



## **Hermantown Planning & Zoning Meeting – February 27, 2024**

Hermantown's upcoming Planning & Zoning meeting will include both remote access and in-person access to Council Chambers. The remote access will be available through the platform, "Zoom," which allows the public to view and participate in the meeting via phone or computer. Interested parties can also choose to attend the Planning & Zoning meetings in person at City Hall.

Remote access to the 7:00 pm Planning & Zoning Meeting will be available at:

<https://us02web.zoom.us/j/89710487385?pwd=RFZYekswalBBNEluUjZXTXVQUEYydz09>

and/or by calling the number (312) 626-6799 and utilizing the meeting ID number of 897-1048-7385 and the passcode of 122771.

A few important tips regarding the Zoom platform:

- If your computer does not support audio, you can still watch the meeting on your computer and call in on your phone to hear the meeting.
- Everyone has varying levels of comfort regarding remote technology, so grace and understanding are appreciated.



## PLANNING & ZONING COMMISSION

### *Agenda*

February 27, 2024

7:00 PM

- 1. ROLL CALL**
- 2. APPROVAL OF AGENDA**
- 3. APPROVAL OF MINUTES**
  - 3A. January 17, 2024 regular meeting.
- 4. PUBLIC DISCUSSION** – Public comment on any item not otherwise listed on the agenda.
- 5. PUBLIC HEARINGS**
  - 5A. An application for a Preliminary Planned Unit Development (PUD) Amendment by Jay Zierden/BMAX for a 10 building/20 total unit twinhome/duplex development on 10 acres. The property is located at 399x Stebner Road and is located in a R-3, Residential zoning district.
  - 5B. An application by JP Holding Company, LLC for a Preliminary Planned Unit Development for a 19-lot single family homes and 9 townhome buildings (18 units total) for a total of 37 lots/units on a 13-acre site located at 507x Maple Grove Road. The property is located in an R-3 zoning district.
  - 5C. An application by Hage and Co. for a Special Use Permit for the construction of a 72,000 square foot warehouse building with associated site and stormwater improvements. The property is located at 438x Sundby Road and is located in a BLM, Business and Light Manufacturing zoning district.
  - 5D. An application by Hage and Co. for a Commercial Industrial Development Permit for the construction of a 72,000 square foot warehouse building with associated site and stormwater improvements. The property is located at 438x Sundby Road and is located in a BLM, Business and Light Manufacturing zoning district.
- 6. CONTINUING BUSINESS**
- 7. NEW BUSINESS**
  - 7A. A discussion on development opportunities within Stebner Park.
- 8. COMMUNICATIONS**

**9. COMMISSION MEMBER REPORTS**

Joe Peterson  
Corey Kolquist  
Valerie Ouellette  
Beth Wentzlaff  
Buckley Simmons  
Dante Tomassoni  
John Geissler

**ADJOURN**



## PLANNING & ZONING COMMISSION

January 17, 2024 Meeting Summary

7:00 PM

### 1. ROLL CALL

Members Present: Joe Peterson; Corey Kolquist; Valerie Ouellette; Beth Wentzlaff; and Councilor John Geissler

Members Absent: Buckley Simmons; and Dante Tomassoni

Others Present: Eric Johnson, Community Development Director

### 2. APPROVAL OF AGENDA

Motion made by Corey Kolquist to approve the January 17, 2024 agenda as presented. Seconded by Beth Wentzlaff. Motion carried.

### 3. APPROVAL OF MINUTES

Motion made by Valerie Ouellette to approve the December 19, 2023 minutes as presented. Seconded by Corey Kolquist. Motion carried.

### 4. PUBLIC DISCUSSION

None

### 5. PUBLIC HEARING

5A. An application by Arola Architects for a Commercial Industrial Development Permit for the construction of a 3,139 square foot dental clinic and associated site improvements. The property is located at 48xx W Arrowhead Road and is located in a C, Commercial zoning district.

Eric Johnson, Community Development Director, presented the application of applicant, Arola Architecture Studio, who is working with the owners of M Dental to develop the property in order to construct a 3,139 square foot dental office with 23 parking spaces. The project involves the construction of the building along with a shared driveway onto W Arrowhead Road; a paved bituminous parking lot with 23 spaces with room for future expansion of an additional 14 spaces; new landscaping; and stormwater facilities. In addition, a 1,500 square foot building expansion may be constructed at a future date.

A CIDP for this property was previously approved in 2022. CIDP approvals are valid for 1 year with the approved project needing to commence within that time period. The previous approval of a 2,750 square foot building was not acted upon with the 1 year period. In addition, the property owner is now proposing a larger building along with architecture that differs from the previous approval.

Motion made by Corey Kolquist to approve the application by Arola Architects for a Commercial Industrial Development Permit for the construction of a 3,139 square foot dental clinic and associated site improvements. Seconded by Valerie Ouellette. Motion carried 4 to 0.

**6. CONTINUING BUSINESS**

6A. Update from HKGI on Hermantown Comprehensive Plan

Eric Johnson, Community Development Directed introduced Jeff Miller, from HKGI, to present the Hermantown Comprehensive Plan Update to the board members.

**7. NEW BUSINESS**

7A. Discussion on Accessory Dwelling Units (ADU)

Eric discussed with the commission that city staff has gathered information from neighboring cities (different size communities as well), and they all allow ADU in some sort of fashion.

Eric pointed to some common threads with the ADU. Sizes vary from 350 sq. ft to 800 sq. ft., and utilities would be required.

**8. COMMUNICATIONS**

**9. COMMISSION MEMBER REPORTS**

Joe Peterson – None

Corey Kolquist – None

Valerie Ouellette – None

OPEN –

Beth Wentzlaff – None

Buckley Simmons – Absent

Dante Tomassoni – Absent

John Geissler – None

**ADJOURN**

Motion made by Valerie Ouellette to adjourn the meeting. Seconded by Beth Wentzlaff. Meeting adjourned at 8:31 pm.

Officiated by:

Transcribed by:

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Joe Peterson, Chairman

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Mary Melde, Administrative Assistant



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**5A. Stebner Road – Preliminary Planned Unit Development**

**Applicant:** Jay Zierden/BMAX, Inc.  
**Case No.:** 2024-01-PUD  
**Staff Contact:** Eric Johnson, Community Development Director  
**Request:** Approval of a Preliminary Planned Unit Development (PUD)

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**DESCRIPTION OF REQUEST:**

Applicant (Jay Zierden/BMAX, Inc.) is requesting approval of a Preliminary Planned Unit Development (PUD) for construction of a 10 twinhome (20 units total) on a 10 acre parcel located at 399x Stebner Road. The property is located in an R-3 zoning district.

**SITE INFORMATION:**

**Parcel Size:** 10 acres  
**Legal Access:** Stebner Road  
**Wetlands:** Yes, delineation approved in 2019  
**Existing Zoning:** R-3, Residential  
**Airport Overlay:** None  
**Shoreland Overlay:** None  
**Comprehensive Plan:** Suburban

**Development Details**

The Applicant is proposing to construct a 10 twinhome buildings (20 units total) on an existing 10 acre lot with access to Stebner Road. The proposed development consists of a 1050’ feet of public street with a 66’ right of way; a 5’ wide sidewalk on the north side of the street; a 4,800 square foot accessory/storage building and two pickleball courts.

**PUD Process:**

The City’s zoning regulations governing PUD’s require that each PUD obtain preliminary and final approval. The City’s Planned Unit Development ordinance states that PUDs over 4 units/acre and/or 5 acres in size are required to make separate Preliminary and Final PUD submissions.

The PUD review and approval process include a public hearing by the Planning Commission and a recommendation to the City Council. A PUD order will be issued by the City setting project specific development standards. Following completion of the development contract the applicant will be granted final Zoning approval and can begin construction, pending approval of the associated building permits.

Per Section 1105 of the Planned Unit Development section of the Zoning Ordinance, it requires that a PUD must provide public benefits to the surrounding neighborhood and to the city above and beyond what can be reasonably achieved by application of the zoning provisions applicable to the underlying zoning district. The nature and scale of public benefit shall be determined by the City and include, but not be limited to:

- 1.1 Preservation and enhancement of natural systems and resources, topography, vegetation, and other natural features. – This project proposes to preserve 3.4 acres of existing wetland on the property. The road design and building placement minimizes wetland impacts required for the project.
- 1.2 Provision of a variety of housing and community types. – The project proposes twinhome buildings which there is a general shortage of within the City.
- 1.3 Provision of recreational amenities including trails and parks. – The Project proposes two pickleball courts for the residents of the proposed community. There is also the ability to provide soft surface trails along the wetland areas for residents to walk on in addition to the proposed 5’ foot wide sidewalk.

**Zoning Analysis:**

The property is zoned R-3, Residential. The applicant has applied for a Planned Unit Development (PUD) for the property. A PUD is a permitted use in an R-3 zone district. Section 11 of the zoning ordinance explains that: ‘A PUD is intended to encourage a more efficient and creative use of land and development, more efficient and effective use of streets, utilities and public services; protection of natural resources; and more efficient and effective provision of recreational, public and open space than can be achieved through conventional development procedures.

The purpose of the PUD request is to allow for the creation of 10 twinhome buildings for a total of 20 units.

Setbacks

City Code allows a PUD to have standards that meet the City’s goals for each proposed development. These standards include building height, density, roadway widths and setbacks. The proposed project is for 10 twinhome buildings (20 units total). The applicant is proposing a minimum 7’ foot side yard setback, a 20’ foot front yard setback and a 40’ foot rear yard setback. The PUD allows for the setting of site specific setbacks.

| Table 1. R-3 Residential Requirements | R-3 Requirement            | Proposed Twinhome                 |
|---------------------------------------|----------------------------|-----------------------------------|
| Minimum lot area                      | ½ acre<br>(2 units/acre)   | 6,520 square feet<br>minimum      |
| Minimum lot width (at setback line)   | 100 feet                   | 50 foot minimum                   |
| Minimum front yard                    | 50 feet from public ROW    | 20’ from public ROW               |
| Minimum side yard                     | 10 feet, 25 feet aggregate | 7 feet minimum, 14 feet aggregate |

|                   |         |  |
|-------------------|---------|--|
| Minimum rear yard | 40 feet | 40' feet minimum                                       |
| Roadway ROW width | 66 feet | 66' Public ROW – 28' with curb, gutter and 5' sidewalk |

Plat

The Applicant is proposing to divide the property into 12 lots and 3 outlots. The applicant will need to submit a preliminary and final plat prepared by a registered land surveyor for the project.

Utilities

The Applicant has engaged a civil engineer to conduct this work with preliminary documents being submitted as part of the application. The work submitted include grading plans along with water and sanitary sewer plans.

The project proposes the extension of a sanitary sewer line from Stebner Road to provide sanitary sewer service to each building/lot.

The water main extension will connect from Stebner Road to provide water service to each building/lot.

Upon submittal of the Final PUD the applicant will be required to submit construction documents for review and approval by the City Engineer. Upon City acceptance, all utilities will be turned over to the City of Hermantown.

Stormwater

The Applicant is proposing a series of three ponds located throughout the site to accommodate the stormwater associated with the project. The applicant has engaged a civil engineer to conduct this work with preliminary documents being submitted as part of the application. Upon submittal of the Final PUD the applicant will be required to submit erosion and sediment control plan for construction and post-construction control of run-off. Bio-rolls, silt fencing and other Best Management Practices will be required in order to control runoff during construction.

The stormwater ponds are within the proposed outlot for the plat and will be turned over to the City upon completion and acceptance by the City Engineer.

Access

The project is proposed to be accessed from Stebner Road via a public street and right of way which terminates in a cul-de-sac. This road would be a public, 28 foot wide asphalt roadway with curb and gutter with a 5' foot width sidewalk along north side of the road.

The City is requiring a 66' right of way connection from the proposed cul-de-sac to the property to the east. The proposed site plan reflects this right of way connection.

The Applicant will be fully responsible to design and construct the proposed roads within the project to City standards. Upon completion and inspection by the City Engineer, the City will accept the road and maintain it from after time of acceptance.



### Wetlands

A wetland delineation was performed in the summer of 2019 in association with the Peyton Acres development. The plan envisions wetland impacts associated with the road construction, 1 building, 1 pond and the pickleball court. The applicant will be required to submit a wetland impact plan to the Hermantown Technical Evaluation Panel for their review and approval.

### Park Dedication Fees

The Applicant will be required to pay park dedication fees consistent with the requirements of the City Zoning Ordinance. A park dedication fee of \$1,100 per unit will be paid at the time of final PUD approval. Bedroom fees at the rate of \$150/bedroom will be paid at the time of building permit.

### **Summary**

Staff recommends approval of the Preliminary PUD based on the findings of this report and the following conditions

1. The proposed PUD meets the intent of the R-3, Residential Zoning District, Chapter 11 – Planned Unit Developments, and the overall goals and policies of the Zoning Ordinance.
2. The proposed development meets the Comprehensive Plan for residential development and standards of a Planned Unit Development by providing public benefit through enhanced and coordinated development design and a greater variety of housing types in the community.
3. The Planned Unit Development is hereby approved is hereby expressly subject to the following conditions:
  - 3.1 That the Project will be constructed as described in the plans accompanying the Application and the conditions contained herein.
  - 3.2 The Zoning Administrator of the City of Hermantown shall be notified at least five (5) days in advance of the commencement of the work authorized hereunder and shall be notified of its completion within five (5) days thereafter.
  - 3.3 No change shall be made in the Project without written permission being previously obtained from the City of Hermantown.
  - 3.4 Applicant shall grant access to the site at all reasonable times during and after construction to authorized representatives of the City of Hermantown for inspection of the Project to see that the terms of this permit are met.
  - 3.5 Applicant is initially and continually in compliance with all of the ordinances and regulations of the City of Hermantown.
  - 3.6 Trees and brush cannot be burned on the property, but may be chipped and shredded.
  - 3.7 An MPCA Stormwater Permit and erosion control measures must be in place prior to the start of operations.

3.8 All utility line easements shall be observed and any encroachment into the utility right-of-way shall only be permitted with the written approval of the utility.

3.9 The Applicant shall take measures to control erosion that has the potential to damage adjacent land, and control sedimentation that has the potential to leave the site.

4 Dimensional requirements of lots, setbacks, and rights-of-way shall be according to the attached site plan and table 1.

| Table 1. R-3 Residential Requirements | R-3 Requirement            | Proposed Twinhome                                      |
|---------------------------------------|----------------------------|--|
| Minimum lot area                      | ½ acre<br>(2 units/acre)   | 6,520 square feet<br>minimum                           |
| Minimum lot width (at setback line)   | 100 feet                   | 50 foot minimum  |
| Minimum front yard                    | 50 feet from public ROW    | 20' from public ROW                                    |
| Minimum side yard                     | 10 feet, 25 feet aggregate | 7 feet minimum, 14 feet aggregate                      |
| Minimum rear yard                     | 40 feet                    | 40' feet minimum                                       |
| Roadway ROW width                     | 66 feet                    | 66' Public ROW – 28' with curb, gutter and 5' sidewalk |

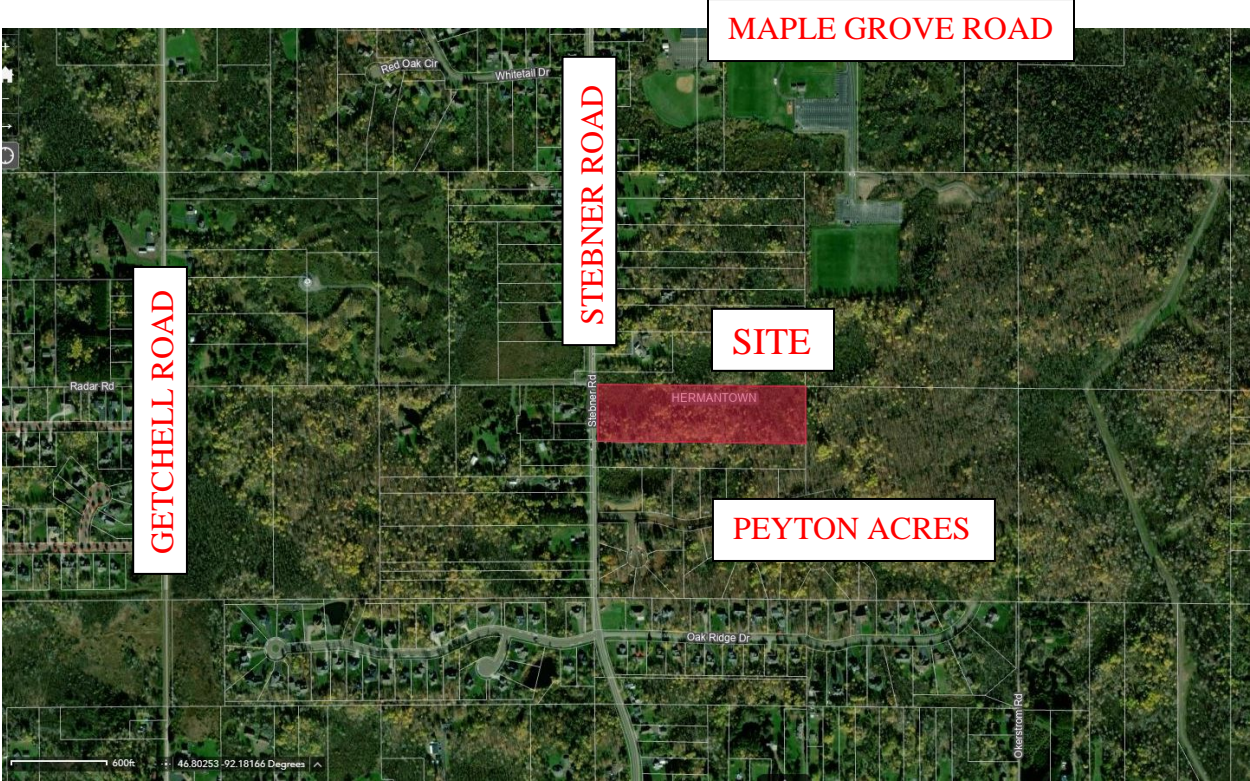
- 5 The Applicant will have one year from the date of the Final PUD approval to enter into a Development Agreement with the City.
- 6 Applicant to submit preliminary and final construction documents (water, storm sewer, sanitary sewer, roadway, etc.) according to City standards and coordinated with the City Engineer as part of the Final PUD process.
- 7 Applicant to submit a wetland impact plan to the Hermantown Technical Evaluation Panel for the review and approval of wetland impacts.
- 8 Installation of water and sanitary sewer shall require the Property Owner to enter into an agreement with the City governing the terms of such work. All utility plans shall be approved by the City Engineer. The City/Developer agreement shall specify the amount of a financial guarantee to be held by the City from the time of commencement of work until such a time as the City is prepared to accept as complete the new public infrastructure. All drainage and utility easements shall have associated easements. The Property Owner shall enter into a Development Agreement with the City for all public utilities.

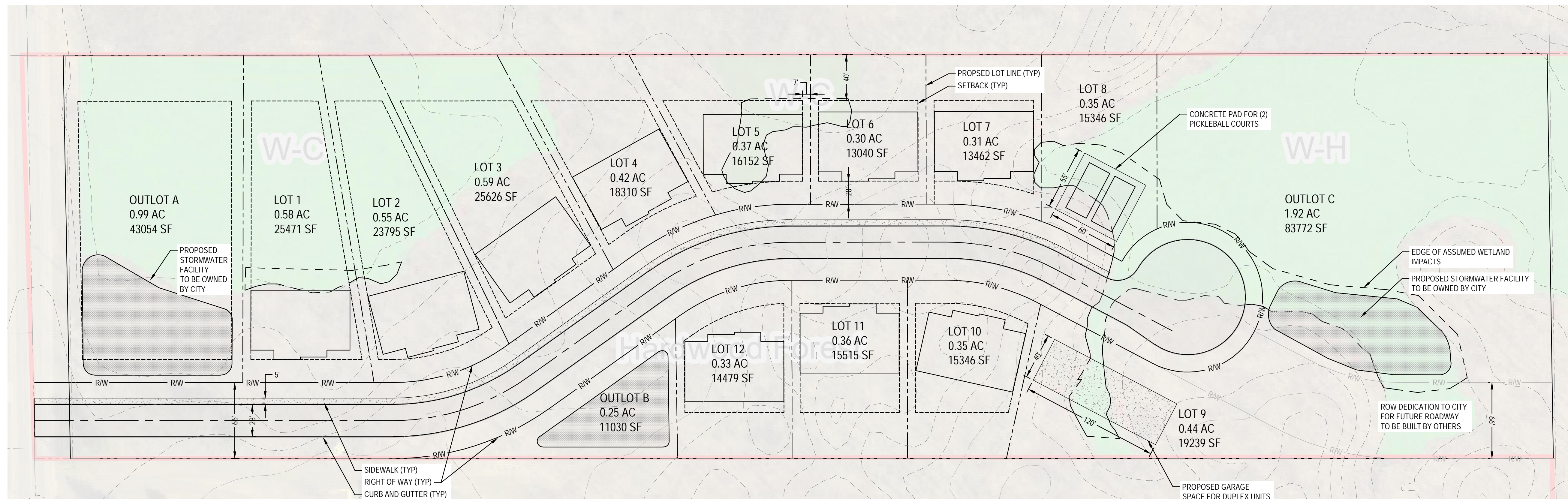
- 9 The Applicant shall sign a consent form assenting to all conditions of this approval.
- 10 The Applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.
- 11 The approval made by this resolution extends only to the Project as defined in this resolution.

**ATTACHMENTS:**

- Location Map
- Preliminary Site Plan
- Proposed Twinhome Building Example

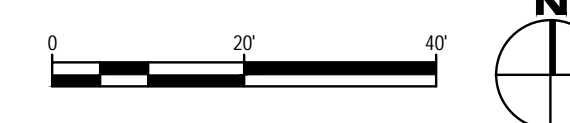
**Location Map**





PLAN

SCALE: 1" = 50'



**811**  
Know what's below.  
Call before you dig.

CALL 2 BUSINESS DAYS BEFORE YOU DIG.  
CAUTION: UTILITY INFORMATION IS APPROXIMATE.  
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

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|  |  |  |
|  |  |  |
|  |  |  |

LINE IS 1" ON FULL SCALE DRAWING

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Duluth + Minneapolis, MN  
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STEBNER MULTI-FAMILY  
TBD  
HERMANTOWN, MN  
PRELIMINARY SITE PLAN  
Project No: 23050  
Issue Date: 1/9/2024

SITE PLAN  
C100

Project Manager: EAS  
Drawn by: JAW  
Checked by: JED

ISSUED FOR PRELIMINARY SITE PLAN

**Twinhome Example**





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**5B. The Arbors of Maple Grove Preliminary PUD**

**Applicant:** JP Holding Company, LLC  
**Case No.:** 2020-55-PUD  
**Staff Contact:** Eric Johnson, Community Development Director  
**Request:** Preliminary application for 13 acre property, 36 lot/unit Planned Unit Development (PUD)

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**DESCRIPTION OF REQUEST**

Applicant is requesting approval of a Preliminary Planned Unit Development (PUD), to construct 18 single family lots and 9 twinhome buildings (18 units) on 13 acres in the R-3 Zoning District at 507x Maple Grove Road. The proposed development will contain 36 lots/units total.

**SITE INFORMATION**

**Lot Size:** 13 acres  
**Legal Access:** Maple Grove Road  
**Wetlands:** Yes, have been delineated and approved by the TEP  
**Existing Zoning:** R -3 Single Family Residential  
**Airport Overlay:** Zone 3, structure height restrictions only  
**Shoreland Overlay:** No  
**Comprehensive Plan:** Residential

**Background**

JP Holding Company (Applicant) is the property owner associated with this 13 acre property. The applicant is proposing the Arbors of Maple Grove project which consists of 18 single family lots and 9 twinhomes (18 units). The site is currently undeveloped with topography rising from the south to the north and contains a mixture of trees and open grassland area. The City's trunkline sanitary sewer runs along the western boundary of the property. The site has access from Maple Grove Road to the south and is providing a future road connection to the north. There are wetlands present on the property which have been delineated and have received TEP approval for impacts associated with the road construction.

This property currently has an approved preliminary PUD associated with it. In 2021, the City approved a preliminary PUD for a 103 unit, 4 story apartment building. In discussions with the applicant, there is the desire to move away from the apartment and instead pursue a small lot single family home development along with twinhomes. Assuming this project is recommended by the Planning and Zoning Commission and approved by the City Council, the previously approved preliminary PUD for this property will be voided.

The proposed project consists of 18 single family lots with a minimum dimension of 55' x 125' and a minimum square footage of 6,875 square feet. In addition, there are 9 twinhome buildings (18 units total) with a minimum lot size of 40' x 113.5' and minimum lot size of 4,540 square feet for each individual unit lot.

The single family homes are projected to be approximately 1,750 square feet with a two car garage. Each twinhome are projected to be approximately 1,300 square feet. There may be some twinhome units with walk-out basements which could increase the square footage to 2,200 square feet. Each twinhome will have a two car garage as well.

### **PUD Process**

The City's zoning regulations governing PUD's require that each PUD obtain preliminary and final approval. The City's Planned Unit Development ordinance states that PUDs over 4 units/acre and/or 5 acres in size are required to make separate Preliminary and Final PUD submissions.

The PUD review and approval process include a public hearing by the Planning Commission and a recommendation to the City Council. A PUD order will be issued by the City setting project specific development standards. Following completion of the development contract the applicant will be granted final Zoning approval and can begin construction, pending approval of the associated building permits.

Per Section 1105 of the Planned Unit Development section of the Zoning Ordinance, it requires that a PUD must provide public benefits to the surrounding neighborhood and to the city above and beyond what can be reasonably achieved by application of the zoning provisions applicable to the underlying zoning district. The nature and scale of public benefit shall be determined by the City and include, but not be limited to:

- 1.1 Preservation and enhancement of natural systems and resources, topography, vegetation, and other natural features. – This project proposes to preserve 3.4 acres of existing wetland on the property. The road design and building placement minimizes wetland impacts required for the project.
- 1.2 Provision of a variety of housing and community types. – The project proposes small lot single family lots and twinhome buildings which there is a general shortage of within the City.
- 1.3 Provision of recreational amenities including trails and parks. – The Project proposes a small 'pocket park' within the development which is for public use. Elements within the park include a playground and swings as well as a ½ court basketball and picnic table and benches. In addition, there is a proposed 5' foot wide sidewalk from Maple Grove Road running to the north which has the ability to connect to a future City wide trail.

### **Zoning Analysis**

The PUD process allows the City Council to modify any provisions of the underlying zoning district if the PUD is consistent with the Comprehensive Plan and provides a public benefit. Modifying the standards through the PUD process is appropriate for the development of this project as it seeks to develop a mixed residential use community consisting of small lot single family lots and twinhome properties.



Setbacks

Proposed setbacks vary from the standards of the R-3 Zoning District. Depicted on the attached exhibits, the setbacks reflect a site design that will allow for a creative use of the site subject to existing constraints such as site access.

Typical setback standards in the R-3 Zoning District for single family residential homes and proposed setbacks are shown in Table 1:

| Table 1. R-3 Residential Requirements | R-3 Requirement            | Proposed Single Family                                 | Proposed Twinhome                                      |
|---------------------------------------|----------------------------|--|--|
| Minimum lot area                      | ½ acre (2 units/acre)      | 6,270 square feet minimum                              | 4,540 square feet minimum                              |
| Minimum lot width (at setback line)   | 100 feet                   | 55 foot minimum  | 40 foot minimum  |
| Minimum front yard                    | 50 feet from public ROW    | 20' minimum from ROW                                   | 25' from ROW   |
| Minimum side yard                     | 10 feet, 25 feet aggregate | 7.5 feet minimum, 15 feet aggregate                    | 7.5 feet minimum, 15 feet aggregate                    |
| Minimum rear yard                     | 40 feet                    | 40 feet  | 25' feet minimum                                       |
| Roadway ROW width                     | 66 feet                    | 66' Public ROW – 28' with curb, gutter and 5' sidewalk | 66' Public ROW – 28' with curb, gutter and 5' sidewalk |

Stormwater

The proposed plan shows two stormwater ponds for the development. Stormwater will be collected through a curb and gutter system for the roadway and directed to retention ponds. Most of the stormwater however will sheet flow through yards until it eventually reaches the ponds, ditches, or wetlands. The applicant’s engineer is required to provide stormwater calculations for the proposed project which will be reviewed and approved by the City Engineer.

The City will require that both ponds be placed in outlots, with the outlots being dedicated to the City for the ownership and maintenance of the stormwater ponds.

Utilities

The Applicant will connect all lots on the site to City sewer and water systems. The property owner will provide final engineered plans for utility connections prior to beginning such work on the site. Detailed plans for new public utilities will be reviewed and approved by the City Engineer prior to issuance of the building permits. No new public utilities will be accepted by the City until reviewed by the City Engineer and accepted by resolution of the City Council. All new public utilities must be placed in a public utility easement. The applicant is required to pay all applicable connection and availability fees associated with the utility work.

### Platting

The Applicant is proposing to divide the property into 36 lots and 3 outlots. The applicant will need to submit a preliminary and final plat prepared by a registered land surveyor for the project.

### Driveway, Parking, and Traffic

The Applicant plans to construct a public, 28-foot-wide asphalt roadway with curb and gutter from Maple Grove Road north into the site approximately 1000 feet. This road would have a 66' public right of way associated with it and would generally follow the existing sanitary sewer easement existing on the property. The proposed lots/units will be accessed by another public right of way/road with two intersections to the north/south main road.

City staff has discussed this overall area with the St. Louis County Traffic Engineer. Per their original recommendation, the Pillars of Hermantown project and this proposed project share the same road/intersection with Maple Grove Road in order to minimize the number of intersection points onto Maple Grove Road. As part of the previously approved apartment project, the applicant engaged a Traffic Engineer to conduct a study of the development which is included in the application. Since this proposed project has less lots/units than the previously approved project, there should be less trips associated with the proposed project.

The Applicant is proposing an internal sidewalk system for the project. This sidewalk system will connect to the existing sidewalk along Maple Grove Road and could be extended in the future to the north in order to access a future trail system by the City.

### Park Dedication Fees

The Applicant will be required to pay park dedication fees consistent with the requirements of the City Zoning Ordinance. A park dedication fee of \$1,100 per lot/unit will be paid at the time of final PUD approval. Bedroom fees at the rate of \$150/bedroom will be paid at the time of building permit.

### Stormwater Utility Fees

Upon the completion of each new home, the homeowner will be required to pay the monthly stormwater utility fee associated with each parcel for the single family lots and twinhome units.

### **Summary**

Staff recommends approval of the Preliminary Planned Unit Development (PUD), to construct 18 single family lots and 9 twinhome buildings (18 units) on 13 acres in the R-3 Zoning District at 507x Maple Grove Road with the following conditions:

1. The proposed PUD meets the intent of the R-3, Residential Zoning District, Chapter 11 – Planned Unit Developments, and the overall goals and policies of the Zoning Ordinance.
2. The proposed development meets the Comprehensive Plan for residential development and standards of a Planned Unit Development by providing public benefit through enhanced and coordinated development design and a greater variety of housing types in the community.
3. The Planned Unit Development is hereby approved is hereby expressly subject to the following conditions:

- 3.1 That the Project will be constructed as described in the plans accompanying the Application and the conditions contained herein.
- 3.2 The Zoning Administrator of the City of Hermantown shall be notified at least five (5) days in advance of the commencement of the work authorized hereunder and shall be notified of its completion within five (5) days thereafter.
- 3.3 No change shall be made in the Project without written permission being previously obtained from the City of Hermantown.
- 3.4 Applicant shall grant access to the site at all reasonable times during and after construction to authorized representatives of the City of Hermantown for inspection of the Project to see that the terms of this permit are met.
- 3.5 Applicant is initially and continually in compliance with all of the ordinances and regulations of the City of Hermantown.
- 3.6 Trees and brush cannot be burned on the property, but may be chipped and shredded.
- 3.7 An MPCA Stormwater Permit and erosion control measures must be in place prior to the start of operations.
- 3.8 All utility line easements shall be observed and any encroachment into the utility right-of-way shall only be permitted with the written approval of the utility.
- 3.9 The Applicant shall take measures to control erosion that has the potential to damage adjacent land, and control sedimentation that has the potential to leave the site.

4 Dimensional requirements of lots, setbacks, and rights-of-way shall be according to the attached site plan and table 1.

| Table 1. R-3 Residential Requirements | R-3 Requirement            | Proposed Single Family              | Proposed Twinhome                   |
|---------------------------------------|----------------------------|-------------------------------------|-------------------------------------|
| Minimum lot area                      | ½ acre<br>(2 units/acre)   | 6,270 square feet<br>minimum        | 4,540 square feet<br>minimum        |
| Minimum lot width (at setback line)   | 100 feet                   | 55 foot minimum                     | 40 foot minimum                     |
| Minimum front yard                    | 50 feet from public ROW    | 20' minimum from ROW                | 25' from ROW                        |
| Minimum side yard                     | 10 feet, 25 feet aggregate | 7.5 feet minimum, 15 feet aggregate | 7.5 feet minimum, 15 feet aggregate |
| Minimum rear yard                     | 40 feet                    | 40 feet                             | 25' feet minimum                    |

|                   |         |  |  |
|-------------------|---------|--|--|
| Roadway ROW width | 66 feet | 66' Public ROW – 28' with curb, gutter and 5' sidewalk | 66' Public ROW – 28' with curb, gutter and 5' sidewalk |
|-------------------|---------|--|--|

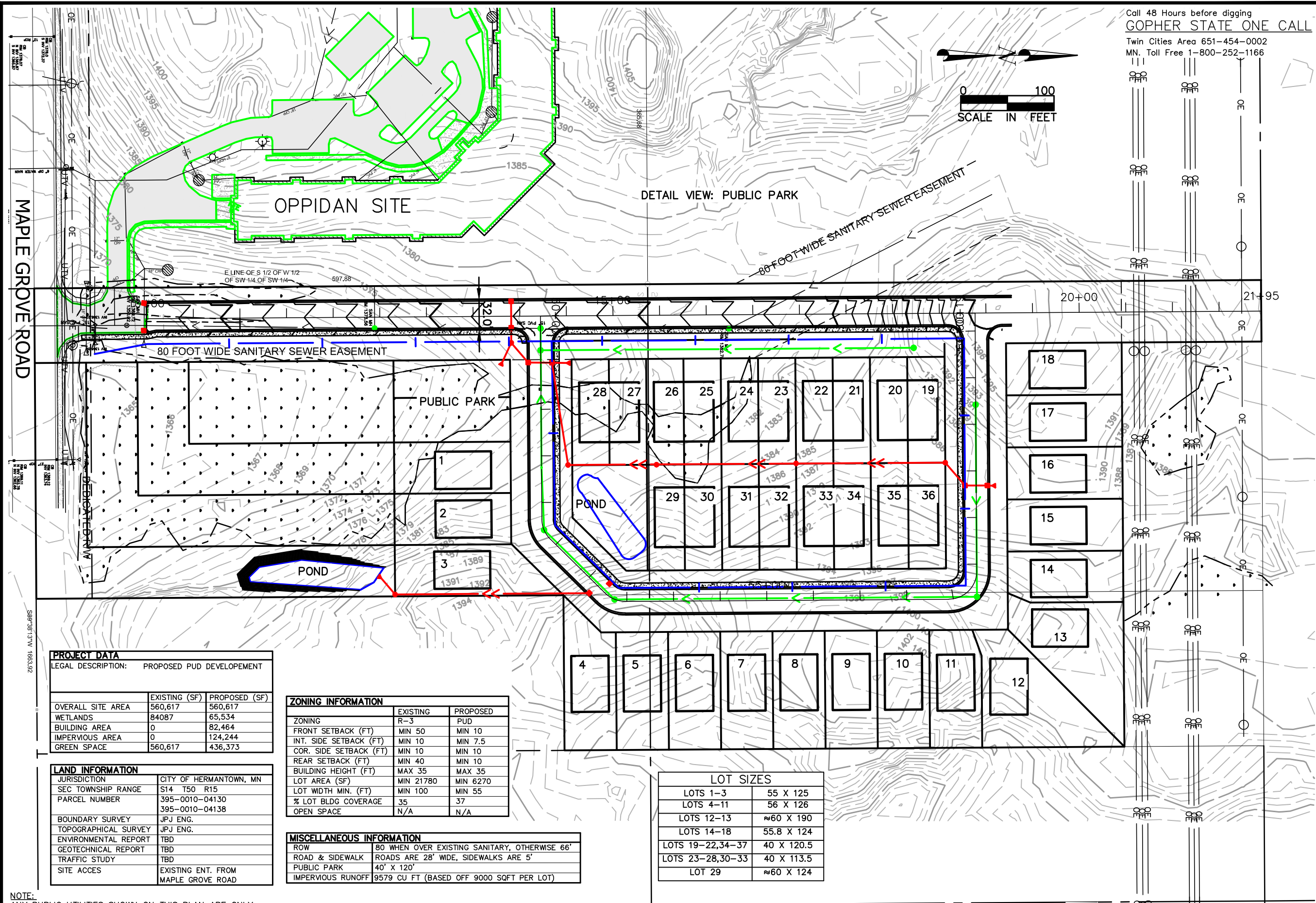
- 5 The Applicant will have one year from the date of the Final PUD approval to enter into a Development Agreement with the City.
- 6 Applicant to submit preliminary and final construction documents (water, storm sewer, sanitary sewer, roadway, etc.) according to City standards and coordinated with the City Engineer as part of the Final PUD process.
- 7 Applicant to submit a wetland impact plan to the Hermantown Technical Evaluation Panel for the review and approval of wetland impacts.
- 8 Installation of water and sanitary sewer shall require the Property Owner to enter into an agreement with the City governing the terms of such work. All utility plans shall be approved by the City Engineer. The City/Developer agreement shall specify the amount of a financial guarantee to be held by the City from the time of commencement of work until such a time as the City is prepared to accept as complete the new public infrastructure. All drainage and utility easements shall have associated easements. The Property Owner shall enter into a Development Agreement with the City for all public utilities.
- 9 The Applicant shall sign a consent form assenting to all conditions of this approval.
- 10 The Applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.
- 11 The approval made by this resolution extends only to the Project as defined in this resolution.

**ATTACHMENTS:**

- Location Map
- Site Plan
- Single Family Home Elevation
- Twinhome Elevation

**Location Map**





Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166



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 (218) 720-6219

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MAPLE GROVE ROAD  
 JAMES PATRICK PROPOSAL  
 HERMANTOWN, MINNESOTA

SITE PLAN

| REVISION DATE: | DESCRIPTION: |
|----------------|--------------|
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|          |     |
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| SURVEYED |     |
| DESIGNED | JPJ |
| DRAWN    |     |
| CHECKED  |     |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

**PRELIMINARY**

DATE \_\_\_\_\_ LIC. NO. \_\_\_\_\_

24-280  
 PROJECT NO.

C1.00

| PROJECT DATA       |                          |               |
|--------------------|--------------------------|---------------|
| LEGAL DESCRIPTION: | PROPOSED PUD DEVELOPMENT |               |
| OVERALL SITE AREA  | EXISTING (SF)            | PROPOSED (SF) |
| WETLANDS           | 84087                    | 65,534        |
| BUILDING AREA      | 0                        | 82,464        |
| IMPERVIOUS AREA    | 0                        | 124,244       |
| GREEN SPACE        | 560,617                  | 436,373       |

| LAND INFORMATION     |                                     |
|----------------------|-------------------------------------|
| JURISDICTION         | CITY OF HERMANTOWN, MN              |
| SEC TOWNSHIP RANGE   | S14 T50 R15                         |
| PARCEL NUMBER        | 395-0010-04130<br>395-0010-04138    |
| BOUNDARY SURVEY      | JPJ ENG.                            |
| TOPOGRAPHICAL SURVEY | JPJ ENG.                            |
| ENVIRONMENTAL REPORT | TBD                                 |
| GEOTECHNICAL REPORT  | TBD                                 |
| TRAFFIC STUDY        | TBD                                 |
| SITE ACCES           | EXISTING ENT. FROM MAPLE GROVE ROAD |

| ZONING INFORMATION     |           |          |
|------------------------|-----------|----------|
| ZONING                 | EXISTING  | PROPOSED |
| FRONT SETBACK (FT)     | MIN 50    | MIN 10   |
| INT. SIDE SETBACK (FT) | MIN 10    | MIN 7.5  |
| COR. SIDE SETBACK (FT) | MIN 10    | MIN 10   |
| REAR SETBACK (FT)      | MIN 40    | MIN 10   |
| BUILDING HEIGHT (FT)   | MAX 35    | MAX 35   |
| LOT AREA (SF)          | MIN 21780 | MIN 6270 |
| LOT WIDTH MIN. (FT)    | MIN 100   | MIN 55   |
| % LOT BLDG COVERAGE    | 35        | 37       |
| OPEN SPACE             | N/A       | N/A      |

| MISCELLANEOUS INFORMATION |   |
|---------------------------|---|
| ROW                       | 80 WHEN OVER EXISTING SANITARY, OTHERWISE 66' |
| ROAD & SIDEWALK           | ROADS ARE 28' WIDE, SIDEWALKS ARE 5'          |
| PUBLIC PARK               | 40' X 120'                                    |
| IMPERVIOUS RUNOFF         | 9579 CU FT (BASED OFF 9000 SQFT PER LOT)      |

| LOT SIZES        |            |
|------------------|------------|
| LOTS 1-3         | 55 X 125   |
| LOTS 4-11        | 56 X 126   |
| LOTS 12-13       | ~60 X 190  |
| LOTS 14-18       | 55.8 X 124 |
| LOTS 19-22,34-37 | 40 X 120.5 |
| LOTS 23-28,30-33 | 40 X 113.5 |
| LOT 29           | ~60 X 124  |

NOTE:  
 ANY PUBLIC UTILITIES SHOWN ON THIS PLAN ARE ONLY APPROXIMATE IN DEPTH AND LOCATION AND MUST BE VERIFIED BY THE CONTRACTOR.

OTHER UTILITIES MAY EXIST AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SUCH.

NOTE:  
 THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

Feb 09, 2024, 3:51pm  
 T:\James Patrick Development\24-280 Arbors of Maple Grove\3.dwg\300\24-280 duplex bo.dwg





711

712



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**5C. 438x Sundby Road – Commercial Industrial Development Permit (CIDP)**

**Applicant:** Hage and Co.  
**Case No.:** 2023-33-CIDP  
**Staff Contact:** Eric Johnson, Community Development Director  
**Request:** Approve a Commercial Industrial Development Permit with conditions for a 72,000 square foot warehouse development with associated site improvements.

---

**RECOMMENDED ACTION:**

Approve a Commercial Industrial Development Permit with conditions for a 72,000 square foot warehouse development with associated site improvements for Hage and Co. (Applicant). The property is located at 438x Sundby Road and is located in a BLM, Business and Light Manufacturing zoning district.

**DESCRIPTION OF REQUEST:**

The Applicant is proposing to construct a 72,000 square foot building for the purpose of providing indoor storage in an area of close proximity to the Duluth International Airport. The proposed building is a 2 story building, 30 feet in height with a footprint of 120' x 600' (72,000 SF).

This building proposes 51 - 20' x 45' storage units on the first floor. The second floor contains 332 - 10' x 12' storage units accessed by way of stairs and an elevator.

The site has access from Airbase Road and Sundby Road via a proposed driveway entrances.

**SITE INFORMATION:**

**Parcel Size:** 3.24 acres  
**Legal Access:** 438x Sundby Road  
**Wetlands:** Yes, delineated in June 2023  
**Existing Zoning:** BLM, Business and Light Manufacturing  
**Airport Overlay:** Zone 3  
**Shoreland Overlay:** N/A  
**Comprehensive Plan:** Commercial

**ZONING ANALYSIS:**

| Zoning District: BLM, Business and Light Manufacturing |                            |                                |
|--|----------------------------|--------------------------------|
| Type   | Required                   | Proposed                       |
| Min Lot Area   | None                       | 3.24 acres                     |
| Lot Width  | 100 feet                   | 164 feet along Sundby Road ROW |
| Front Yard   | 20 feet ROW                | Minimum 60 feet                |
| Rear Yard  | 20 feet                    | 40 feet                        |
| Side Yard  | 20 feet                    | Minimum 20 feet                |
| Lot coverage   | 35%                        | 51%                            |
| Maximum Building Height                                | 80 feet                    | 30 feet                        |
| Parking  | 1 space/employee per shift | 25 parking spaces              |

Stormwater Management

Stormwater from buildings will be routed to a wet sediment storm pond for rate control of storm runoff on the east side of the building. In addition, there is an underground storm chamber located under the paved surface on the east side of the building. Surface water will run across landscaped areas (grass and/or planting beds) for treatment of on-site while maximizing amounts to be routed through wet sediment pond prior to discharge.

The applicant has submitted preliminary engineering plans locating the proposed stormwater treatment system and its proposed size. The applicant will need to submit final engineering plans and stormwater calculations in order to receive a MS4 Statement of Compliance Erosion Control Permit from the City Engineer before issuance of the Commercial Industrial Development Permit.

Access

The site is accessed from Airbase Road and Sundby Road via a proposed driveway entrances. The applicant will need to coordinate Hermantown Public Works on the driveway/culvert design and placement.

Utilities

Water service is available from the Airbase Road right of way. The applicant’s engineer has submitted preliminary utility drawings for the project and will be required to submit final engineering documents and receive approval by the City Engineer before issuance of the Commercial Industrial Development Permit.

Building Architecture

The proposed building is 72,000 square feet in size and approximately 30 feet in height. The façade is comprised of concrete tip up panels with aluminum doors and windows. There is 1 loading dock style door and 4 drive thru based doors along with 1 entry door. In addition, there are 10 proposed windows on the second floor of the building.

Sign permit will need to be applied for under a separate application with the City Building Official.

The trash area is located within the interior of the building.

Wetlands

The property had a wetland delineation performed in June 2023. There is an existing wetland located in the middle of the property which bisects it in half and will be impacted by the driveway between the 2 buildings. The applicant has submitted an application for these impacts to the Hermantown Technical Evaluation Panel with the impacts being approved by the TEP.

## **SUMMARY AND RECOMMENDATION:**

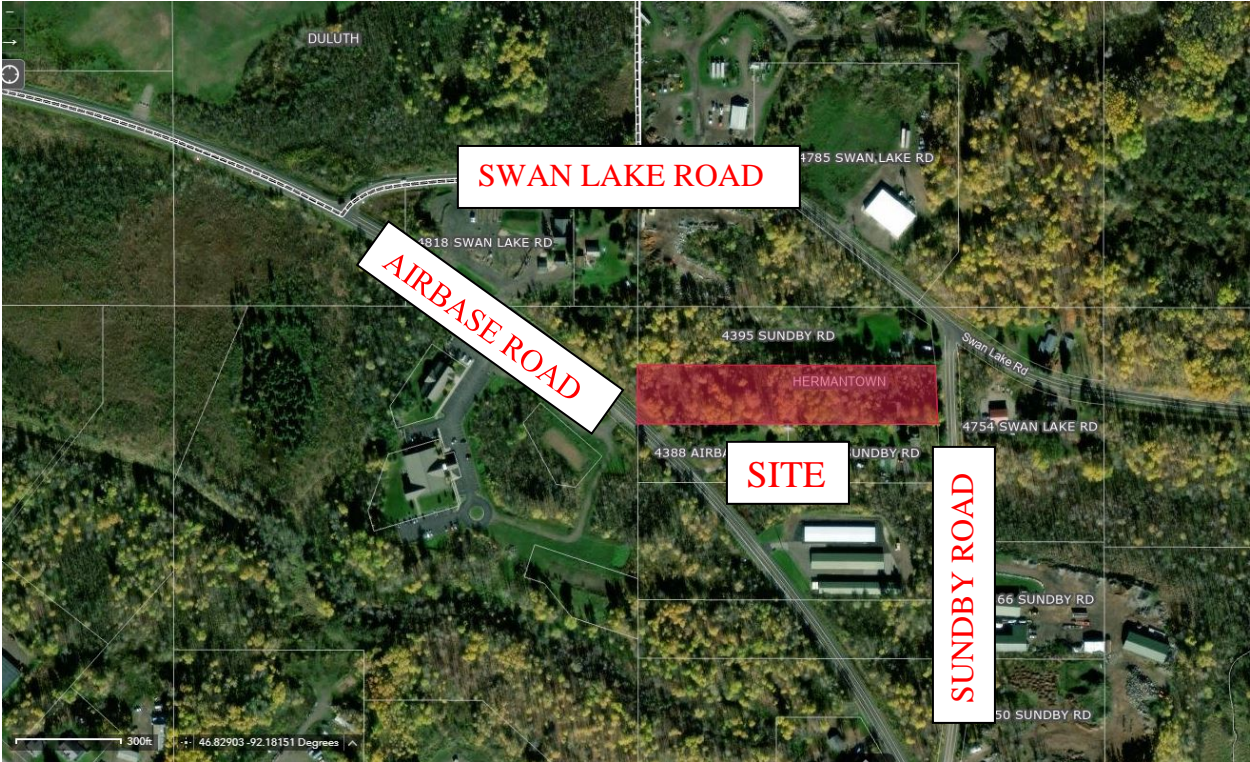
Staff recommends approval of the Commercial Industrial Development Permit based on the findings set forth in the Staff report, subject to the following conditions:

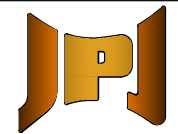
1. The applicant is seeking to construct a 72,000 square feet of warehouse space with associated site improvements. Upon City staff approval of the final site engineering and architectural plans, staff will then issue a final Commercial Industrial Development Permit (CIDP).
2. The proposal meets the requirements of Section 535, “BLM, Business and Light Manufacturing” of the Hermantown Zoning Ordinance.
3. The proposal meets the requirements of Chapter 8, “Commercial-Industrial Development Permits” of the Hermantown Zoning Ordinance.
4. A wetland delineation has been performed with wetland impacts requiring approval by the Hermantown Technical Evaluation Panel.
5. A Special Use Permit for the use (warehouse) and lot coverage are required in order to issue a final Commercial Industrial Development Permit (CIDP).
6. Prior to issuance of the CIDP, the applicant shall submit final Stormwater and Erosion and Sediment Control Plans and computations as well as receive a MS4 Statement of Compliance from the City Engineer.
7. The applicant shall sign a consent form assenting to all conditions of this approval.
8. The applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.

## **ATTACHMENTS:**

- Site Location Map
- Proposed Site Plan
- First Floor Plan
- Second Floor Plan
- Proposed Grading Plan
- Proposed Landscape Plan
- Proposed Building Images

**Location Map**





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Land Surveying  
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(218) 720-6219

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HAGE & CO  
4389 SUNDBY ROAD  
HERMANTOWN, MINNESOTA

SITE PLAN

| REVISION DATE: | DESCRIPTION: |
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| SURVEYED |     |
| DESIGNED | JPJ |
| DRAWN    | BSM |
| CHECKED  |     |

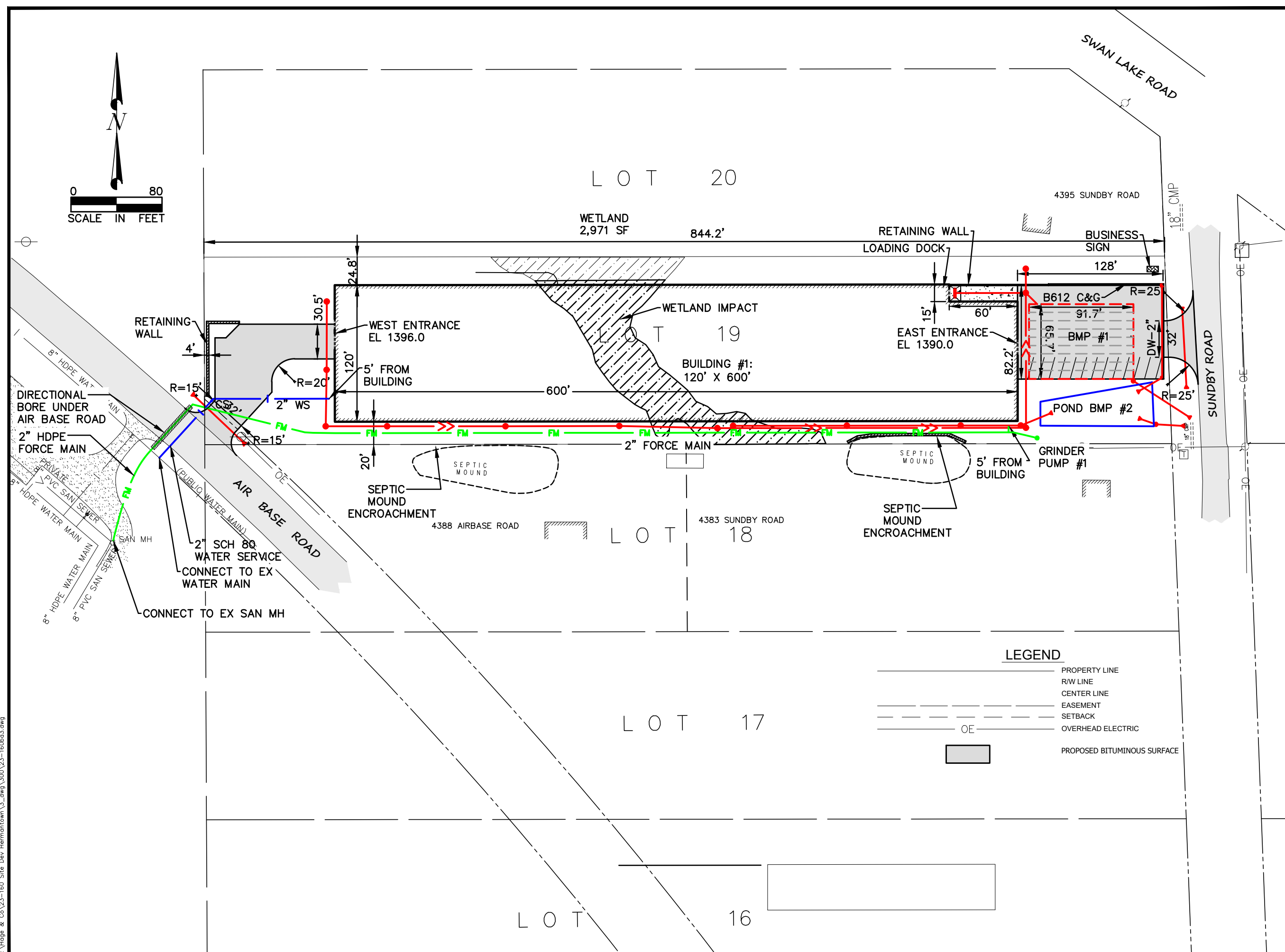
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

**PRELIMINARY**

JOHN P. JAMNICK, P.E.

DATE \_\_\_\_\_ LIC. NO. 19907

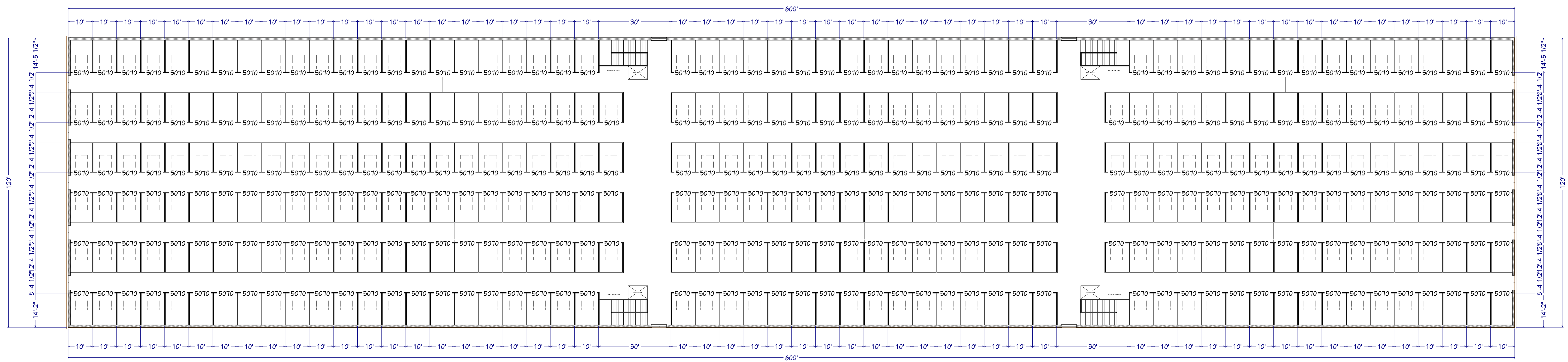
23-160 PROJECT NO. C1.00



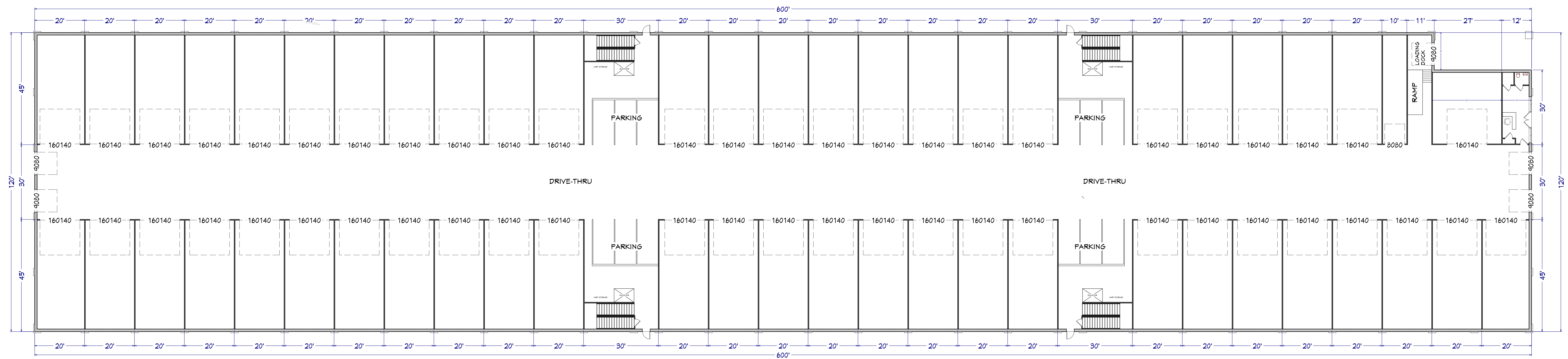
LEGEND

- PROPERTY LINE
- R/W LINE
- CENTER LINE
- EASEMENT
- SETBACK
- OE ----- OVERHEAD ELECTRIC
- █ PROPOSED BITUMINOUS SURFACE

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



**SECOND FLOOR PLAN**  
1/16"=1'0"



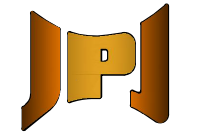
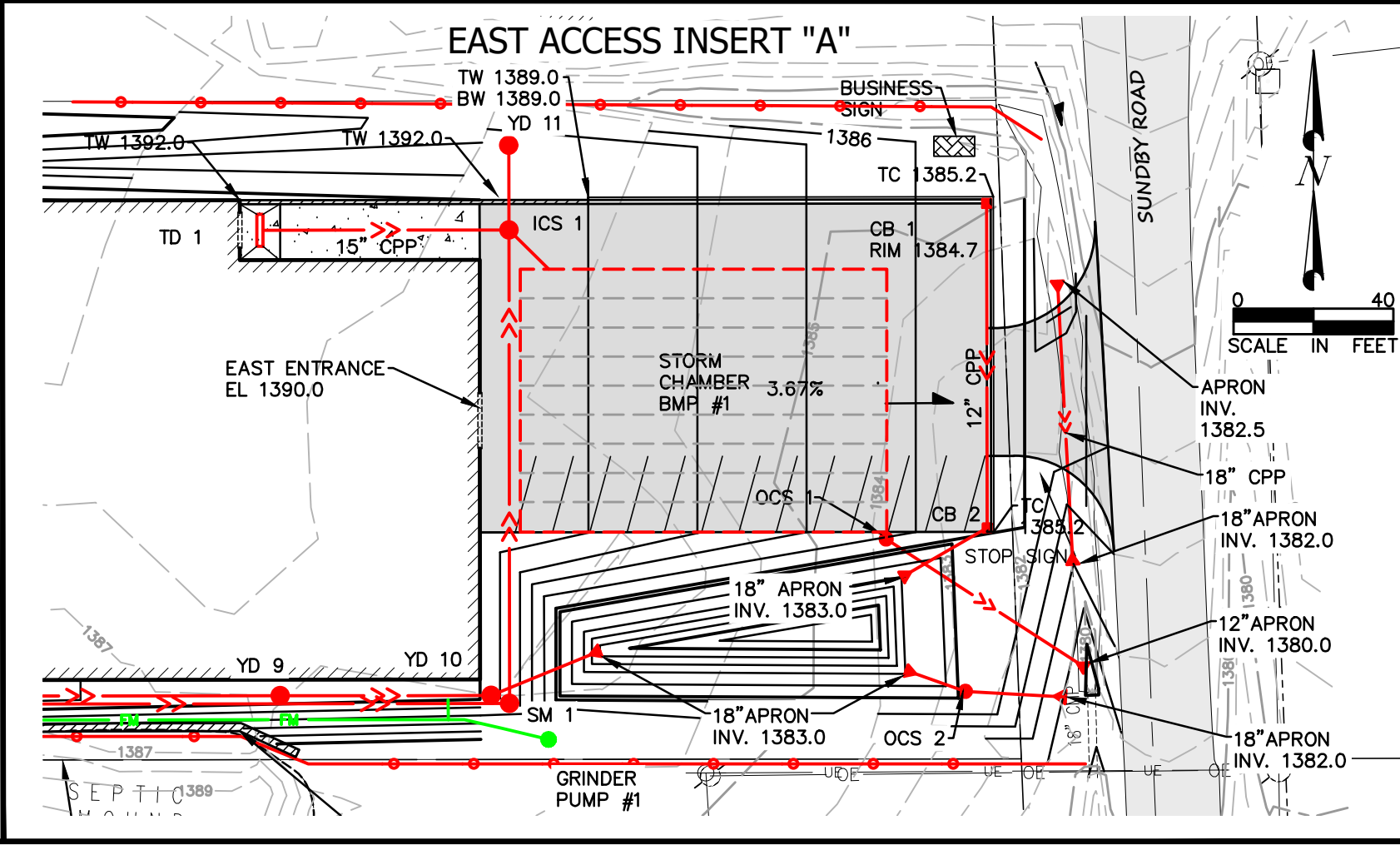
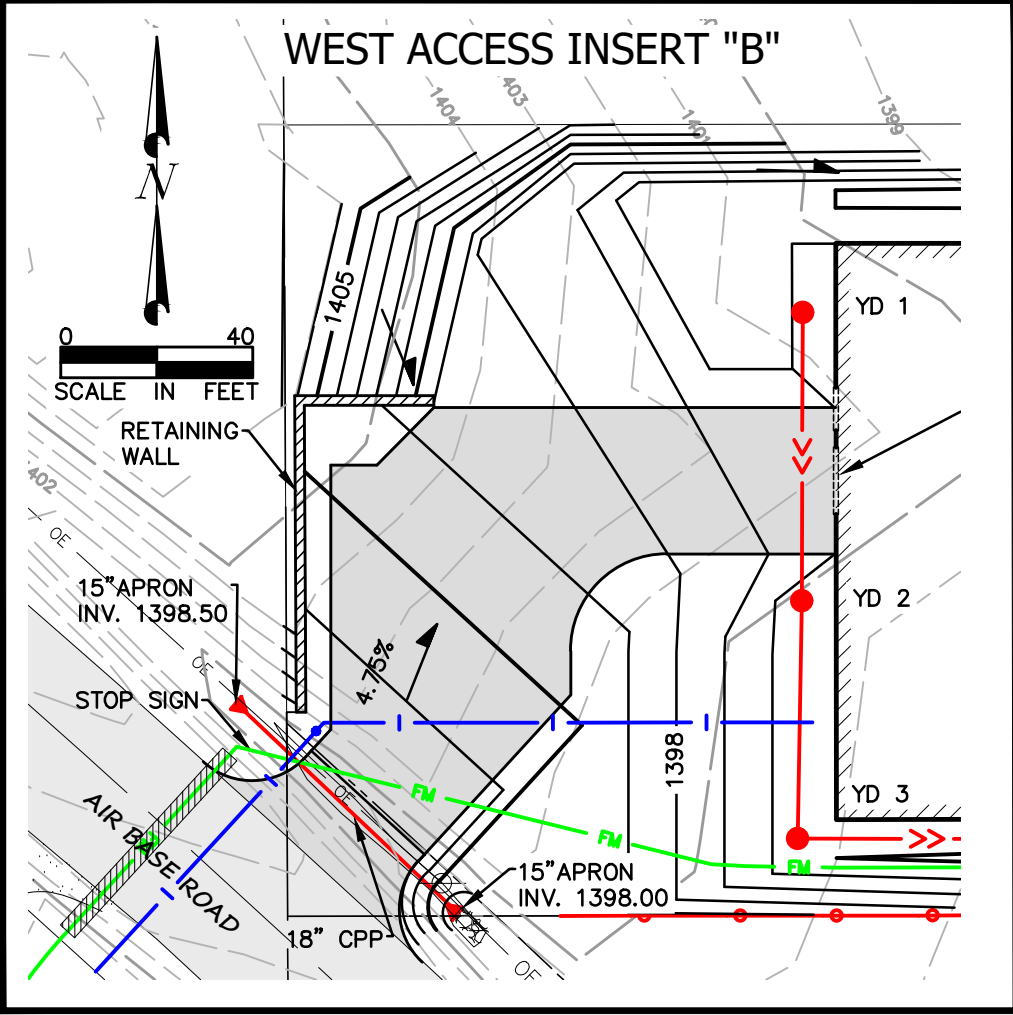
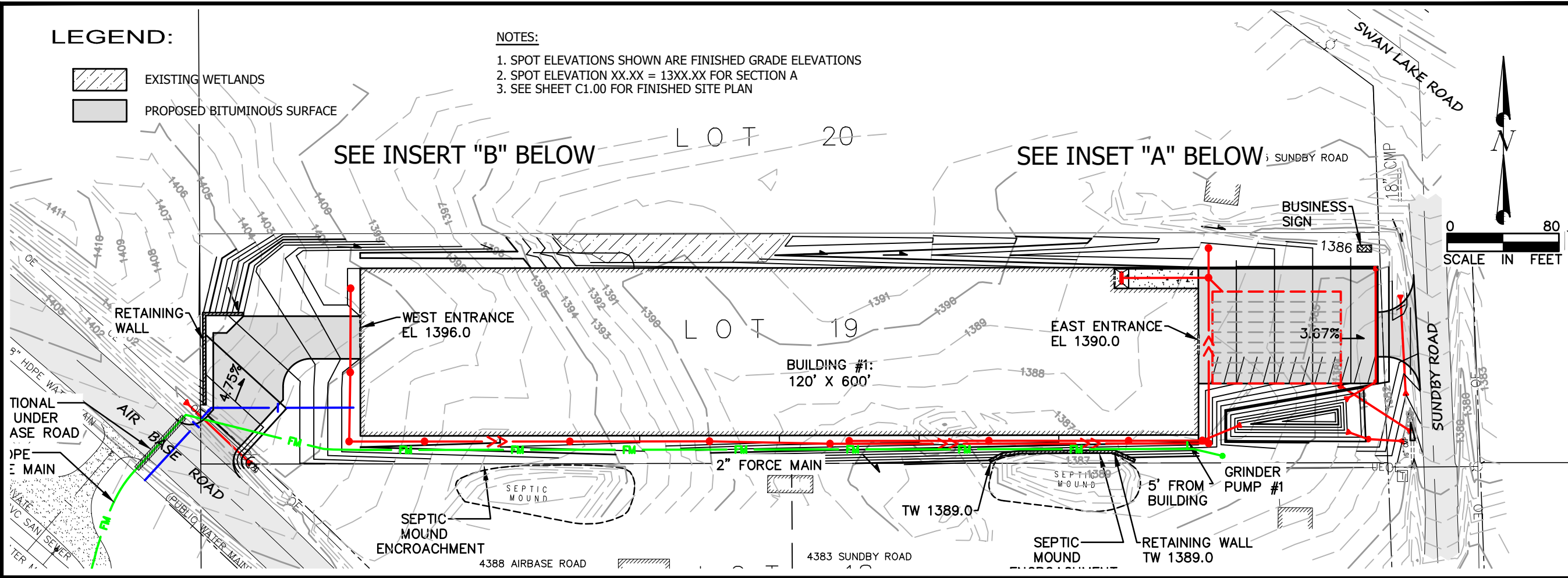
**MAIN FLOOR PLAN**  
1/16"=1'0"

**LEGEND:**

-  EXISTING WETLANDS
-  PROPOSED BITUMINOUS SURFACE

**NOTES:**

1. SPOT ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS
2. SPOT ELEVATION XX.XX = 13XX.XX FOR SECTION A
3. SEE SHEET C1.00 FOR FINISHED SITE PLAN



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HAGE & CO  
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HERMANTOWN, MINNESOTA

**GRADING PLAN**

| REVISION DATE: | DESCRIPTION: |
|----------------|--------------|
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SURVEYED  
DESIGNED JPJ  
DRAWN BSM  
CHECKED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

**PRELIMINARY**

JOHN P. JAMNICK, P.E.

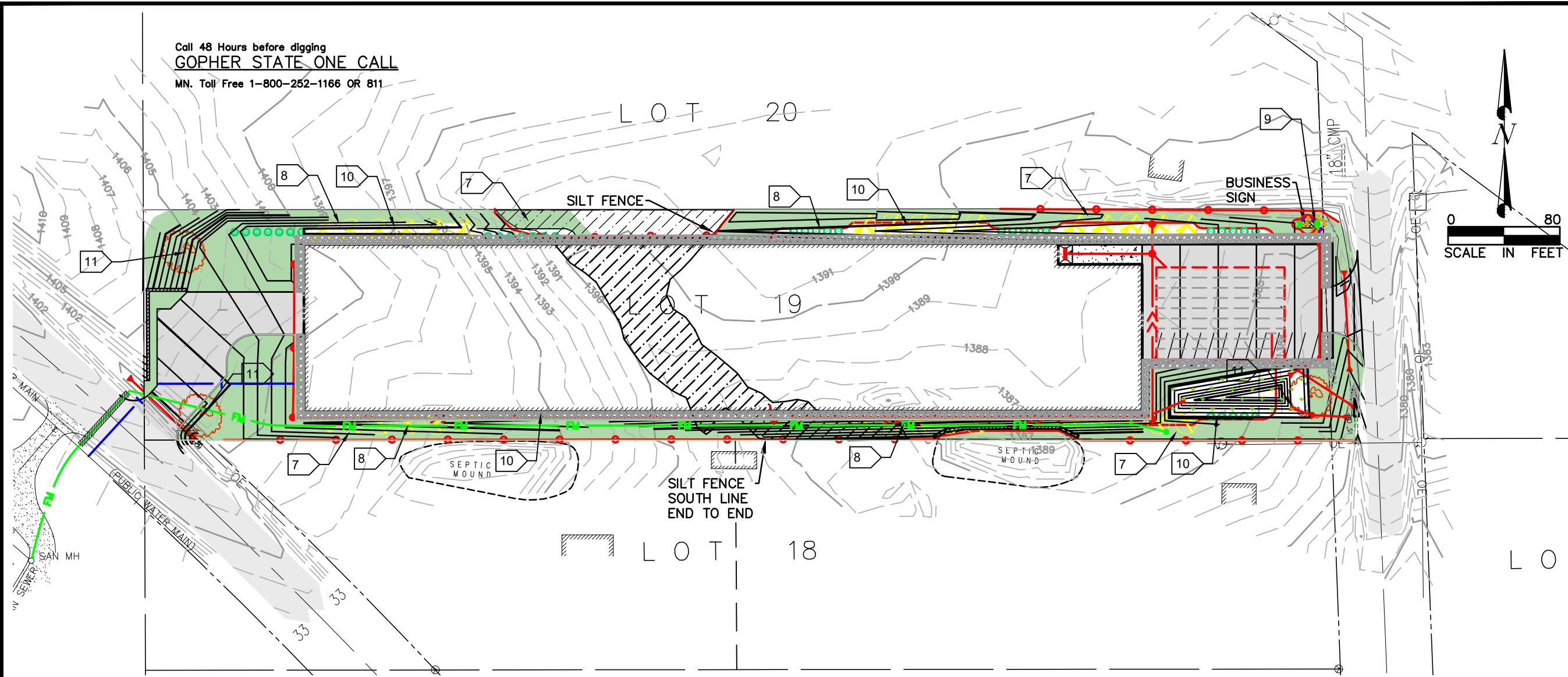
DATE \_\_\_\_\_ LIC. NO. 19907

23-160  
PROJECT NO.

C2.00

Feb 09, 2024 3:23pm  
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Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 MN. Toll Free 1-800-252-1166 OR 811



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HAGE & CO  
 SUNDBY ROAD STORAGE LLC  
 HERMANTOWN, MINNESOTA

SWPPP  
 EROSION CONTROL  
 LANDSCAPE PLAN

| REVISION DATE: | DESCRIPTION: |
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SURVEYED  
 DESIGNED  
 DRAWN AAP  
 CHECKED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

**PRELIMINARY**

DATE \_\_\_\_\_ LIC. NO. 48524

23-160  
 PROJECT #

C6.00

LANDSCAPE NOTES

- COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
- SEED MIXTURES SHALL BE AS DEFINED IN CURRENT MNDOT SEEDING MANUAL. NATIVE SEEDS SHALL BE OF MINNESOTA (OR AS SPECIFIED) ORIGIN AND CERTIFIED BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MCIA). PROVIDE VERIFYING DOCUMENTATION TO THE OWNER 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- FOLLOW MNDOT SEEDING MANUAL FOR PLANTING INSTRUCTIONS FOR ESTABLISHMENT OF NATIVE SEED AND PROVIDE COORDINATION FOR REQUIRED EROSION PREVENTION AND SEDIMENT CONTROL.
- PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DISFIGURATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
- PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD. SEE DETAILS FOR DEPTH OF PLANTING SOIL.
- PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
- SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SEED/SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
- EDGE SHRUB BEDS WITH 6-INCH METAL EDGING (BLACK DIAMOND OR APPROVED EQUAL) EXCEPT WHERE ADJACENT TO CURBING, WALKS OR BUILDINGS.
- INSTALL 4 INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN SHRUB BED AREAS.
- INSTALL 4 INCH DEPTH OF DECORATIVE ROCK 2"-5" DIA ROCK MULCH IN PERENNIAL AND PLANTING AREAS.
- INSTALL A 4-FOOT DIAMETER SHREDDED HARDWOOD BARK MULCH DISH AROUND TREES NOT PLACED WITHIN A SHRUB OR PERENNIAL PLANTING BED. VINYL EDGING IS NOT REQUIRED, UNLESS NOTED OTHERWISE.

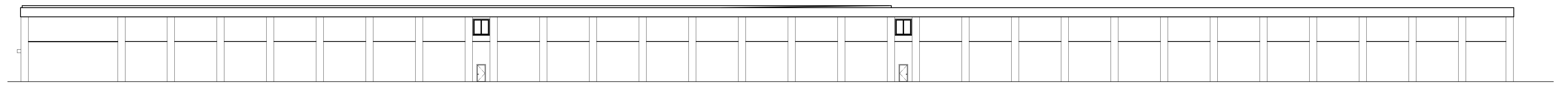
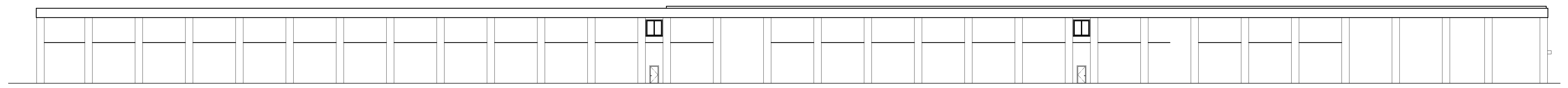
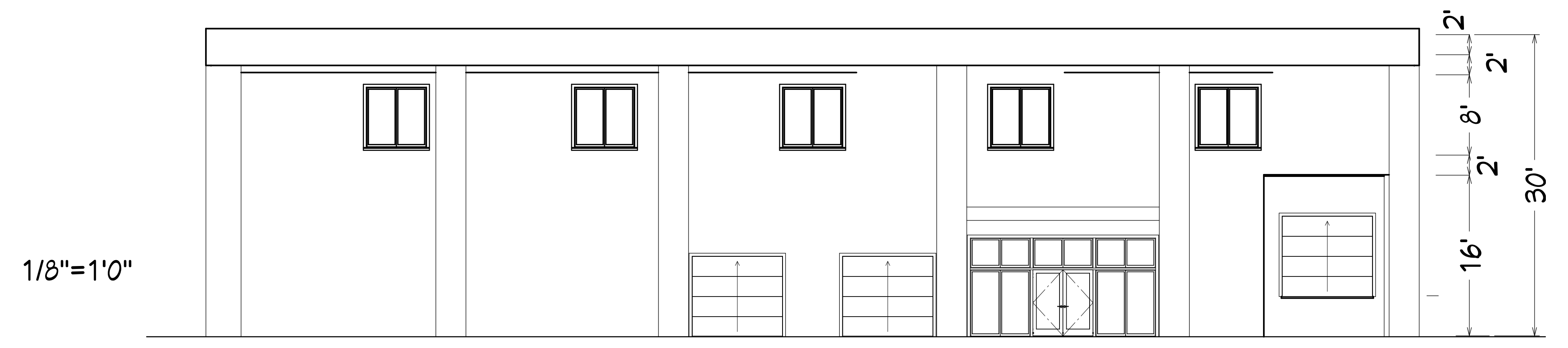
PLANT TABLE

| NAME             | COUNT | KEY  | COMMON NAME               | SCIENTIFIC NAME                          | MATURE SIZE   | PLANTING SIZE | ROOT COND. |
|------------------|-------|------|---------------------------|--|---------------|---------------|------------|
| CONIFEROUS TREES | 58    | JSWO | WOODWARD COLUMNAR JUNIPER | JUNIPERUS SCOPULORUM 'WOODWARD'          | 20'H x 4'W    | 6'            | B&B        |
| DECIDUOUS TREES  | 6     | ASFF | FALL FIESTA SUGAR MAPLE   | ACER SACCHARUM 'BAILSTA' FALL FIESTA     | 50'H x 35'W   | 2.5' CAL.     | B&B        |
| DECIDUOUS TREES  | 32    | BEPA | PRAIRIE DREAM PAPER BIRCH | BETULA PAPPYRIFERA 'VAREN'               | 60'H x 35'W   | 2.5' CAL.     | B&B        |
| GRASSES          | 43    | KFG  | FEATHER REED GRASS        | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | 5'H x 2'W     | 18"           | CONTAINER  |
| PERENNIALS       | 6     | BES  | BLACK EYED SUSAN          | RUDBECKIA 'GOLDSTURM'                    | 1.5'H x 1.5'W | 12"           | CONTAINER  |
| PERENNIALS       | 8     | FVL  | GAYFEATHER                | LIATRIS SPICATA 'FLORISTAN VIOLET'       | 3'H x 2'W     | 12"           | CONTAINER  |

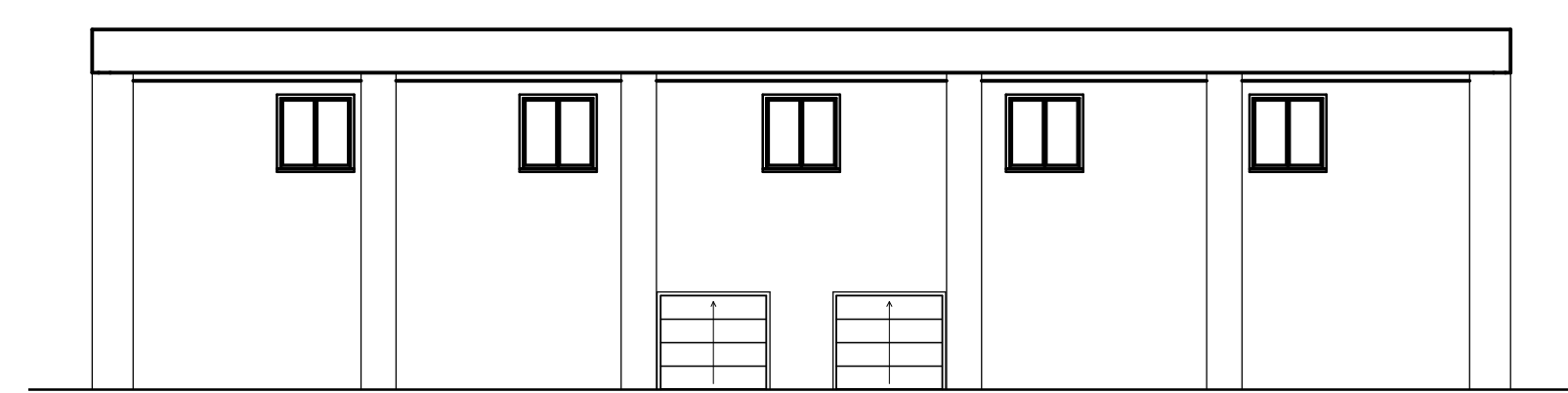
EROSION CONTROL AND LANDSCAPE LEGEND

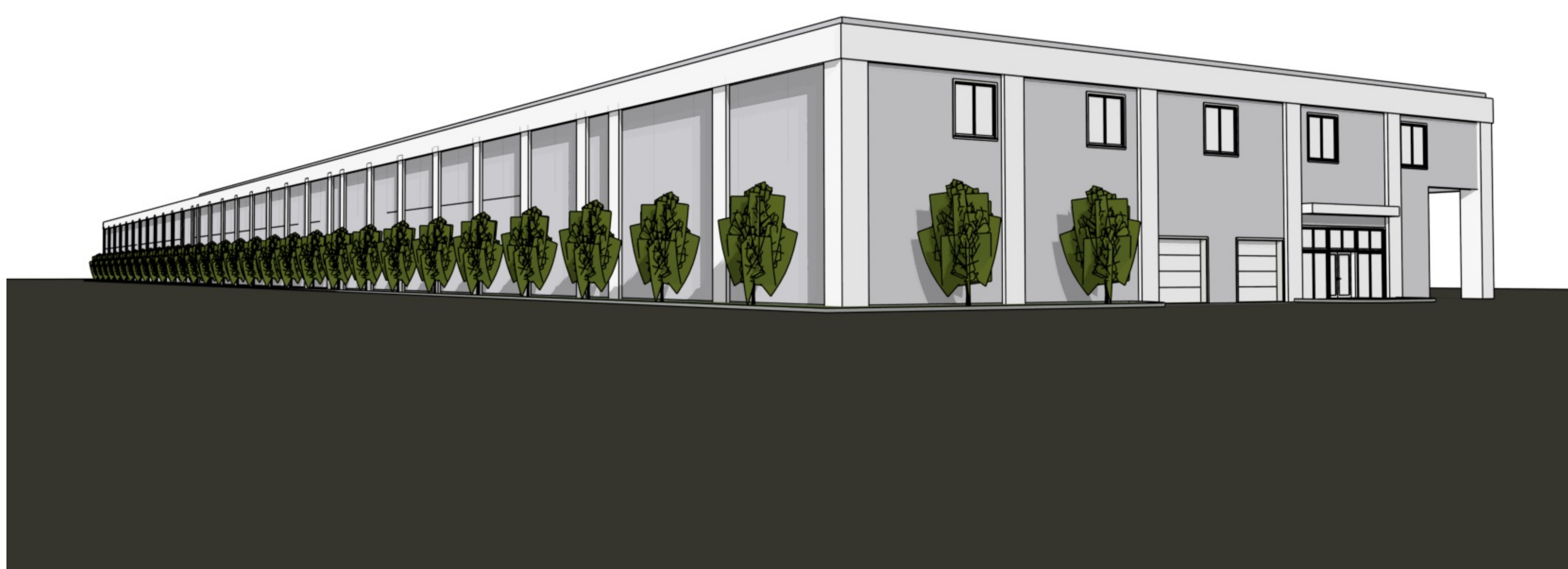
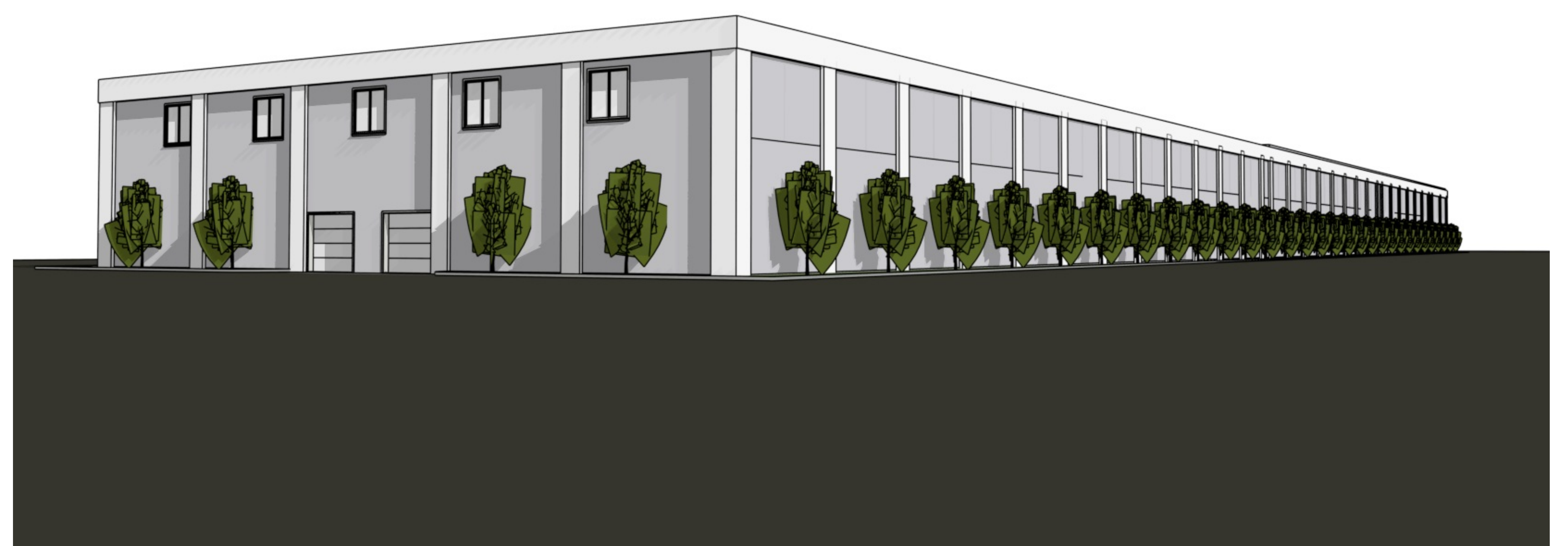
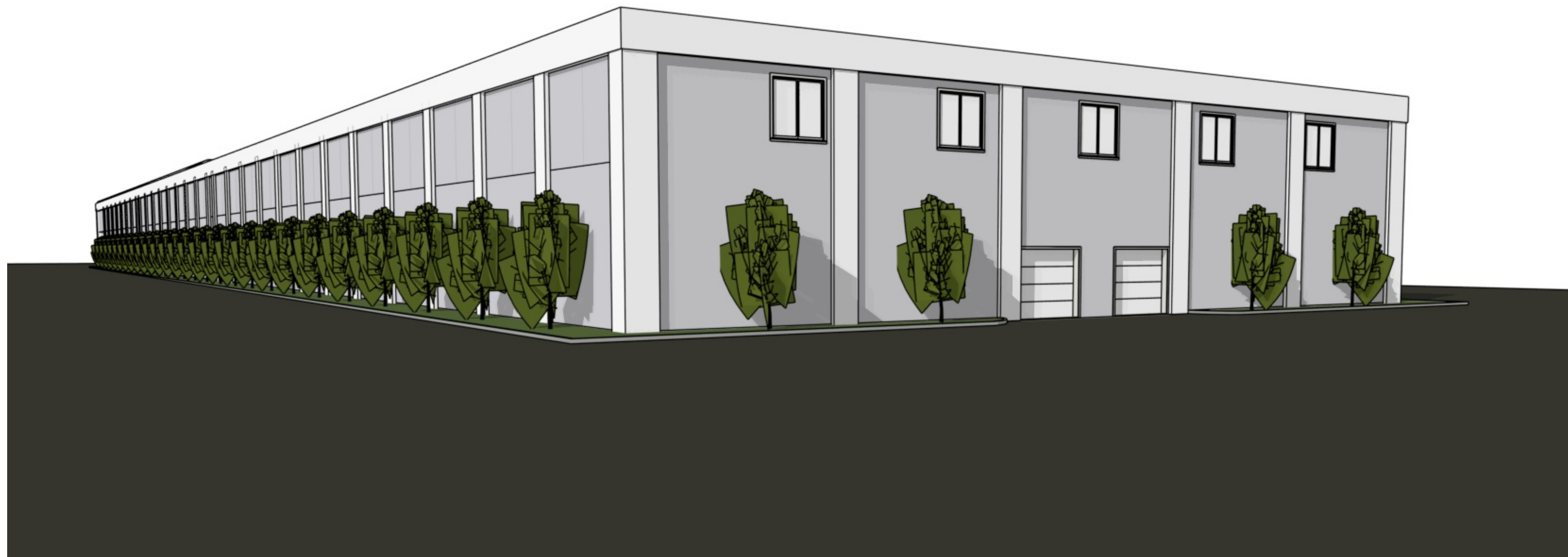
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|  | COMMERCIAL SEED MIXTURE AREA (MNDOT NUMBER 25-131)     |  | CLASS III RIPRAP - SEE DETAIL (AT ALL CULVERT OUTLETS) |
|  | EROSION CONTROL BLANKET - SLOPE AREAS                  |  | SILT FENCE   |
|  | SEDIMENT BASIN SEED MIXTURE AREA (MNDOT NUMBER 33-361) |  | STORM INLET PROTECTION OR CULVERT END PROTECTION       |
|  | DECORATIVE ROCK  |  | SEDIMENT CONTROL LOG                                   |
|  | SHREDDED BARK MULCH                                    |  | 18"-36" LANDSCAPE BOULDER                              |





**ELEVATIONS**  
1/16"=1'0"







**5D. 438x Sundby Road – Special Use Permit (SUP)**

- Applicant:** Hage and Co.  
**Case No.:** 2023-33-CIDP/SUP  
**Staff Contact:** Eric Johnson, Community Development Director  
**Request:** Approve a Special Use Permit with conditions for a 72,000 square foot warehouse development with associated site improvements.

**RECOMMENDED ACTION:**

Approve a Special Use Permit with conditions for a 72,000 square foot warehouse development with associated site improvements for Hage and Co. (Applicant). The property is located at 438x Sundby Road and is located in a BLM, Business and Light Manufacturing zoning district.

**DESCRIPTION OF REQUEST:**

The Applicant is proposing to construct a 72,000 square foot building for the purpose of providing indoor storage in an area of close proximity to the Duluth International Airport. The proposed building is a 2 story building, 26 feet in height with a footprint of 120' x 600' (72,000 SF).

The BLM, Business and Light Manufacturing zoning district identifies maximum lot coverage (generally) of 35%. The code does allow for an increase in lot coverage up to 65% if there is a landscape plan provided with the proposal and approval by the City Council of a Special Use Permit (SUP).

The Applicant's engineer has provided a landscape plan which provides a mixture of deciduous and evergreen trees along the north and south facades of the proposed buildings. In addition, there are ornamental grasses proposed along the east and west facades of the buildings. And six large deciduous trees proposed in various locations on the property. The plant material along the building facades are planted within a rock maintenance strip along all sides of the buildings.

**SITE INFORMATION:**

- Parcel Size:** 3.24 acres  
**Legal Access:** 438x Sundby Road  
**Wetlands:** Yes, delineated in June 2023  
**Existing Zoning:** BLM, Business and Light Manufacturing  
**Airport Overlay:** Zone 3  
**Shoreland Overlay:** N/A  
**Comprehensive Plan:** Commercial

**ZONING ANALYSIS:**

| Zoning District: BLM, Business and Light Manufacturing |                            |                                |
|--|----------------------------|--------------------------------|
| Type   | Required                   | Proposed                       |
| Min Lot Area   | None                       | 3.24 acres                     |
| Lot Width  | 100 feet                   | 164 feet along Sundby Road ROW |
| Front Yard   | 20 feet ROW                | Minimum 60 feet                |
| Rear Yard  | 20 feet                    | 40 feet                        |
| Side Yard  | 20 feet                    | Minimum 20 feet                |
| Lot coverage   | 35%                        | 51%                            |
| Maximum Building Height                                | 80 feet                    | 30 feet                        |
| Parking  | 1 space/employee per shift | 11 parking spaces              |

**Special Use Permit**

The Special Use Permit is for increasing the maximum lot coverage associated with the construction of a 72,000 square foot warehouse building with 51% lot coverage. There are general conditions for all SUPs. Staff finds the following in regard to the criteria for Special Use Permits in the Zoning Ordinance:

No special use permit shall be approved unless positive findings are made with respect to each and every one of the following criteria:

- 1. The proposed development is likely to be compatible with development permitted under the general provisions of this chapter on substantially all land in the vicinity of the proposed development;**

The construction of warehouse buildings is a permitted use within the BLM, Business and Light Manufacturing zoning district.

- 2. The proposed use will not be injurious to the use and enjoyment of the environment, or detrimental to the rightful use and enjoyment of other property in the immediate vicinity of the proposed development;**

The existing development surrounding this site is mixture of non-conforming single family residential, mini-storage and landscape based businesses. Warehouse buildings are a permitted use within the BLM, Business and Light Manufacturing zoning district.

- 3. The proposed use is consistent with the overall Hermantown Comprehensive Plan and with the spirit and intent of the provisions of this chapter;**

The property is within an area marked for Development of New Compatible Light Industrial with Adequate Public Facilities, Preserve Wetlands and Rural Uses in the Hermantown Comprehensive Plan. The proposed warehouse buildings is consistent with Comprehensive Plan recommendations for commercial areas of the City. The Zoning Ordinance allows for up to 35% lot coverage for structures with an increase up to 65% with the submission of a landscape plan and approval of a Special Use

Permit by the City Council. The proposed property is at 51% coverage after the construction of the proposed warehouse buildings.

- 4. The proposed use will not result in a random pattern of development with little contiguity to existing programmed development and will not cause negative fiscal and environmental effects upon the community.**

The existing development surrounding this site is mixture of non-conforming single family residential, mini-storage and landscape based businesses. Warehouse buildings are a permitted use within the BLM, Business and Light Manufacturing zoning district.

- 5. Other criteria required to be considered under the provisions of this code for any special use permit.**

The applicant is required to plant and maintain the proposed landscape materials associated with the Special Use Permit application.

#### **SUMMARY AND RECOMMENDATION:**

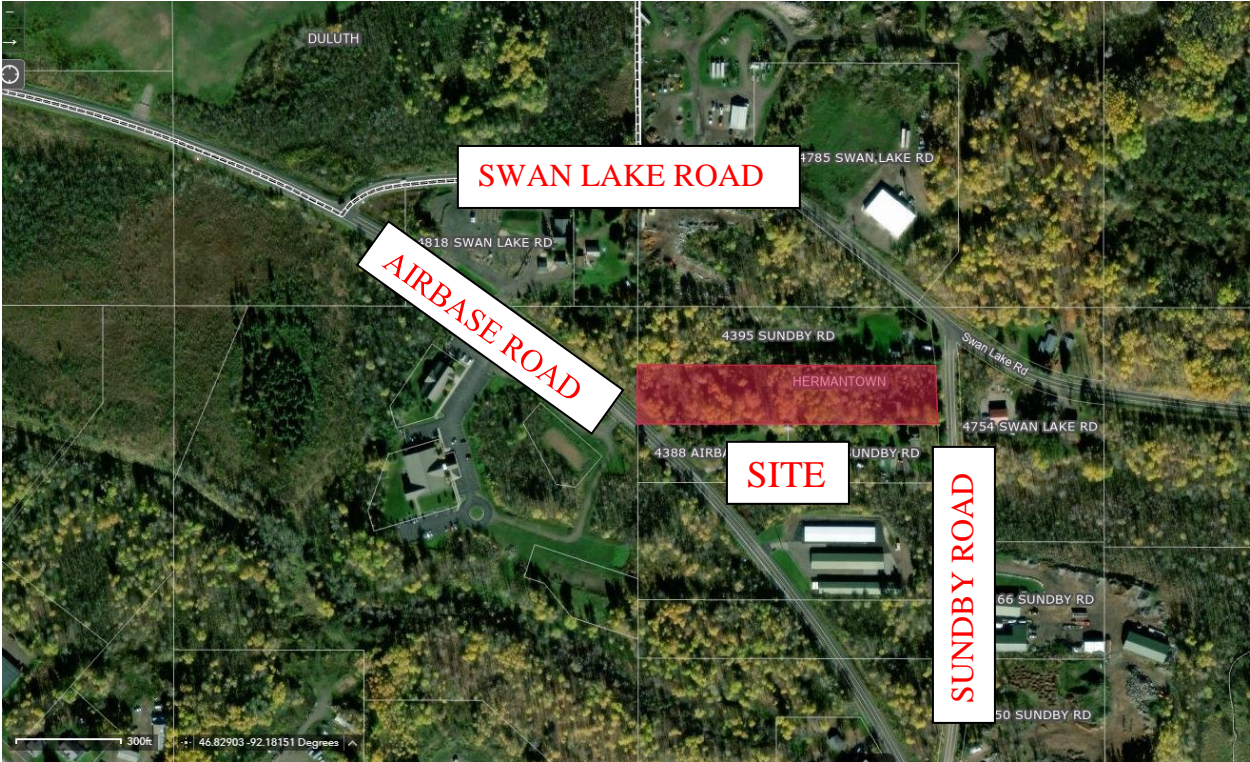
Staff recommends approval of the Special Permit based on the findings set forth in the Staff report, subject to the following conditions:

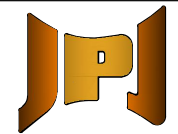
1. The applicant is seeking to construct a 72,000 square feet of warehouse space with associated site improvements. The lot coverage associated with these buildings is 51% and requires a Special Use Permit. Upon City staff approval of the final site engineering and architectural plans, staff will then issue a Special Use Permit (SUP).
2. The proposal meets the requirements of Section 535, “BLM, Business and Light Manufacturing” of the Hermantown Zoning Ordinance.
3. The proposal meets the requirements of Chapter 8, “Commercial-Industrial Development Permits” of the Hermantown Zoning Ordinance.
4. A wetland delineation has been performed with wetland impacts requiring approval by the Hermantown Technical Evaluation Panel.
5. The applicant is required to plant and maintain the proposed landscape materials associated with the Special Use Permit application.
6. The applicant shall sign a consent form assenting to all conditions of this approval.
7. The applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.

#### **ATTACHMENTS:**

- Site Location Map
- Proposed Site Plan
- Proposed Grading Plan
- Proposed Landscape Plan

**Location Map**





Engineering  
Land Surveying  
Site Development

JPJ ENGINEERING, INC  
425 Grant Street  
Hibbing, MN 55746  
(218) 262-5528

5670 Miller Trunk Hwy  
Duluth, MN 55811  
(218) 720-6219

www.jpjeng.com

HAGE & CO  
4389 SUNDBY ROAD  
HERMANTOWN, MINNESOTA

SITE PLAN

| REVISION DATE: | DESCRIPTION: |
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|----------|-----|
| SURVEYED |     |
| DESIGNED | JPJ |
| DRAWN    | BSM |
| CHECKED  |     |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

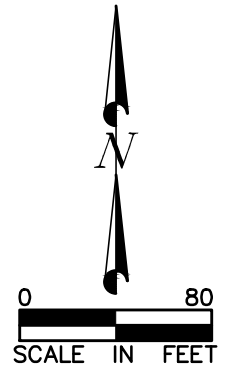
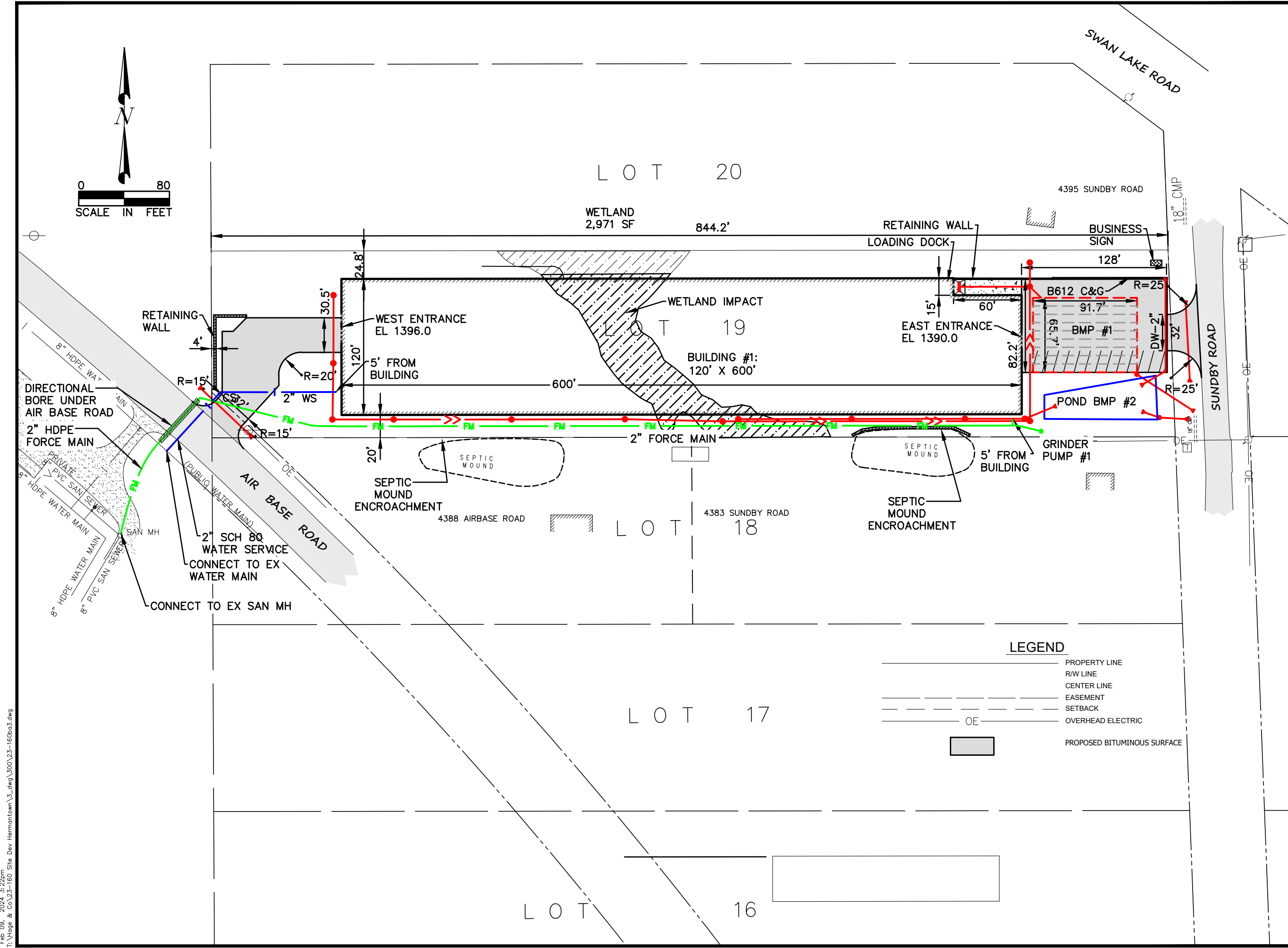
**PRELIMINARY**

JOHN P. JAMNICK, P.E.

DATE \_\_\_\_\_ LIC. NO. 19907

23-160  
PROJECT NO.

C1.00





LEGEND

- PROPERTY LINE
- R/W LINE
- CENTER LINE
- EASEMENT
- SETBACK
- OE ----- OVERHEAD ELECTRIC
- PROPOSED BITUMINOUS SURFACE

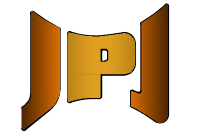
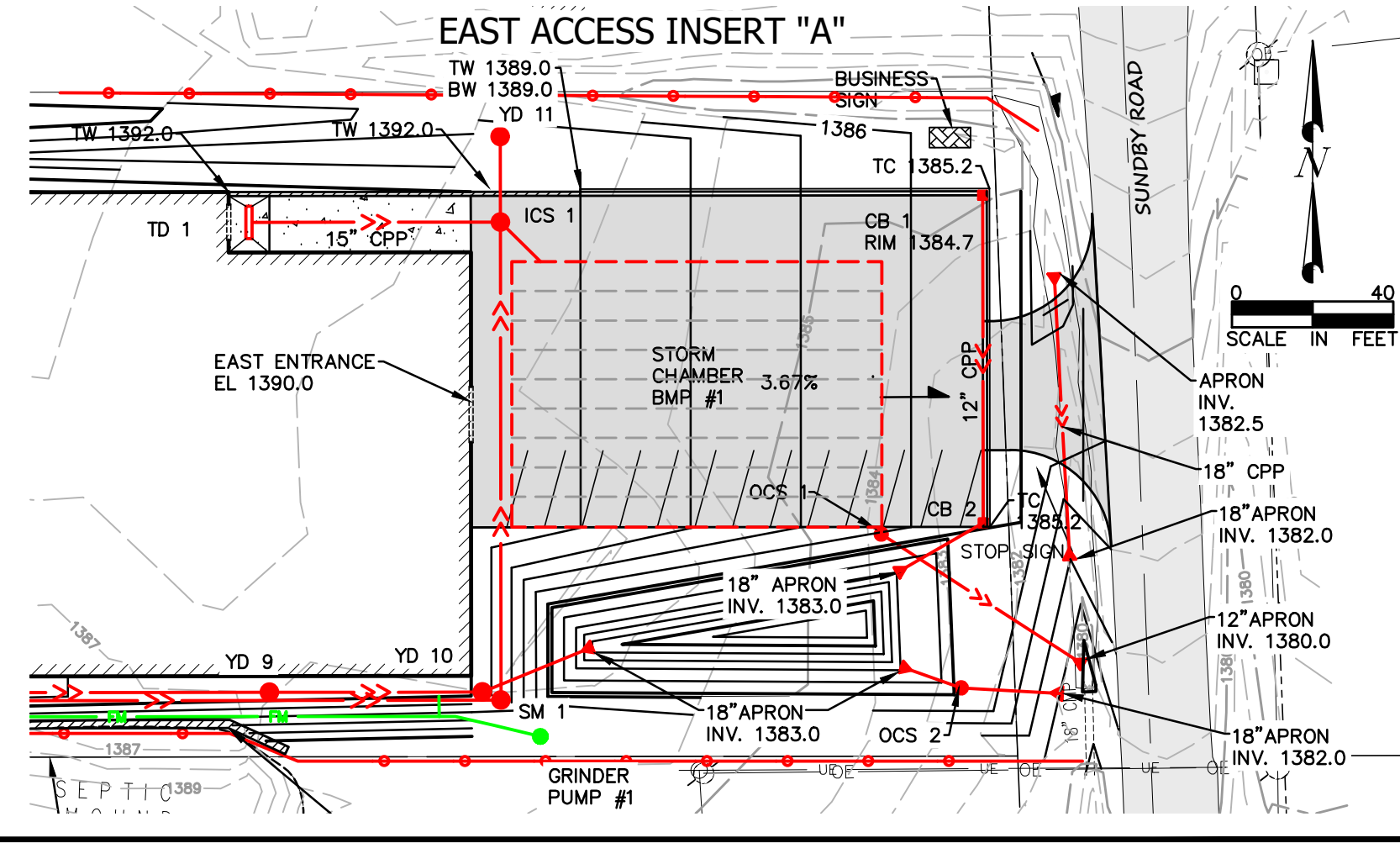
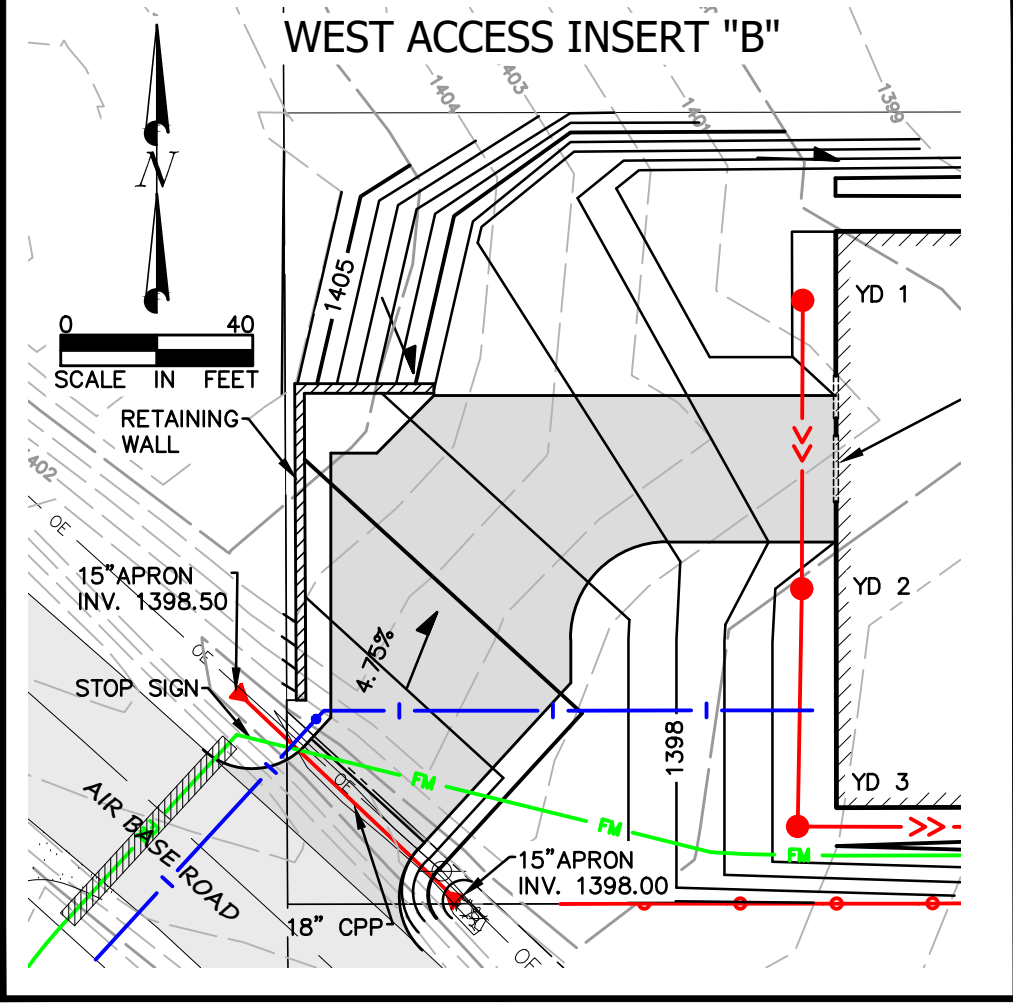
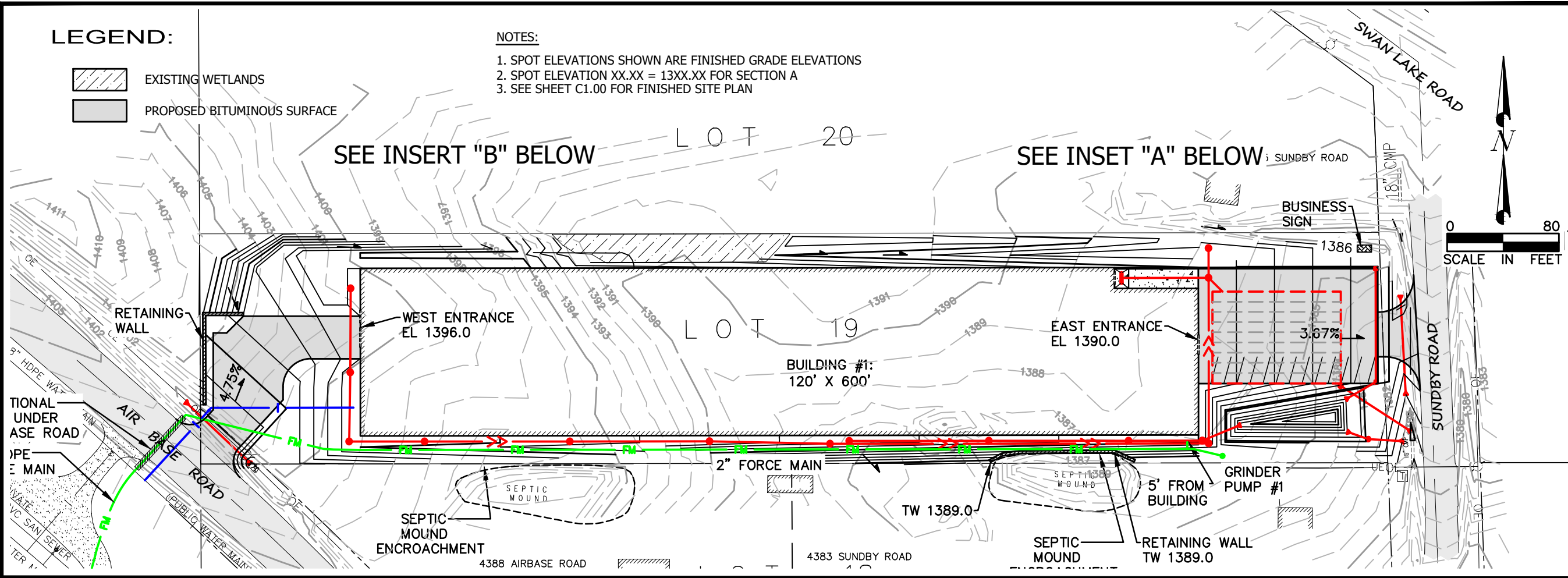
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**LEGEND:**

-  EXISTING WETLANDS
-  PROPOSED BITUMINOUS SURFACE

**NOTES:**

1. SPOT ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS
2. SPOT ELEVATION XX.XX = 13XX.XX FOR SECTION A
3. SEE SHEET C1.00 FOR FINISHED SITE PLAN



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Land Surveying  
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HERMANTOWN, MINNESOTA

**GRADING PLAN**

| REVISION DATE: | DESCRIPTION: |
|----------------|--------------|
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SURVEYED  
DESIGNED JPJ  
DRAWN BSM  
CHECKED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

**PRELIMINARY**

JOHN P. JAMNICK, P.E.

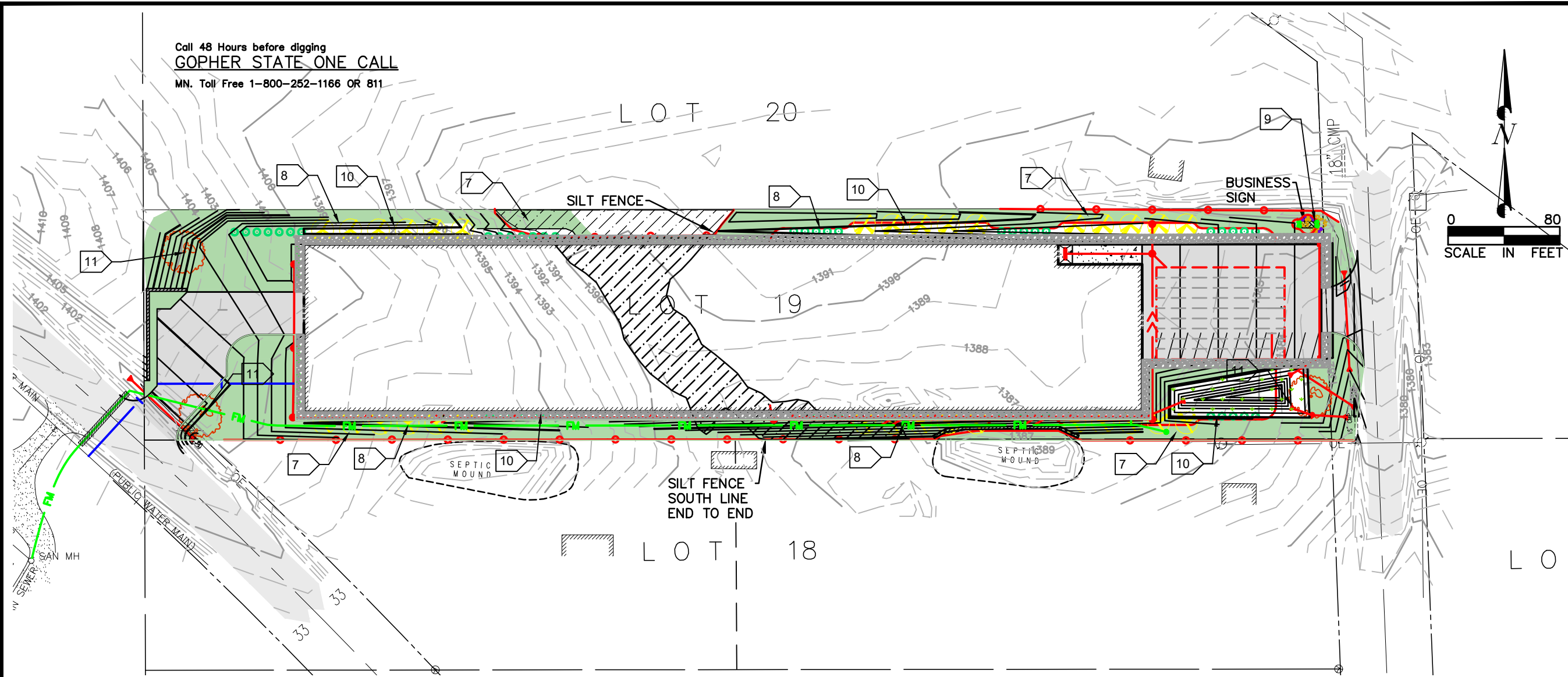
DATE \_\_\_\_\_ LIC. NO. 19907

23-160 PROJECT NO. **C2.00**

Feb 09, 2024 3:23pm T:\Hage & Co\23-160 Site Dev Hermantown\3.dwg\300\23-160bc3.dwg



Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 MN. Toll Free 1-800-252-1166 OR 811



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HAGE & CO  
 SUNDBY ROAD STORAGE LLC  
 HERMANTOWN, MINNESOTA

SWPPP  
 EROSION CONTROL  
 LANDSCAPE PLAN

| REVISION DATE: | DESCRIPTION: |
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SURVEYED  
 DESIGNED  
 DRAWN AAP  
 CHECKED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

**PRELIMINARY**

DATE \_\_\_\_\_ LIC. NO. 48524

23-160  
 PROJECT #

C6.00

LANDSCAPE NOTES

- COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
- SEED MIXTURES SHALL BE AS DEFINED IN CURRENT MNDOT SEEDING MANUAL. NATIVE SEEDS SHALL BE OF MINNESOTA (OR AS SPECIFIED) ORIGIN AND CERTIFIED BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MCIA). PROVIDE VERIFYING DOCUMENTATION TO THE OWNER 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- FOLLOW MNDOT SEEDING MANUAL FOR PLANTING INSTRUCTIONS FOR ESTABLISHMENT OF NATIVE SEED AND PROVIDE COORDINATION FOR REQUIRED EROSION PREVENTION AND SEDIMENT CONTROL.
- PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DISFIGURATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
- PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD. SEE DETAILS FOR DEPTH OF PLANTING SOIL.
- PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
- SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SEED/SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
- EDGE SHRUB BEDS WITH 6-INCH METAL EDGING (BLACK DIAMOND OR APPROVED EQUAL) EXCEPT WHERE ADJACENT TO CURBING, WALKS OR BUILDINGS.
- INSTALL 4 INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN SHRUB BED AREAS.
- INSTALL 4 INCH DEPTH OF DECORATIVE ROCK 2"-5" DIA ROCK MULCH IN PERENNIAL AND PLANTING AREAS.
- INSTALL A 4-FOOT DIAMETER SHREDDED HARDWOOD BARK MULCH DISH AROUND TREES NOT PLACED WITHIN A SHRUB OR PERENNIAL PLANTING BED. VINYL EDGING IS NOT REQUIRED, UNLESS NOTED OTHERWISE.

PLANT TABLE

| NAME             | COUNT | KEY  | COMMON NAME               | SCIENTIFIC NAME                          | MATURE SIZE   | PLANTING SIZE | ROOT COND. |
|------------------|-------|------|---------------------------|--|---------------|---------------|------------|
| CONIFEROUS TREES | 58    | JSWO | WOODWARD COLUMNAR JUNIPER | JUNIPERUS SCOPULORUM 'WOODWARD'          | 20'H x 4'W    | 6'            | B&B        |
| DECIDUOUS TREES  | 6     | ASFF | FALL FIESTA SUGAR MAPLE   | ACER SACCHARUM 'BAILSTA' FALL FIESTA     | 50'H x 35'W   | 2.5' CAL.     | B&B        |
| DECIDUOUS TREES  | 32    | BEPA | PRAIRIE DREAM PAPER BIRCH | BETULA PAPPYRIFERA 'VAREN'               | 60'H x 35'W   | 2.5' CAL.     | B&B        |
| GRASSES          | 43    | KFG  | FEATHER REED GRASS        | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | 5'H x 2'W     | 18"           | CONTAINER  |
| PERENNIALS       | 6     | BES  | BLACK EYED SUSAN          | RUDBECKIA 'GOLDSTURM'                    | 1.5'H x 1.5'W | 12"           | CONTAINER  |
| PERENNIALS       | 8     | FVL  | GAYFEATHER                | LIATRIS SPICATA 'FLORISTAN VIOLET'       | 3'H x 2'W     | 12"           | CONTAINER  |

EROSION CONTROL AND LANDSCAPE LEGEND

|  |  |  |  |
|--|--|--|--|
|  | COMMERCIAL SEED MIXTURE AREA (MNDOT NUMBER 25-131)     |  | CLASS III RIPRAP - SEE DETAIL (AT ALL CULVERT OUTLETS) |
|  | EROSION CONTROL BLANKET - SLOPE AREAS                  |  | SILT FENCE   |
|  | SEDIMENT BASIN SEED MIXTURE AREA (MNDOT NUMBER 33-361) |  | STORM INLET PROTECTION OR CULVERT END PROTECTION       |
|  | DECORATIVE ROCK  |  | SEDIMENT CONTROL LOG                                   |
|  | SHREDDED BARK MULCH                                    |  | 18"-36" LANDSCAPE BOULDER                              |

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