00	124,224.00
	<b>Subtotal</b>		<b>0.00</b>	<b>0.00</b>	<b>124,224.00</b>	<b>124,224.00</b>
01.5214.00.	Copy/Postage/Supplies	0.08%	99.38	0.00	0.00	99.38
01.5230.20.	Telephone - Mobile Phone	0.09%	105.67	0.00	0.00	105.67
01.7950.00.	Warranty Reserve	0.15%	186.64	0.00	0.00	186.64
90.9000.00.	Umbrella Liability Insurance	0.95%	1,193.33	0.00	0.00	1,193.33
91.2000.00.	Builders Risk	0.20%	250.73	0.00	0.00	250.73
92.1000.00.	Performance/Payment Bond	0.60%	747.69	0.00	0.00	747.69
	<b>Subtotal</b>		<b>2,583.44</b>	<b>0.00</b>	<b>124,224.00</b>	<b>126,807.44</b>
	Fee	1.95%				2,472.75
	<b>Total Construction Costs</b>					<b>129,280.19</b>





7900 Chicago Avenue S  
Bloomington, MN 55420  
651-646-2911

February 18<sup>th</sup>, 2024

Max Vergeldt  
Kraus Anderson Construction  
2000 West Superior Street, Suite 101  
Duluth, MN 55806

RE: NorthStar Ford Arena – PCO-074

Hunt Electric is pleased to provide the following pricing for electrical work associated with PCO-074.

▪ PANEL RP1 & FEEDER:	\$13,456.00
▪ VIDEO DISPLAY BOARD:	\$36,903.00
▪ CIRCUITS TO CENTER ICE:	\$16,178.00
▪ CIRCUITS TO AV CONTROLLER:	\$19,636.00
▪ RINK AREA SPEAKERS:	\$9,908.00
▪ LOBBY AREA MONITOR:	\$5,899.00
▪ LOBBY AREA SPEAKERS:	\$22,244.00
▪ FINAL PRICE:	\$124,224.00

**CLARIFICATIONS AND EXCLUSIONS:**

- Please see following pages for a more detailed breakdown by bid item above.
- This proposal is based on work occurring during normal working hours 7:00 A.M. – 3:30 P.M.

Our pricing is based on today's commodity prices. Due to the COVID-19 pandemic and the volatility of the current market we cannot hold pricing of materials. Fluctuations in material prices, either up or down, may produce a change order to the project. It is also unknown what the availability of materials will be and what this impact will be going forward. While Hunt Electric and its subcontractors will make every reasonable effort to provide delivery of materials to meet the current schedule of this project, it is expected that there may be delays in the shipments of materials which could affect the completion date of this project. Labor availability is also a potential concern, as the full pandemic impact is unknown. We will need to evaluate labor and schedule impact at the time of the award for the project. We reserve the right to seek additional time, additional compensation or other appropriate relief if impacts arise due to these developments.

Please, contact me with any questions you may have at (218) 830-9936.

Sincerely,

HUNT ELECTRIC CORPORATION

A handwritten signature in blue ink, appearing to read 'James Monroe'.

JAMES MONROE – OPERATIONS MANAGER



7900 Chicago Avenue S  
Bloomington, MN 55420  
651-646-2911

#### **PANEL RP1 & FEEDER:**

- Furnish & install new 100A 208V 3PH panelboard RP-1 and associated conduit feeder.
  - **Panel RP-1 to be located on Video Wall as confirmed by design.**

#### **VIDEO DISPLAY BOARD:**

- Provide branch circuit wiring from panel RP-1 and 11 additional duplex receptacles.
- Pricing includes Low-Voltage subcontractor's new data drops per PCO-074 narrative.
  - **Cabling to be installed via J-hooks and open-air wiring, except when passing through walls or floors – where it will be sleeved and protected to typical above ceiling heights.**

#### **CIRCUITS TO CENTER ICE:**

- Provide branch circuit wiring from panel RP-1 and 16 additional duplex receptacles to center ice structure per PCO-074 narrative.
  - **Excludes installation of AV Vendor provided lighting or final connections.**

#### **CIRCUITS TO AV CONTROLLER:**

- Provide branch circuit wiring from panel RP-1 and 8 additional duplex receptacles to AV Controller location per PCO-074 narrative.
- Provide Legrand Wiremold poke through devices for PB2 (8AT) and PB3 (10AT) and AV Pass Through (6AT)
  - **PB3 to be 10" poke through in lieu of On Grade floor box as confirmed with design.**
- Low voltage cabling of CAT6A drops is included in Low-Voltage subcontractor's VIDEO DISPLAY BOARD quote.

#### **RINK AREA SPEAKERS:**

- Pricing includes Low-Voltage subcontractor's installation of speaker wiring per PCO-074 narrative.
  - **Cabling to be installed via J-hooks and open-air wiring, except when passing through walls or floors – where it will be sleeved and protected to typical above ceiling heights.**
  - **Excludes installation of AV Vendor provided speakers or final connections.**

#### **LOBBY AREA MONITOR:**

- Provide branch circuit wiring from panel from panel LP-2 and additional duplex receptacles per PCO-074 narrative.
- Provide junctions as noted.

#### **LOBBY AREA SPEAKERS:**

- Pricing includes Low-Voltage subcontractor's installation of speaker wiring per PCO-074 narrative.
  - **Cabling to be installed via J-hooks and open-air wiring, except when passing through walls or floors – where it will be sleeved and protected to typical above ceiling heights.**
  - **Excludes installation of AV Vendor provided speakers or final connections.**



**KRAUS-ANDERSON®**  
*Construction Company*

2000 West Superior Street, Suite 101  
Duluth, MN 55806

## Request For Proposal

Project: 2222026-  
Hermantown Hockey Arena Addition  
4309 Ugstad Road  
Hermantown, MN 55811

PCO #: 74

Date: 02/04/2025

To: James Monroe, Hunt Electric Corporation

Please provide a cost breakdown in accordance with the Contract Documents and a Summary for the Change described herein and on the attachments (if any) listed. All responses are required within seven (7) days.

This is not an authorization to proceed with the work described herein unless and until approved by the Owner. On approval, this change will be included in a Change Order, which will provide the formal Contract Change.

### DESCRIPTION OF PROPOSAL:

Please provide pricing for any changes/revisions to your scope of work per the attached ASI 22 regarding some AV Technology Additions.

Please do not proceed with any work noted in this ASI until we receive Owner approval. They want to see pricing before making a decision. Time is of the essence.

Attachments: ASI 22 dated 2.3.25

☐ We have reviewed the PCO and acknowledge that it is a "no change" item and does not affect our completion date.

Signed By: \_\_\_\_\_ Date: \_\_\_\_\_

Company Name: \_\_\_\_\_

# ASI Architects Supplemental Instructions



**Project Name** NorthStar Ford Arena  
**Project No** 022058.00  
**Project Address** 4309 Ugstad Road  
**Owner** City of Hermantown  
**Contractor Name** Kraus Anderson

**ASI No** 22

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*The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.*

*If these supplemental instructions cause a change in the Contract Sum or Contract Time, submit a Proposal Request to the Architect for review and comment. DO NOT PROCEED with the Work until the Proposal Request is approved by the Architect.*

---


**ASI Date**  
2/3/2025

**ASI Title**  
**A/V Technology Addition**

**ASI Description**

See attached CMTA Supplemental Instructions ASI-22 dated February 3, 2025 for A/V technology additions.

**ASI Attachments**

- 1  2023232\_Hermantown Arena\_ELEC ASI 22.pdf
- 2
- 3

## SUPPLEMENTAL INSTRUCTIONS – ASI-22

Date	02/03/25
Project #	2023232
Project Name	Northstar Ford Arena
Project Location	Hermantown, MN
Description	A/V Technology Addition

The work shall be carried out in accordance with the following supplemental instruction issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

### Drawings

#### ITEM NO. 1 E3.1A – FIRST FLOOR PLAN AREA B – POWER & SYSTEMS

- A. Added panel RP1 to Electrical 142.

#### ITEM NO. 2 E3.1B – FIRST FLOOR PLAN AREA B – POWER & SYSTEMS

- A. Added seven pendant mounted speakers to Lobby 110.
- B. Added 2-gang box for data cabling at scorer's table plan west of center ice.
- C. Added 2 duplex receptacles to Lobby 110.
- D. Added 1 junction box to Lobby 110.
- E. Added keynotes T4, T7, T12, and T13 to sheet notes.

#### ITEM NO. 3 E3.2A – SECOND FLOOR PLAN AREA A – POWER & SYSTEMS

- A. Added pass through floor box at AV control center plan east of center ice.
- B. Added floor box PB3 at AV control center plan east of center ice.
- C. Added floor box PB2 at AV control center plan east of center ice.
- D. Added seven two-way speaker enclosure over ice sheet.
- E. Added twelve pendant mounted speakers above walking path.
- F. Added two stacked subwoofer arrays above center ice.
- G. Added junction box for data pass through above walking path plan west of center ice.
- H. Added eleven receptacles for video display above walking path plan west of center ice.
- I. Added sixteen receptacles for effect lighting above center ice.
- J. Added junction box for data pass through above center ice.
- K. Added keynotes T6, T7, T8, T12, T14, T15, W12, and W15 to sheet notes.

#### ITEM NO. 4 E3.2B – SECOND FLOOR PLAN AREA B – POWER & SYSTEMS

- A. Added five two-way speaker enclosures over ice sheet.
- B. Added eleven pendant mounted speakers above walking path.
- C. Added five pendant mounted speakers to Second Floor Lobby 210.
- D. Added keynotes T6, T7, and T12 to sheet notes.



**ITEM NO. 5**      E8.3 – ELECTRICAL SCHEDULES

- A.    Added schedule for panel RP1.
- B.    Added RP1 to one line diagram.
- C.    Replaced 3 spare 20A/1P breakers with 100A/3P breaker to feed RP1.

Respectfully,  
CMTA

Andrew Carlson

Attachment(s): Sheets E3.1A, E3.1B, E3.2A, E3.2B, E8.3



**KRAUS-ANDERSON®**  
*Construction Company*

2000 West Superior Street, Suite 101  
Duluth, MN 55806

## Request For Proposal

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Project:	2222026- Hermantown Hockey Arena Addition 4309 Ugstad Road Hermantown, MN 55811	PCO #:	74
		Date:	02/04/2025
To:	James Monroe, Hunt Electric Corporation		

---

Please provide a cost breakdown in accordance with the Contract Documents and a Summary for the Change described herein and on the attachments (if any) listed. All responses are required within seven (7) days.

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---

### DESCRIPTION OF PROPOSAL:

Please provide pricing for any changes/revisions to your scope of work per the attached ASI 22 regarding some AV Technology Additions.

Please do not proceed with any work noted in this ASI until we receive Owner approval. They want to see pricing before making a decision. Time is of the essence.

Attachments: ASI 22 dated 2.3.25

---

☐ We have reviewed the PCO and acknowledge that it is a "no change" item and does not affect our completion date.

Signed By: \_\_\_\_\_ Date: \_\_\_\_\_

Company Name: \_\_\_\_\_

# ASI Architects Supplemental Instructions



**Project Name** NorthStar Ford Arena  
**Project No** 022058.00  
**Project Address** 4309 Ugstad Road  
**Owner** City of Hermantown  
**Contractor Name** Kraus Anderson

**ASI No** 22

---

*The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.*

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---


**ASI Date**  
2/3/2025

**ASI Title**  
**A/V Technology Addition**

**ASI Description**

See attached CMTA Supplemental Instructions ASI-22 dated February 3, 2025 for A/V technology additions.

**ASI Attachments**

- 1  2023232\_Hermantown Arena\_ELEC ASI 22.pdf
- 2
- 3

## SUPPLEMENTAL INSTRUCTIONS – ASI-22

Date	02/03/25
Project #	2023232
Project Name	Northstar Ford Arena
Project Location	Hermantown, MN
Description	A/V Technology Addition

The work shall be carried out in accordance with the following supplemental instruction issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

### Drawings

#### ITEM NO. 1 E3.1A – FIRST FLOOR PLAN AREA B – POWER & SYSTEMS

- A. Added panel RP1 to Electrical 142.

#### ITEM NO. 2 E3.1B – FIRST FLOOR PLAN AREA B – POWER & SYSTEMS

- A. Added seven pendant mounted speakers to Lobby 110.
- B. Added 2-gang box for data cabling at scorer's table plan west of center ice.
- C. Added 2 duplex receptacles to Lobby 110.
- D. Added 1 junction box to Lobby 110.
- E. Added keynotes T4, T7, T12, and T13 to sheet notes.

#### ITEM NO. 3 E3.2A – SECOND FLOOR PLAN AREA A – POWER & SYSTEMS

- A. Added pass through floor box at AV control center plan east of center ice.
- B. Added floor box PB3 at AV control center plan east of center ice.
- C. Added floor box PB2 at AV control center plan east of center ice.
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- E. Added twelve pendant mounted speakers above walking path.
- F. Added two stacked subwoofer arrays above center ice.
- G. Added junction box for data pass through above walking path plan west of center ice.
- H. Added eleven receptacles for video display above walking path plan west of center ice.
- I. Added sixteen receptacles for effect lighting above center ice.
- J. Added junction box for data pass through above center ice.
- K. Added keynotes T6, T7, T8, T12, T14, T15, W12, and W15 to sheet notes.

#### ITEM NO. 4 E3.2B – SECOND FLOOR PLAN AREA B – POWER & SYSTEMS

- A. Added five two-way speaker enclosures over ice sheet.
- B. Added eleven pendant mounted speakers above walking path.
- C. Added five pendant mounted speakers to Second Floor Lobby 210.
- D. Added keynotes T6, T7, and T12 to sheet notes.

**ITEM NO. 5**      E8.3 – ELECTRICAL SCHEDULES

- A.    Added schedule for panel RP1.
- B.    Added RP1 to one line diagram.
- C.    Replaced 3 spare 20A/1P breakers with 100A/3P breaker to feed RP1.

Respectfully,  
CMTA

Andrew Carlson

Attachment(s): Sheets E3.1A, E3.1B, E3.2A, E3.2B, E8.3



**Resolution No. 2025-63**

**Resolution Approving Pay Request Number 10 For The NorthStar Ford Arena To Kraus-Anderson Construction Company In The Amount Of \$2,093,908.17**

WHEREAS, the City of Hermantown has contracted with Kraus-Anderson Construction Company for construction management services for the NorthStar Ford Arena (“Project”); and

WHEREAS, Kraus-Anderson Construction Company has performed a portion of the agreed upon work in said Project; and

WHEREAS, Kraus-Anderson Construction Company has submitted separate Pay Requests No. 10 for Labor & Services, and Tax-Exempt material as shown below, and

Invoice Number	Item	Amount
69920	Labor & Services	\$1,288,628.30
69921	Tax Exempt Material	\$805,279.87
	<b>Total</b>	<b>\$2,093,908.17</b>

WHEREAS, the City will maintain an accumulated retainage as shown on the pay requests until the final work and documentation is completed,

WHEREAS, the necessary documentation for the pay request is on file and available for inspection.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Hermantown, Minnesota as follows:

1. Pay Request No. 10 is hereby approved.

2. The City is hereby authorized and directed to pay to Kraus-Anderson Construction Company Kraus Anderson the sum of \$2,093,908.17 which is the amount represented on Pay Request No. 10 for both Labor & Services, and Tax Exempt material.

Councilor \_\_\_\_\_ introduced the foregoing resolution and moved its adoption.

The motion for the adoption of such resolution was seconded by Councilor \_\_\_\_\_ and, upon a vote being taken thereon, the following voted in favor thereof:

Councilors \_\_\_\_\_

and the following voted in opposition thereto:

Councilors \_\_\_\_\_

WHEREUPON, such resolution has been duly passed and adopted on April 7, 2025.

APPLICATION AND CERTIFICATE FOR PAYMENT

Invoice #: 69920

To Owner: City of Hermantown  
5105 Maple Grove Road  
Hermantown, MN 55811

Project Number - Project Description: 2222026- Hermantown Hockey Arena Addition

Customer Reference:

From Contractor: Kraus-Anderson Construction Company  
501 South Eighth Street  
Minneapolis, MN 55404

Via Architect: DSGW Architects  
2 West First Street, Suite 201  
Duluth MN 55802

Contract For:

Application No. : 10

Period To: 3/31/2025

Project Ref Nos:

Contract Date: Labor, March 2025

Distribution to :  
Owner  
Architect  
Contractor

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.  
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	\$13,055,590.00
2. NET CHANGE BY CHANGE ORDERS	\$360,299.38
3. CONTRACT SUM TO DATE( Line 1 ± 2)	\$13,415,889.38
4. TOTAL COMPLETED AND STORED TO DATE (Column G on G703)	\$5,818,086.62
5. RETAINAGE:	
a. 4.79% of Completed Work (Column D + E on G703)	\$278,841.74
b. 0.00% of Stored Material (Column F on G703)	\$0.00
Total Retainage (Line 5a + 5b or Total in Column I of G703)	\$278,841.74
6. TOTAL EARNED LESS RETAINAGE (Line 4 Less Line 5 Total)	\$5,539,244.88
7. LESS PREVIOUS CERTIFICATES FOR PAYMENTS (Line 6 from prior Certificate)	\$4,250,616.58
8. CURRENT PAYMENT DUE	\$1,288,628.30
9. BALANCE TO FINISH, INCLUDING RETAINAGE (line 3 less Line 6)	\$7,876,644.50

CHANGE ORDER SUMMARY	Additions	Deductions
Total changes approved in previous months by Owner	\$256,858.09	\$0.00
Total Approved this Month	\$103,441.29	\$0.00
TOTALS	\$360,299.38	\$0.00
Net Changes By Change Order	\$360,299.38	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information, and belief, the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Kraus-Anderson Construction Company

By: Dan Markham Date: 3/31/2025

State of: Minnesota

County of: Hennepin

Subscribed and sworn to before me this 31st day of March, 2025

Notary Public: Kayla Brust  
My Commission expires: 1/31/2029



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$1,288,628.30

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT: Eric Fogg Date: 4/2/2025 | 11:09 AM CDT

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment, and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

**CONTINUATION SHEET**

Invoice # : 69920

Page 2 of 3

**Application and Certification for Payment**, containing Contractor's signed certification is attached.  
In tabulations below, amounts are in US dollars.  
Use Column I on Contracts where variable retainage for line items may apply.

Application No. : 10

Application Date : 3/31/2025

Period To: 3/31/2025

Project Ref Nos.:

Contract : 2222026- Hermantown Hockey Arena Addition

A	B	C	D		E	F	G		H	I
Item No.	Description of Work	Scheduled Value	Work Completed		Materials Presently Stored	Total Completed and Stored To Date	% (G / C)	Balance To Finish (C-G)	Retainage (If Variable Rate)	
			From Previous Application (D+E)	This Period In Place						
					(Not in D or E)	(D+E+F)				
1	Pre-Construction	60,000.00	60,000.00	0.00	0.00	60,000.00	100.00%	0.00	0.00	
100-L	Demolition	250,619.50	77,960.00	100,856.96	0.00	178,816.96	71.35%	71,802.54	8,940.85	
105-L	Concrete	695,189.52	300,234.18	98,705.00	0.00	398,939.18	57.39%	296,250.34	19,946.96	
110-L	Structural Precast	159,342.58	159,342.58	0.00	0.00	159,342.58	100.00%	0.00	7,967.13	
115-L	Architectural Precast	115,541.42	107,831.65	0.00	0.00	107,831.65	93.33%	7,709.77	5,391.59	
120-L	Masonry	602,398.46	434,063.25	105,260.46	0.00	539,323.71	89.53%	63,074.75	26,966.19	
124-L	Steel Supply - Change Orders	11,098.65	0.00	0.00	0.00	0.00	0.00%	11,098.65	0.00	
125-L	Steel Erection	425,829.51	282,651.71	31,377.50	0.00	314,029.21	73.75%	111,800.30	15,701.47	
130-L	Foundation Insulation & Waterproofing	25,950.00	21,000.00	0.00	0.00	21,000.00	80.92%	4,950.00	1,050.00	
131-L	Mechanical Equipment - Change Orders	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00	
133-L	Electrical Equipment - Change Orders	2,716.39	0.00	0.00	0.00	0.00	0.00%	2,716.39	0.00	
135-L	Site Clearing & Earthwork	1,212,280.90	945,117.86	11,480.94	0.00	956,598.80	78.91%	255,682.10	47,829.96	
140-L	Final Cleaning	38,595.08	0.00	0.00	0.00	0.00	0.00%	38,595.08	0.00	
145-L	Carpentry	185,708.00	29,253.00	55,000.00	0.00	84,253.00	45.37%	101,455.00	4,212.65	
150-L	Blown/Sprayed Insulation	21.00	0.00	0.00	0.00	0.00	0.00%	21.00	0.00	
155-L	Weather Barrier	25,507.00	6,120.60	0.00	0.00	6,120.60	24.00%	19,386.40	306.03	
160-L	Metal Panels	249,400.00	0.00	0.00	0.00	0.00	0.00%	249,400.00	0.00	
165-L	Roofing	842,619.52	93,180.00	528,302.34	0.00	621,482.34	73.76%	221,137.18	31,074.12	
170-L	Applied Fireproofing	19,237.01	0.00	8,659.61	0.00	8,659.61	45.02%	10,577.40	432.98	
174-L	Doors, Frames & Hardware - Change Orders	594.46	0.00	0.00	0.00	0.00	0.00%	594.46	0.00	
175-L	Joint Sealants	25,125.00	0.00	0.00	0.00	0.00	0.00%	25,125.00	0.00	
180-L	Specialty Doors	10,063.00	0.00	0.00	0.00	0.00	0.00%	10,063.00	0.00	
185-L	Aluminum Frames & Glazing	94,781.00	0.00	0.00	0.00	0.00	0.00%	94,781.00	0.00	
190-L	Drywall	165,888.00	12,240.90	0.00	0.00	12,240.90	7.38%	153,647.10	612.05	
195-L	Tile	151,785.55	0.00	0.00	0.00	0.00	0.00%	151,785.55	0.00	
200-L	Ceilings & Acoustical Treatment	59,386.00	0.00	0.00	0.00	0.00	0.00%	59,386.00	0.00	
205-L	Resilient and Carpet Flooring	13,814.00	0.00	0.00	0.00	0.00	0.00%	13,814.00	0.00	
210-L	Athletic Flooring	58,124.25	0.00	0.00	0.00	0.00	0.00%	58,124.25	0.00	
215-L	Epoxy Flooring	134,666.00	0.00	0.00	0.00	0.00	0.00%	134,666.00	0.00	
220-L	Painting	161,081.00	0.00	0.00	0.00	0.00	0.00%	161,081.00	0.00	
224-L	Specialties - Change Orders	1,562.36	0.00	181	0.00	0.00	0.00%	1,562.36	0.00	
225-L	Signage	7,125.00	0.00	0.00	0.00	0.00	0.00%	7,125.00	0.00	

**Application No. : 10**  
**Application Date : 3/31/2025**  
**Period To: 3/31/2025**  
**Project Ref Nos.:**

**Contract : 2222026- Hermantown Hockey Arena Addition**

A	B	C	D	E	F	G		H	I
Item No.	Description of Work	Scheduled Value	Work Completed		Materials Presently Stored	Total Completed and Stored To Date	% (G / C)	Balance To Finish (C-G)	Retainage (If Variable Rate)
			From Previous Application (D+E)	This Period In Place					
					(Not in D or E)	(D+E+F)			
230-L	Athletic Equipment	77,177.30	0.00	0.00	0.00	0.00	0.00%	77,177.30	0.00
235-L	Window Treatments	8,192.00	0.00	0.00	0.00	0.00	0.00%	8,192.00	0.00
240-L	Casework & Countertops	53,669.93	0.00	0.00	0.00	0.00	0.00%	53,669.93	0.00
245-L	Ice Rink	2,125,501.21	259,100.00	0.00	0.00	259,100.00	12.19%	1,866,401.21	12,955.00
250-L	Fire Suppression	109,455.00	0.00	0.00	0.00	0.00	0.00%	109,455.00	0.00
255-L	Combined Mechincal	1,377,397.79	399,424.81	91,074.25	0.00	490,499.06	35.61%	886,898.73	24,524.96
260-L	Controls	81,300.00	0.00	15,925.27	0.00	15,925.27	19.59%	65,374.73	796.26
265-L	Electrical	685,181.72	205,432.00	70,192.33	0.00	275,624.33	40.23%	409,557.39	13,781.22
270-L	General Conditions	758,767.99	244,612.73	120,699.94	0.00	365,312.67	48.15%	393,455.32	16,347.61
275-L	Site Services	1,307,935.87	446,254.00	75,139.76	0.00	521,393.76	39.86%	786,542.11	24,843.64
280-L	Building Permits	162,982.19	162,982.19	0.00	0.00	162,982.19	100.00%	0.00	4,920.67
285-L	Performance & Payment Bonds	67,158.49	66,066.00	0.00	0.00	66,066.00	98.37%	1,092.49	1,884.80
290-L	Umbrella Liability Insurance	126,658.33	45,559.84	13,799.92	0.00	59,359.76	46.87%	67,298.57	2,587.12
295-L	Builder's Risk Insurance	22,833.48	7,572.95	3,367.88	0.00	10,940.83	47.92%	11,892.65	476.10
300-L	Warranty Reserve	17,876.11	10,476.02	1,213.01	0.00	11,689.03	65.39%	6,187.08	531.45
305-L	KA Contingency	370,975.48	0.00	0.00	0.00	0.00	0.00%	370,975.48	0.00
310-L	KA Fee	256,776.33	85,159.50	25,395.68	0.00	110,555.18	43.06%	146,221.15	4,760.93
				182					
	Grand Totals	13,415,889.38	4,461,635.77	1,356,450.85	0.00	5,818,086.62	43.37%	7,597,802.76	278,841.74



**Important Notice Regarding Payments to Kraus-Anderson Construction Company**

To Whom It May Concern:

As we are sure you are aware, there are more frequent incidents in the news about cyber criminals using email and other electronic means to induce businesses and individuals to reveal their financial information, or to make payments to criminals that are impersonating persons that are actually entitled to receive such information or payments. Any business which is a payer or recipient of large sums of money as part of its regular business activity is a special target for these cyber criminals. The large and repeated payments made by the owners of construction projects to their construction contractors make these parties potential targets, and we know of instances where some project owners have been defrauded into making erroneous payments to third-party impostors as a result of this criminal fraud activity.

The purpose of this letter is to ask for your help to be extra vigilant in how your company makes payments to Kraus-Anderson Construction Company. At the start of our construction project with your company, we provided you with information that included our bank name, routing number, and account number for payments made by ACH or wire transfer, or other specific instructions for paying Kraus-Anderson by check. It is extremely unlikely we would ever change these instructions before the completion of your project and our receipt of final payment from you.

Please do not act on a request to change our account information or method of payment unless you are certain that the request is actually being made by Kraus-Anderson Construction Company. If you receive such a request, it is likely an attempt to defraud you. Therefore, it is important that you contact one of the two Kraus-Anderson employees listed below if you receive a request in any form--oral, electronic, written, or otherwise--to make changes to our payment instructions and/or banking information:

Logan Carter, CPA, Controller  
Office phone: 612-255-2364 Cell phone: 612-723-0843

Ryan Szarzynski, CPA, Accounting Manager  
Office phone: 612-255-2368 Cell phone: 612-210-0570

We hope this information is helpful to you in protecting your company against acts by third-party criminals that may attempt to interfere with the proper processing of legitimate financial transactions. Please contact us if you have any questions.

Sincerely,

KRAUS-ANDERSON CONSTRUCTION COMPANY

Logan Carter  
CPA, Controller

Ryan Szarzynski  
CPA, Accounting Manager



APPLICATION AND CERTIFICATE FOR PAYMENT

Invoice #: 69921

To Owner: City of Hermantown  
5105 Maple Grove Road  
Hermantown, MN 55811

Project Number - Project Description: 2222026- Hermantown Hockey Arena Addition

Customer Reference:

From Contractor: Kraus-Anderson Construction Company  
501 South Eighth Street  
Minneapolis, MN 55404

Via Architect: DSGW Architects  
2 West First Street, Suite 201  
Duluth MN 55802

Contract For:

Application No. : 10

Period To: 3/31/2025

Project Ref Nos:

Contract Date:

Distribution to :  
Owner  
Architect  
Contractor

Tax-Exempt , March 2025

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.  
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM \$7,828,788.00

2. NET CHANGE BY CHANGE ORDERS \$0.00

3. CONTRACT SUM TO DATE( Line 1 ± 2) \$7,828,788.00

4. TOTAL COMPLETED AND STORED TO DATE (Column G on G703) \$4,567,696.53

5. RETAINAGE:

a. 0.00% of Completed Work (Column D + E on G703) \$0.00

b. 0.00% of Stored Material (Column F on G703) \$0.00

Total Retainage (Line 5a + 5b or Total in Column I of G703) \$0.00

6. TOTAL EARNED LESS RETAINAGE \$4,567,696.53  
(Line 4 Less Line 5 Total)

7. LESS PREVIOUS CERTIFICATES FOR PAYMENTS \$3,762,416.66  
(Line 6 from prior Certificate)

8. CURRENT PAYMENT DUE \$805,279.87

9. BALANCE TO FINISH, INCLUDING RETAINAGE (line 3 less Line 6) \$3,261,091.47

CHANGE ORDER SUMMARY	Additions	Deductions
Total changes approved in previous months by Owner	\$0.00	\$0.00
Total Approved this Month	\$0.00	\$0.00
TOTALS	\$0.00	\$0.00
Net Changes By Change Order	\$0.00	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information, and belief, the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Kraus-Anderson Construction Company

By: Dan Markham Date: 3/31/2025

State of: Minnesota

County of: Hennepin

Subscribed and sworn to before me this 31st day of March, 2025

Notary Public: Kayla Brust  
My Commission expires: 1/31/2029



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$805,279.87

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT: Eric Aggar Date: 4/2/2025 | 11:09 AM CDT

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment, and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

**CONTINUATION SHEET**

Invoice # : 69921

Page 2 of 3

**Application and Certification for Payment**, containing Contractor's signed certification is attached.  
In tabulations below, amounts are in US dollars.  
Use Column I on Contracts where variable retainage for line items may apply.

Application No. : 10

Application Date : 3/31/2025

Period To: 3/31/2025

Project Ref Nos.:

Contract : 2222026- Hermantown Hockey Arena Addition

A	B	C	D E		F	G		H	I
Item No.	Description of Work	Scheduled Value	Work Completed		Materials Presently Stored	Total Completed and Stored To Date	% (G / C)	Balance To Finish (C-G)	Retainage (If Variable Rate)
			From Previous Application (D+E)	This Period In Place					
					(Not in D or E)	(D+E+F)			
105-M	Concrete - Materials Only	240,603.00	140,603.00	16,000.00	0.00	156,603.00	65.09%	84,000.00	0.00
110-M	Structural Precast - Materials Only	351,876.00	327,088.52	0.00	0.00	327,088.52	92.96%	24,787.48	0.00
115-M	Architectural Precast - Materials Only	777,427.00	762,198.10	0.00	0.00	762,198.10	98.04%	15,228.90	0.00
120-M	Masonry - Materials Only	277,969.16	242,899.58	35,069.58	0.00	277,969.16	100.00%	0.00	0.00
123-M	Steel Supply - Materials Only	1,031,583.00	823,577.00	98,006.00	0.00	921,583.00	89.34%	110,000.00	0.00
130-M	Foundation Insulation & Waterproofing - Materials Only	10,683.00	8,000.00	0.00	0.00	8,000.00	74.89%	2,683.00	0.00
132-M	Mechanical Equipment - Material Only	697,645.00	118,840.00	0.00	0.00	118,840.00	17.03%	578,805.00	0.00
134-M	Electrical Equipment - Materials Only	165,308.00	127,808.00	0.00	0.00	127,808.00	77.32%	37,500.00	0.00
135-M	Site Clearing & Earthwork - Materials Only	234,221.00	216,660.58	5,400.00	0.00	222,060.58	94.81%	12,160.42	0.00
145-M	Carpentry - Materials Only	30,290.00	4,000.00	20,000.00	0.00	24,000.00	79.23%	6,290.00	0.00
155-M	Weather Barrier - Materials Only	21,744.00	4,348.80	0.00	0.00	4,348.80	20.00%	17,395.20	0.00
160-M	Metal Panels - Materials Only	221,600.00	0.00	0.00	0.00	0.00	0.00%	221,600.00	0.00
165-M	Roofing - Materials Only	485,160.00	135,000.00	300,000.00	0.00	435,000.00	89.66%	50,160.00	0.00
170-M	Applied Fireproofing - Materials Only	2,000.00	0.00	0.00	0.00	0.00	0.00%	2,000.00	0.00
173-M	Doors, Frames & Hardware - Materials Only	133,605.00	13,158.00	0.00	0.00	13,158.00	9.85%	120,447.00	0.00
180-M	Specialty Doors - Materials Only	41,055.00	0.00	0.00	0.00	0.00	0.00%	41,055.00	0.00
185-M	Aluminum Frames & Glazing - Materials Only	163,338.00	0.00	17,477.00	0.00	17,477.00	10.70%	145,861.00	0.00
190-M	Drywall - Materials Only	35,592.00	7,118.40	0.00	0.00	7,118.40	20.00%	28,473.60	0.00
195-M	Tile - Materials Only	32,885.00	0.00	0.00	0.00	0.00	0.00%	32,885.00	0.00
200-M	Ceilings & Acoustical Treatment - Materials Only	71,494.00	2,620.00	0.00	0.00	2,620.00	3.66%	68,874.00	0.00
205-M	Resilient & Carpet Flooring - Materials Only	5,496.00	0.00	0.00	0.00	0.00	0.00%	5,496.00	0.00
210-M	Athletic Flooring - Materials Only	72,665.00	0.00	0.00	0.00	0.00	0.00%	72,665.00	0.00
220-M	Painting - Materials Only	25,000.00	0.00	0.00	0.00	0.00	0.00%	25,000.00	0.00
223-M	Specialties - Materials Only	56,040.00	300.00	0.00	0.00	300.00	0.54%	55,740.00	0.00
225-M	Signage - Materials Only	30,565.00	0.00	0.00	0.00	0.00	0.00%	30,565.00	0.00
230-M	Athletic Equipment - Materials Only	301,202.00	0.00	0.00	0.00	0.00	0.00%	301,202.00	0.00
235-M	Window Treatments - Materials Only	23,460.00	0.00	0.00	0.00	0.00	0.00%	23,460.00	0.00
240-M	Casework & Countertops - Materials Only	104,835.00	5,000.00	0.00	0.00	5,000.00	4.77%	99,835.00	0.00
245-M	Ice Rink - Materials Only	85,249.00	0.00	30,575.00	0.00	30,575.00	35.87%	54,674.00	0.00
250-M	Fire Suppression - Materials Only	50,476.00	0.00	0.00	0.00	0.00	0.00%	50,476.00	0.00
255-M	Combined Mechanical - Materials Only	1,274,740.00	622,218.35	185,770.40	0.00	708,988.75	55.62%	565,751.25	0.00
260-M	Controls - Materials Only	61,730.00	0.00	50,001.30	0.00	50,001.30	81.00%	11,728.70	0.00

CONTINUATION SHEET

Invoice # : 69921

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			From Previous Application (D+E)	This Period In Place					
265-M	Electrical - Materials Only	420,479.00	57,225.00	121,554.00	0.00	178,779.00	42.52%	241,700.00	0.00
285-M	Performance & Payment Bonds - Materials Only	53,348.00	36,796.00	0.00	0.00	36,796.00	68.97%	16,552.00	0.00
290-M	Umbrella Liability Insurance - Materials Only	74,374.00	26,738.58	9,199.95	0.00	35,938.53	48.32%	38,435.47	0.00
295-M	Builder's Risk Insurance - Materials Only	13,308.84	8,937.29	0.00	0.00	8,937.29	67.15%	4,371.55	0.00
310-M	KA Fee - Materials Only	149,742.00	71,281.46	15,226.64	0.00	86,508.10	57.77%	63,233.90	0.00



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Logan Carter, CPA, Controller  
Office phone: 612-255-2364 Cell phone: 612-723-0843

Ryan Szarzynski, CPA, Accounting Manager  
Office phone: 612-255-2368 Cell phone: 612-210-0570

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Sincerely,

KRAUS-ANDERSON CONSTRUCTION COMPANY

Logan Carter  
CPA, Controller

Ryan Szarzynski  
CPA, Accounting Manager